

Missoula City Council Meeting Agenda

Date: September 21, 2020, 6:00 PM

Location: ZOOM Webinar

Attend by computer:

[Join the meeting](#)

Attend by phone:

Cell phone users: 1-253-215-8782, 1-213-338-8477, or 1-267-831-0333; Landline users: 1-888-475-4499 or 1-877-853-5257

Webinar ID: 871 1768 5875

Password: 027222, Press *9 to raise your hand to be recognized for public comment

Watch the meeting:

[Web stream \(live or on demand\)](#), [YouTube](#), or Spectrum Cable Channel 190

For more ways to watch the meeting and submit public comment, see the Citizen Participation Guide.

Issues? Call the City Clerk 406-552-6078

Pages

1. CALL TO ORDER AND ROLL CALL

2. APPROVAL OF THE MINUTES

2.1 Minutes from the September 14, 2020 meeting will be available at a later date.

3. SCHEDULE OF COMMITTEE MEETINGS

3.1 Committee schedule for the week of September 21, 2020

1

4. PUBLIC COMMENT

5. CONSENT AGENDA

(Items on the consent agenda were approved in City Council committees to be placed on the consent agenda to save time at Council meetings by voting on them as a package. The City Clerk will read the list aloud, so citizens watching on MCAT will know what is on the consent agenda. We'll invite community comment on these items before we vote.)

5.1 Claims - Sept 22, 2020

AF

2

Recommended motion:

Approve claims in the amount of \$1,443,269.89 for checks dated September 22, 2020.

5.2 Agreement – County/City Fairgrounds trail

David Selvage

PC

203

Recommended motion:

Approve and authorize the Mayor to sign an interlocal agreement with Missoula County for the Missoula County Fairgrounds commuter trails project.

5.3 Appointment to the Public Art Committee

John Engen

AF

226

Recommended motion:

Confirm the Mayor's appointment of Hailey Kern to the Public Art Committee to fill a vacated term beginning immediately and expiring on June 30, 2022.

- | | | | | |
|-----|---|--------------|----|-----|
| 5.4 | Local Option Fuel Tax Interlocal Agreement with Missoula County | Jeremy Keene | AF | 228 |
|-----|---|--------------|----|-----|

Recommended motion:

Approve and authorize the Mayor to sign an Interlocal Agreement with the Missoula County to define roles and responsibilities of the County and the City in the collection, administration, and distribution of revenues from the Local Option Fuel Tax.

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|-----|--------------------------|--------------|-----|-----|
| 5.5 | Confirmation of Officers | Jaeson White | PSH | 232 |
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Recommended motion:

Confirm Officers Charles Burton, Tyler Swartz, Samuel Leyba, Nathan Champa, Timothy Muis, Clark Nissley, Daniel Buchholtz, and Amanda Jay as police officers for the city of Missoula.

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| 5.6 | Justice Assistance Grant (JAG) Memorandum of Understanding | Jaeson White, Scott Hoffman | PSH | 234 |
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Recommended motion:

Set a public hearing on September 28, 2020 to approve a Memorandum of Understanding for the 2020 Edward J. Byrne Justice Assistance Grant between the City of the Missoula and Missoula County to accept funding for electronic control weapons and computer software programs and offset Missoula County's property clerk wages in the total amount of \$58,440.

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| 5.7 | Resolution Requesting Distribution of Funds from MDT's Bridge and Road Safety and Accountability (BaRSAA) Program | Brian Hensel | PW | 237 |
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Recommended motion:

Adopt a resolution requesting that Montana Department of Transportation (MDT) distribute the City of Missoula's 2020 allocated share of Bridge and Road Safety and Accountability Act (BaRSAA) Program funds, committing to the City's contribution of five percent in matching funds, and authorizing the Mayor to execute further documents as may be necessary for the distribution of funds.

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|-----|--------------------|--------------|----|-----|
| 5.8 | Surplus Resolution | Scot Colwell | PW | 249 |
|-----|--------------------|--------------|----|-----|

Recommended motion:

Approve a resolution declaring certain City of Missoula Property as Surplus and Authorizing its disposal and or sale.

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| 5.9 | Reappointments to the Bicycle and Pedestrian Advisory Board | John Engen | PW | 254 |
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Recommended motion:

Confirm the Mayor's reappointments of James Walter and Ryan Bundy to the Bicycle and Pedestrian Advisory Board for terms beginning October 1, 2020 and expiring on

September 30, 2023.

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| 5.10 | Remington Flats Subdivision and Rezoning (City - Dave DeGrandpre) | LUP | 259 |
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Application can be found at <https://www.ci.missoula.mt.us/2654/Remington-Flats-Subdivision>

Recommended motion:

[First reading and preliminary adoption] Set a public hearing on October 5, 2020 and preliminarily adopt an ordinance to establish the Remington Flats Neighborhood Character Overlay District and to rezone Tract 9 of COS No. 3176 in the NE 1/4 of the SW 1/4 of Section 12, Township 13 North, Range 20 West from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay District based on the findings of fact in the staff report, and refer the ordinance to the Land Use and Planning Committee on September 30, 2020.

6. COMMENTS FROM CITY STAFF, AGENCIES, BOARDS, COMMISSIONS, AUTHORITIES AND THE COMMUNITY FORUM

7. SPECIAL PRESENTATIONS

- | | | | |
|-----|---------------------------------------|------------|-----|
| 7.1 | Proclamation - Mark Heyka Weather Day | John Engen | 360 |
| 7.2 | Ovarian Cancer Awareness Month | John Engen | 361 |

8. PUBLIC HEARINGS

(State law and City Council rules set guidelines for inviting community comment in a formal way on certain issues. Following a staff report on each item, the City Council and the Mayor invite community comment. The City Council normally votes on the same night as the public hearing unless one Council member requests that it be returned to a City Council committee for further consideration.)

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| 8.1 | Referral – Staff Report for 365-375 Scott Street Group Living Conditional Use | Kaitlin McCafferty | LUP | 362 |
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Recommended motion:

The Missoula City Council will hold this public hearing open and will take it up under Final Consideration at the next regular City Council meeting on September 28, 2020.

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| 8.2 | Referral – Staff Report for 2275 N Reserve Street Tavern and Casino Conditional Use | Cassie Tripard | LUP | 388 |
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Recommended motion:

The Missoula City Council will hold this public hearing open and will take it up under Final Consideration at the next regular City Council meeting on September 28, 2020.

9. FINAL CONSIDERATION

Items listed under Final Consideration have had a public hearing. The hearing was held open to allow time for additional public comment before final consideration and action by the City Council.

The chairperson of the standing City Council committee will make a motion. We invite community comment on each item.)

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| 9.1 | A resolution amending the Engineering Fee Schedule to remove the Stormwater Pollution Prevention Program (SWPPP) and Erosion Control Permits and to establish the Storm Water Permit | Tracy L. Campbell | PW | 423 |
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Recommended motion:

(Adopt/deny) a resolution amending the Engineering Fee Schedule to remove the Storm Water Pollution Prevention Program (SWPPP) and Erosion Control Permits and establish the Storm Water Permit and Dry Well Approval.

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| 9.2 | Referral and Staff Report – 3270 and 3770 Mullan Rd. – Mullan Crossing Annexation | Cassie Tripard | LUP | 442 |
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Recommended motion:

(Adopt/Deny) a resolution to annex and incorporate within the boundaries of the City of Missoula two certain parcels of land described as Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M., and zone the property C1-3 Neighborhood Commercial, based on the findings of fact in the staff report and subject to the recommended conditions of annexation approval.

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| 9.3 | Rezone property located at 601 W Broadway | Kaitlin McCafferty | LUP | 512 |
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Recommended motion:

(Adopt/deny) an ordinance to Rezone property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West from Special District SD/Riverfront Triangle, Sub-district D to CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay, subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council. The Development Agreement shall include construction of the Riverfront Trail along the north shore of the Clark Fork River from east to west, connecting to W Broadway on the west end and to the easterly property boundary of the 601 W Broadway property to the east without interruption or detour; the developer's responsibility for the cost of a minimum 10-foot wide asphalt trail with 1 foot shoulders on either side of the path; the City of Missoula's responsibility for the cost of upsizing the trail to a 14-foot wide trail; the City of Missoula's responsibility for repair, maintenance and replacement of the trail once constructed; and a 20-foot wide public non-motorized access easement filed with the Development Agreement. Design of the Riverfront Trail and any variation from the standards, including easement width, surface width of the trail, lighting, provision for trash receptacles and benches, shall be specific to the site and approved by City Parks and Recreation.

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| 9.4 | Heron's Landing--Annexation, zoning upon | Dave DeGrandpre | LUP | 587 |
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annexation, rezoning and subdivision located in the Mullan Master Plan area--Tracts 1 and 2 of COS No. 5963

Recommended motion:

(Adopt/deny) a resolution to annex and incorporate within the boundaries of the City of Missoula, Montana a certain parcel of land described as Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M. and zone the property RT5.4 Residential in the city, based on the findings of fact in the staff report, subject to the recommended conditions of annexation approval.

Recommended motion:

[Second and final reading] (Adopt/Deny) an ordinance to establish the Heron's Landing Neighborhood Character Overlay District and to rezone the subject property from RT5.4 Residential to RT5.4 Residential with a Heron's Landing Neighborhood Character Overlay District based on the findings of fact in the staff report.

Recommended motion:

Variance #1--Approve the variance request from Section 3-020 Table.2A, allowing George Elmer Drive improvements to be made within the existing 80-foot right-of-way instead of a 90-foot right-of-way.

Variance #2--Approve the thevariancerequestfromSection3-020Table.2A,allowingChuck Wagon Drive improvements to be made within the existing 80-foot right-of-way instead of a 90-foot right-of-way.

Variance #3--Approve the variance request from Section 3-030.2.A.(2), allowing Block A to be longer than 480 feet.

Variance #4--Approve the variance request from Section 3-030.2.A.(2), allowing Blocks B,C, D, E, F, G, and J to be longer than 480 feet.

Variance #5--Approve the variance request from Section 3-030.2.A.(2), allowing Block H to be longer than 480 feet.

Variance #6--Approve the variance request from Section3-030.2.A.(2), allowing Block I to be longer than 480 feet.

Variance #7--Approve the variance request from Section 3-020.15.D.1, allowing a 10-foot wide Secondary Commuter Trail along street rights-of-way within an additional 6 12 foot easement.

Variance Request #8--Approve the variance request from Section 3-020 Table. 2A allowing Heron's Landing Drive, Nesting Lane, and Audubon Trail (Loop) to be built within 60-foot rights- of-way instead of 70, so long as an additional one-foot access and utility easement is provided along the outer edge of each right-of-way to allow for maintenance.

Subdivision

Approve the Heron's Landing Phased Subdivision Plat and Application, based on the findings of fact and subject to the recommended conditions of approval in the staff report.

10. COMMUNICATIONS FROM THE MAYOR

11. GENERAL COMMENTS OF CITY COUNCIL

12. COMMITTEE REPORTS

(Items listed under committee reports were not approved unanimously in City Council committees. The chairperson of the standing City Council committee will make a motion. We invite community comment on each item.)

12.1	Administration and Finance committee (AF) report	
12.1.a	September 16, 2020 Administration and Finance report	709
12.2	Budget Committee of the Whole (BCOW) committee report	
12.3	Committee of the Whole (COW) committee report	
12.4	Land Use and Planning Appointments (LUPA) Subcommittee report	
12.5	Land Use and Planning (LUP) committee report	
12.5.a	September 16, 2020 Land Use and Planning report	712
12.6	Parks and Conservation (PC) committee report	
12.6.a	September 16, 2020 Parks and Conservation report	715
12.7	Public Safety and Health (PSH) committee report	717
12.7.a	September 16, 2020 Public Safety and Health report	
12.8	Public Works (PW) committee report	
12.8.a	September 16, 2020 Public Works report	732

13. NEW BUSINESS

14. ITEMS TO BE REFERRED

(Items listed here have been proposed by Council members, staff, or the Mayor for consideration in City Council committees. Committee chairs are responsible for scheduling consideration of these items in their respective committee meetings. These items are listed on our agenda for information only. They will not be considered at this meeting. For further information about any item, contact the person listed in italics.)

14.1	Administration and Finance committee referrals	
14.2	Budget Committee of the Whole referrals	
14.3	Committee of the Whole referrals	

14.3.a	Mountain Line Mill Levy Request	Bryan von Lossberg	758
14.4	Land Use and Planning Appointments Subcommittee referrals		
14.5	Land Use and Planning committee referrals		
14.5.a	Subdivision and Townhome Exemption Development (TED) Regulation Review Project	Laval Means	759
14.6	Parks and Conservation committee referrals		
14.7	Public Safety and Health committee referrals		
14.8	Public Works committee referrals		
14.8.a	Professional Services Agreement Amend. No. 1 with WGM Group, Inc. for the Zip Beverage Water Line Connection Project	Logan McInnis	761
14.8.b	Presentation of Revised Missoula City Public Works Standards and Specifications Manual	Jeremy Keene	766
15.	MISCELLANEOUS COMMUNICATIONS, PETITIONS, REPORTS AND ANNOUNCEMENTS		
15.1	Administratively approved agreement report		767
16.	ADJOURNMENT		

Missoula City Council Committee Schedule

**Virtual Meeting Location: <http://www.ci.missoula.mt.us/webcasts>
Cable TV Channel 190**

Wednesday, September 23, 2020 Committee Meetings			
Meeting Type	Start Time	End Time	Location
Public Works Committee	10:30 AM	12:45 PM	ZOOM Webinar
Committee of the Whole	1:15 PM	1:45 PM	ZOOM Webinar
Land Use and Planning Committee	2:00 PM	3:30 PM	ZOOM Webinar

Wednesday, September 23, 2020 Discussion Items				
MeetingType	Start Time	End Time	Title	Sponsor
Public Works Committee	10:30 AM	12:45 PM	1 Professional Services Agreement Amend. No. 1 with WGM Group, Inc. for the Zip Beverage Water Line Connection Project	Logan McInnis
			2 Presentation of Revised Missoula City Public Works Standards and Specifications Manual	Jeremy Keene
			3 Title 12 Updates	Kevin Slovarp, Monte Sipe
Committee of the Whole	1:15 PM	1:45 PM	4 Mountain Line Mill Levy Request	Bryan von Lossberg
Land Use and Planning Committee	2:00 PM	3:30 PM	5 Subdivision and Townhome Exemption Development (TED) Regulation Review Project	Laval Means

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Invoice List
CITY OF MISSOULA
September 14, 2020

Page: 1

Bank code : apbank

Date	Vendor	Invoice	PO #	Description/Account	Amount
9/14/2020	01611 LITHIA MOTORS SUPPORT SERVICES	39747		FIRE 2ND VEHICLE PURCHASE 1000.300.420460.940.000	24,999.99
		39748		FIRE VEHICLE PURCHASE 1225.300.420460.220.000	24,999.99
Total :					49,999.98
1 Checks for bank code : apbank					Bank total : 49,999.98

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Invoice List
CITY OF MISSOULA
September 22, 2020

Page: 1

Bank code : apbank

Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	04486 2M COMPANY INC	20183528-03		IRRIGATION	
				1221.370.460503.220.000	1,522.80
		20203684-00		IRRIGATION SUPPLIES	
				1221.370.460503.220.000	211.18
		20204198-00		IRRIGATION SUPPLIES	
				2513.370.460501.220.000	537.90
				Total :	2,271.88
9/22/2020	18529 A+ ELECTRIC MOTOR, INC.	20-649		PUMP REPAIR PARTS	
				5210.335.430530.230.000	874.00
				Total :	874.00
9/22/2020	00004 ACE	218027056		HARDWARE SUPPLIES	
				2512.280.430270.230.000	42.94
		218069743		HARDWARE SUPPLIES	
				2513.370.460501.220.000	25.96
		218074323		HARDWARE SUPPLIES	
				2513.370.460484.220.000	166.11
		218080795		HARDWARE SUPPLIES	
				2513.370.460501.220.000	15.80
		218082972		HARDWARE SUPPLIES	
				2512.280.430270.230.000	199.98
		218083264		HARDWARE SUPPLIES	
				5711.370.460490.220.000	53.94
		218085304		HARDWARE SUPPLIES	
				2513.370.460501.220.000	42.98
		218085390		HARDWARE SUPPLIES	
				2513.370.460501.220.000	38.97
		218085403		HARDWARE SUPPLIES	
				2513.370.460501.220.000	11.98
		218085671		HARDWARE SUPPLIES	
				2513.370.460501.220.000	103.90
		218087169		HARDWARE SUPPLIES	
				2513.370.460501.220.000	32.50

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00004 ACE	(Continued)			
		218094292		HARDWARE SUPPLIES 2513.370.460484.220.000	218.52
		218095046		HARDWARE SUPPLIES 2513.370.460501.220.000	83.97
		218095929		HARDWARE SUPPLIES 2513.370.460501.220.000	67.95
		218096487		HARDWARE SUPPLIES 5711.370.460490.220.419	38.03
				5711.370.460490.220.000	103.49
		218097359		HARDWARE SUPPLIES 1000.300.420420.230.000	7.47
		235307386		HARDWARE SUPPLIES 5210.335.430530.220.000	6.48
		235310930		HARDWARE SUPPLIES 2513.370.460501.220.000	3.10
		235313329		HARDWARE SUPPLIES 2513.370.460501.220.000	4.99
		235316218		PADLOCK 2512.320.430210.220.000	16.99
		253518721		ASPHALT SCRAPERS 2512.320.430230.220.000	31.97
				Total :	1,318.02
9/22/2020	07379 ACTION GLASS REPAIR	12241		#22 TWO ROCK CHIP REPAIRS 1000.290.420150.360.000	39.00
		12292		#77 FOUR ROCK CHIP REPAIRS 2020 1000.290.420150.360.000	39.00
		12293		#73 ROCK CHIP REPAIR 2020-39092 1000.290.420150.360.000	39.00
				Total :	117.00
9/22/2020	15074 ADAMSON POLICE PRODUCTS	INV334609		ST LESS LETHAL 4020.390.420295.940.000	627.90
				Total :	627.90

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Invoice List
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Bank code : apbank

Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	06982 ADVANCED LAWN CARE & MAINT	5328		MOWING/IRRIGATION REPAIR 2513.370.460501.350.000	718.00
		5362		IRRIGATION REPAIR PLAYFAIR 2513.370.460501.350.000	784.00
		5380		SILVER PARK IRRIGATION 2513.370.460400.930.000	16,540.00
				Total :	18,042.00
9/22/2020	00416 ADVERTISER PRINTING INC	042820		LOADING ZONE PERMITS 7370.395.430266.320.000	179.85
		042820A		1500 RPP VISITOR PERMITS 7370.395.430266.320.000	539.55
				Total :	719.40
9/22/2020	14895 ALLEGIANCE PLAN MGMT ADMIN FEE	5010290056		ADMIN FEES 6050.390.520800.353.000	710.00
				Total :	710.00
9/22/2020	03486 ALWAYS PREFERRED	4188		AUGUST 2020 JANITORIAL SERVICE 5311.330.430640.360.000	2,825.00
				Total :	2,825.00
9/22/2020	19915 ANSER	5755		ANSWERING SERVICE 5210.335.430510.310.000	430.00
				Total :	430.00
9/22/2020	00015 ART & RAYS LOCK SHOP INC	M20P-004565		KEY/LOCK SERVICES 1000.321.431330.230.000	40.00
				Total :	40.00
9/22/2020	09376 AUSTIN, SHANE	REIMBURSE		CLOTHING ALLOWANCE FY21 2512.320.430210.220.000	299.99
				Total :	299.99
9/22/2020	20584 AUTO ZONE	3771451049		GREASE FITTINGS 1221.370.460503.220.000	4.99

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Bank code : apbank

Date	Vendor	Invoice	PO #	Description/Account	Amount
	20584 AUTO ZONE	(Continued)		Total :	4.99
9/22/2020	00879 AXMEN, THE	407356		SHOP TOOLS 1225.300.420460.220.000	295.38
				Total :	295.38
9/22/2020	06533 BAKERY & RESTAURANT FOODS INC	587481		SPLASH CONCESSIONS 1219.370.460477.220.000	79.50
				Total :	79.50
9/22/2020	19158 BALCO UNIFORM	57717		IKE JACKET X2 C120 C123 1000.290.420110.220.000	335.00
		59463		C124 NEW ISSUE GEAR 1000.290.420110.220.000	468.60
		59464		C125 NEW ISSUE GEAR 1000.290.420110.220.000	432.80
		59465		C126 NEW ISSUE GEAR 1000.290.420110.220.000	468.00
				Total :	1,704.40
9/22/2020	00802 BATTERIES PLUS BULBS	P30871495		BATTERIES 5311.330.430630.230.000	132.00
				Total :	132.00
9/22/2020	00033 BIG BEAR SIGN CO INC	2020-1198		SIGNS 7370.395.430266.220.000	67.50
				Total :	67.50
9/22/2020	08364 BIG SKY MOTORSPORTS	32457		#37 MOTORCYCLE BATTERY & INST 1000.290.420150.360.000	531.18
				Total :	531.18
9/22/2020	09988 BLACK KNIGHT SECURITY	6518-3519		PATROL STOPS 1221.370.460503.350.000 2513.370.460501.350.000	160.00 1,221.00
				Total :	1,381.00

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00040 BLACKFOOT COMMUNICATIONS	11912		PHONE SERVICES 2513.370.460471.344.000	19.22
		180329		PHONE SERVICES 1000.224.410580.344.000	1,948.00
		182795		PHONE SERVICES 1000.224.410580.344.000	237.39
				Total :	2,204.61
9/22/2020	00460 BOYCE LUMBER CO	2008-973741		CONCRETE 2513.370.460501.220.000	66.48
		2008-976417		SHADE STRUCTURE 2513.370.460501.220.000	111.88
				Total :	178.36
9/22/2020	19982 BROCK WHITE COMPANY	1404179500		PLEXI-MELT ASPHALT RUBBER 2512.320.430230.400.000	8,214.05
				Total :	8,214.05
9/22/2020	13205 BROWNS SEPTIC SERVICES INC	13003		CLEANED MUD/SEWER OFF ROAD F 5450.334.430246.360.000	825.00
				Total :	825.00
9/22/2020	03683 CBM COLLECTIONS INC	44500		COLLECTION FEES - AUGUST 5210.335.430510.310.000	261.00
				Total :	261.00
9/22/2020	02876 CDA METALS	647804		UNIT 317 5311.330.430630.235.000	145.65
		647807		UNIT 317 5311.330.430630.235.000	107.34
				Total :	252.99
9/22/2020	00372 CDW GOVERNMENT INC	ZQL7082		MS SURFACE DOCK 5210.335.430510.210.419	432.90
				Total :	432.90
9/22/2020	16798 CENTURYLINK	M4061119981707M		NETWORK SERVICE	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	16798 CENTURYLINK	(Continued)			
				1000.224.410580.344.000	480.44
				2513.370.460411.344.000	114.10
				Total :	594.54
9/22/2020	16798 CENTURYLINK	4065493638535B		JUN-SEPT NETWORK SERVICE	
				1000.224.410580.344.000	154.08
				Total :	154.08
9/22/2020	16798 CENTURYLINK	4065429283089B		NETWORK SERVICE	
				5711.370.460491.344.000	136.18
				Total :	136.18
9/22/2020	16798 CENTURYLINK	4065492613453B		AUG 22 - SEP 21, 2020 NETWORK SE	
				2989.290.420198.344.000	103.30
				Total :	103.30
9/22/2020	16798 CENTURYLINK	4065493014127B		NETWORK SERVICE	
				1000.224.410580.344.000	64.14
				Total :	64.14
9/22/2020	16798 CENTURYLINK	4062517027109B		NETWORK SERVICE	
				1000.224.410580.344.000	46.77
				Total :	46.77
9/22/2020	16798 CENTURYLINK	4065493647006B		NETWORK SERVICE	
				1000.224.410580.344.000	43.11
				Total :	43.11
9/22/2020	14542 CERIUM NETWORKS	I084959		POLYCOM RENEWAL FIRE/IT SPLIT	
				4020.390.420305.940.000	3,159.40
				1000.224.410580.360.000	3,159.39
		I084960		BLOCK HOURS JULY 20 - JULY 21	
				1000.224.410580.360.000	3,600.00
				Total :	9,918.79
9/22/2020	00312 CITY OF MISSOULA	083825134171		JULY 23 TO AUG 23 2020 FLOATING I	

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9/22/2020	00312 CITY OF MISSOULA	(Continued)			
		185240275068		2512.320.430210.343.000 STORM WATER CHARGE	880.26
		186075275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		186865275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		187485275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		187660275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		187685275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		188360275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		188950275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		189065275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		189340275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		189350275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		189395275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		189610275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		190370275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		191975275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00
		191995275068		5210.335.430520.342.000 STORM WATER CHARGE	4.00

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9/22/2020	00312 CITY OF MISSOULA	(Continued)			
		192000275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
		192005275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
		192010275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
		192015275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
		192020275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
		192025275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
		192030275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
				Total :	972.26
9/22/2020	00312 CITY OF MISSOULA	189615275068		STORM WATER CHARGE 5210.335.430520.342.000	4.00
				Total :	4.00
9/22/2020	00045 COLLECTION BUREAU SERVICES	521		COURT TICKETS SENT TO COLLECT 1000.230.410360.350.000	148.53
				Total :	148.53
9/22/2020	06215 COPPER STATE BOLT & NUT CO	I04386769		SHOP SUPPLIES STOCK 2512.280.430265.220.000	224.38
		I04402217		GRINDER/SUPPLIES 5311.330.430640.230.000	215.38
		I04406776		VISORS/SHOP SUPPLIES 5311.330.430640.230.000	125.92
		I04407398		VEST AND SCREWS 5311.330.430640.230.000	22.90
		I04410926		MESH VESTS 5311.330.430640.220.000	5.94

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	06215 COPPER STATE BOLT & NUT CO	(Continued)		Total :	594.52
9/22/2020	15994 CORE & MAIN LP	M601159		VALVE BOX RISER AND LID	
				2512.320.430230.220.000	71.40
				5210.335.430550.230.000	71.40
				Total :	142.80
9/22/2020	01102 CRESCENT ELECTRIC SUPPLY CO	S508182910.001		TRAIL LIGHTS	
				2513.370.460501.220.000	1,192.21
				Total :	1,192.21
9/22/2020	13493 CRUM CONSTRUCTION CO INC	1648		TOPSOIL	
				1221.370.460503.220.000	264.00
				Total :	264.00
9/22/2020	00058 CULLIGAN WATER	0320615		WATER X9 AND CUPS FOR SHOP	
				2512.320.430210.220.000	40.75
				Total :	40.75
9/22/2020	15029 DELL MARKETING LP	10413610658		PD COMPUTERS	
				4011.390.410560.940.419	17,139.46
		10420454421		LAPTOP/MOUSE/CONF	
				2512.280.430100.210.419	1,091.47
		10420652070		SERVICE CALL	
				1000.224.410580.360.000	351.37
		10420744000		MONITORS	
				2513.370.460501.220.000	346.06
		10420820040		ACROBAT PRO LICENSE	
				1000.255.470210.360.000	100.27
		10421648960		PROSUPPORT/HARDWARE REPAIRS	
				1000.224.410580.360.000	3,905.73
		10422887771		OPTICAL TRANSCEIVER	
				1000.224.410580.230.000	141.22
		10424114970		WORK AT HOME COMPUTERS/LAPTOP	
				4011.390.410560.940.419	86,970.40
				Total :	110,045.98

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9/22/2020	01231 DEPT OF ADMINISTRATION	083120		DIRECTORY SERV 1000.270.411125.330.000	35.71
		08312020		AUGUST 2020 DIRECTORY SERVICE 1000.290.420110.330.000	15.30
				Total :	51.01
9/22/2020	00124 DEPT OF REVENUE	KNIFE RIVER		URD III N SIDEWALK 1% GRT PHASE 7393.385.470230.930.000	254.65
		SHADOW ASPHALT		1% GRT URD II 2ND 3RD SW PRJ 7392.385.470230.930.000	1,141.43
		SHATOW ASPHALT		GRT RETAINAGE RELEASE 7392.385.470230.930.000	174.24
		WESTERN 082020		WORDEN STREET MAIN REPLACEM 5210.335.430551.930.201	1,932.07
				Total :	3,502.39
9/22/2020	00124 DEPT OF REVENUE	GRANTCREEKEXCAVATIN		1%GRT FOR PAYAPP#2 UPPER GHA 5450.334.430235.930.191	1,248.47
				Total :	1,248.47
9/22/2020	20628 DIDDEL, CAROLYN	REFUND		TICKET OVERPAYMENT 7370.000.352001.00	5.00
				Total :	5.00
9/22/2020	13378 ECO COUNTER	110573		URBAN POST BATTERY PACK 2955.250.411070.360.000	115.00
				Total :	115.00
9/22/2020	17437 ESCRIBE	US-955		WEBCASTING PLUS - SETUP/TRAINI 4011.390.410560.940.419	14,150.00
				Total :	14,150.00
9/22/2020	00874 FASTENAL	MTMSL64375		OPERATING SUPPLIES FOR CREW 2512.320.430230.220.000	799.74
				Total :	799.74
9/22/2020	00874 FASTENAL	MTMSL64559		OPERATING SUPPLIES FOR CREW	

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9/22/2020	00874 FASTENAL	(Continued)		2512.320.430230.220.000	129.30
				Total :	129.30
9/22/2020	19966 FERGUSON, WILL	DEPT 1 PRO TEMP		SUB JUDGE DEPT 1 1000.230.410360.350.000	273.68
				Total :	273.68
9/22/2020	07892 FIRESTONE COMPLETE AUTO CARE	290944		#48 WHEEL ALIGNMENT 1000.290.420150.360.000	65.59
		291264		TIRES FOR CHARGERS X8 1000.290.420150.230.000	981.20
				Total :	1,046.79
9/22/2020	19493 GARDEN CITY JANITORIAL INC	23832		OFFICE CLEANING 5210.335.430520.360.000	1,336.57
				5210.335.430520.360.419	840.00
				Total :	2,176.57
9/22/2020	11083 GECKO FENCE & LANDSCAPE LLC	23426		LAWN MOWING 5210.335.430520.360.000	20.00
		23432		LAWN MOWING 5210.335.430520.360.000	25.00
		23433		LAWN MOWING 5210.335.430520.360.000	135.00
		23450		LAWN MOWING 5210.335.430520.360.000	40.00
		23451		LAWN MOWING 5210.335.430520.360.000	50.00
		23453		LAWN MOWING 5210.335.430520.360.000	85.00
		23454		LAWN MOWING 5210.335.430520.360.000	185.00
		23457		LAWN MOWING 5210.335.430520.360.000	50.00

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9/22/2020	11083 GECKO FENCE & LANDSCAPE LLC	(Continued)			
		23459		LAWN MOWING 5210.335.430520.360.000	25.00
		23460		LAWN MOWING 5210.335.430520.360.000	175.00
		23461		LAWN MOWING 5210.335.430520.360.000	65.00
		23464		LAWN MOWING 5210.335.430520.360.000	50.00
		23465		LAWN MOWING 5210.335.430520.360.000	45.00
		23495		LAWN MOWING 5210.335.430520.360.000	25.00
		23499		LAWN MOWING 5210.335.430520.360.000	25.00
		23500		LAWN MOWING 5210.335.430520.360.000	135.00
		23516		LAWN MOWING 5210.335.430520.360.000	40.00
		23518		LAWN MOWING 5210.335.430520.360.000	115.00
		23521		LAWN MOWING 5210.335.430520.360.000	50.00
		23523		LAWN MOWING 5210.335.430520.360.000	175.00
		23524		LAWN MOWING 5210.335.430520.360.000	65.00
		23526		LAWN MOWING 5210.335.430520.360.000	50.00
		23529		LAWN MOWING 5210.335.430520.360.000	50.00
		23530		LAWN MOWING 5210.335.430520.360.000	45.00
		23571		LAWN MOWING 5210.335.430520.360.000	25.00

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9/22/2020	11083 GECKO FENCE & LANDSCAPE LLC	(Continued)			
		23586		LAWN MOWING 5210.335.430520.360.000	40.00
		23588		LAWN MOWING 5210.335.430520.360.000	185.00
		23589		LAWN MOWING 5210.335.430520.360.000	160.00
		23598		LAWN MOWING 5210.335.430520.360.000	20.00
		23608		LAWN MOWING 5210.335.430520.360.000	25.00
		23627		LAWN MOWING 5210.335.430520.360.000	40.00
		23629		LAWN MOWING 5210.335.430520.360.000	85.00
		23633		LAWN MOWING 5210.335.430520.360.000	175.00
		23634		LAWN MOWING 5210.335.430520.360.000	65.00
		23637		LAWN MOWING 5210.335.430520.360.000	45.00
				Total :	2,590.00
9/22/2020	00691 GRAINGER INC	9625952719		SHARPS CONTAINERS 5311.330.430630.230.000	14.58
		9636172059		EXPOXY-ACTIVATOR, PAINT 5311.330.430640.220.000	186.62
				Total :	201.20
9/22/2020	05438 GRANT CREEK EXCAVATING	09082020		PAY APP#2 UPPER GHARRETT 5450.334.430235.930.191	123,598.30
				Total :	123,598.30
9/22/2020	00221 GULL BOATS	E11235		POWER SOCKET 4020.390.420302.940.000	29.85

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	00221 GULL BOATS	(Continued)		Total :	29.85
9/22/2020	00100 HACH COMPANY	12105914		COD VIALS AND RECYCLING 5311.330.430650.220.000	613.95
				Total :	613.95
9/22/2020	13757 HARLOWS TRUCK CENTER	02P1135		WATER PUMP 1000.321.431330.230.000	105.14
				Total :	105.14
9/22/2020	14333 HIGH POINT NETWORKS	163481		ARUBA LICENSE/SUPPORT 1000.224.410580.360.000	550.00
				Total :	550.00
9/22/2020	20583 HOLMGREN, PAYTON	REIMB091120		OFFICER NEW ISSUE BOOTS - NIKE 1000.290.420110.220.000	150.00
				Total :	150.00
9/22/2020	07175 HORTON, CARL	REIMBURSEMENT		OCT20 INTERNET REIMB 1000.224.410580.344.000	49.99
				Total :	49.99
9/22/2020	06531 HOUSE OF CLEAN	M080375		CUSTODIAL SUPPLIES 2513.370.460501.220.000	237.54
		M080559		CUSTODIAL SUPPLIES 2513.370.460501.220.000	715.21
				5450.334.430210.220.000	1,642.44
		M080732		CUSTODIAL SUPPLIES 2513.370.460501.220.000	480.38
		M080800		CUSTODIAL SUPPLIES 1221.370.460503.220.000	822.22
				Total :	3,897.79
9/22/2020	15854 IFM EFECTOR INC.	40518847		FLOW ADAPTER 5210.335.430530.230.000	300.00
				Total :	300.00

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9/22/2020	20077 IMEG CORP	20001622.00-3		ENGINEERING SERVICES 5210.335.430551.930.193	10,491.00
		20001717.00-4		ENGINEERING SERVICES 5210.335.430551.930.201	13,117.50
		20001718.00-4		ENGINEERING SERVICES 5210.335.430551.930.202	5,161.50
		20001734.00-4		URD II 2ND/3RD SIDEWALK PROJ 7392.385.470230.350.000	10,200.50
				Total :	38,970.50
9/22/2020	16272 INFOSEND	177637		MONTHLY BILLING SERVICE 5450.334.430210.310.000	6,695.34
				5210.335.430510.310.000	6,695.33
				Total :	13,390.67
9/22/2020	00263 INLAND TRUCK PARTS	IN688369		PARTS FOR UNIT 139 2512.320.430230.230.000	74.36
				Total :	74.36
9/22/2020	10962 INSPIRING DEVELOPMENT LLC	OCT 20 RENT		OCTOBER 2020 RENT 2989.290.420198.500.000	6,445.00
				2919.290.420142.500.000	1,611.00
				Total :	8,056.00
9/22/2020	17177 IRON MOUNTAIN	CWZY660		OFFSITE DOCUMENT STORAGE 5210.335.430510.350.000	638.86
				Total :	638.86
9/22/2020	05577 ISTATE TRUCK CENTER	C253147194:01		PARTS FOR UNIT 173 2512.320.430230.230.000	438.51
		C253147198:01		PARTS FOR UNIT 173 2512.320.430230.230.000	46.52
				Total :	485.03
9/22/2020	00472 JOHNSTONE SUPPLY	2099052		REPAIRS 2513.370.460432.350.000	57.50

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	00472 JOHNSTONE SUPPLY	(Continued)		Total :	57.50
9/22/2020	04402 JOURNAL TECHNOLOGIES INC	5102		OCT JUST WARE API RENEWAL 1000.270.411125.360.000	1,865.36
				Total :	1,865.36
9/22/2020	12361 JUSTICE SYSTEM CONFERENCE	INV102668		CITATION MODULE MAINT/SUPPORT 1000.230.410360.330.000	500.00
				Total :	500.00
9/22/2020	08276 KELLER SUPPLY CO	S014513185.001		RESTROOM REPAIR 2513.370.460501.220.000	649.32
				Total :	649.32
9/22/2020	02992 KEMBEL, KOSENA & COMPANY INC	09042020		APPRAISAL REPORTS 5210.335.430510.350.000	12,500.00
				Total :	12,500.00
9/22/2020	12095 KIDDE SAFETY	RI-7891882		SUPRA SAFE 1000.300.420415.220.000	608.00
				Total :	608.00
9/22/2020	00473 KLS HYDRAULICS	87353		PARTS FOR SWEEPER 120 2512.320.430252.230.000	175.71
				Total :	175.71
9/22/2020	00299 KNIFE RIVER	19326		ROLLER RENTAL FOR AUGUST 2512.320.430230.500.000	1,984.00
		PAY REQUEST 3		URD III N SIDEWALKS PHASE 1 7393.385.470230.930.000	25,210.10
				Total :	27,194.10
9/22/2020	00299 KNIFE RIVER	706247		POTHOLE PATCH MIX 2512.320.430230.400.000	152.23
		706428		POTHOLE PATCH MIX 2512.320.430230.400.000	195.86

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9/22/2020	00299 KNIFE RIVER	(Continued)			
		706438		CONCRETE FOR 3RD STREET 2512.320.430230.400.000	377.75
		707059		POTHOLE PATCH MIX 2512.320.430230.400.000	198.28
		707069		CONCRETE FOR THIRD STREET 2512.320.430230.400.000	288.50
		707130		CONCRETE FOR THIRD STREET 2512.320.430230.400.000	288.50
		707732		CONCRETE FOR THIRD STREET 2512.320.430230.400.000	377.75
		708169		POTHOLE PATCH MIX 2512.320.430230.400.000	458.62
		708180		CONCRETE FOR THIRD STREET 2512.320.430230.400.000	486.00
		708726		TACK OIL 2512.320.430230.400.000	319.50
		708727		POTHOLE PATCH MIX 2512.320.430230.400.000	307.37
		708736		CONCRETE FOR THIRD STREET 2512.320.430230.400.000	348.00
		708919		POTHOLE PATCH MIX 2512.320.430230.400.000	302.51
		708933		CONCRETE FOR THIRD STREET 2512.320.430230.400.000	586.00
				Total :	4,686.87
9/22/2020	00232 KURTS POLARIS	313520		STARTER 1000.340.430930.230.000	97.95
				Total :	97.95
9/22/2020	15061 LATECH EQUIPMENT	201004-1		UNIVERSAL VAC POWER SUPPLY 5311.330.430640.230.000	1,175.00
				Total :	1,175.00
9/22/2020	05875 LEXISNEXIS RISK SOLUTIONS	150485020200831		8/1/20 - 8/31/20 PEOPLE SEARCH	

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9/22/2020	05875 LEXISNEXIS RISK SOLUTIONS	(Continued)		1000.290.420110.330.000	150.00
				Total :	150.00
9/22/2020	08485 LINDLER, ALBERT	REIMBURSEMENT		POSTERS FOR GCNC MEETING 1000.255.410124.700.004	83.88
				Total :	83.88
9/22/2020	01611 LITHIA MOTORS SUPPORT SERVICES	137194		HANDLE 1000.300.420430.230.000	29.00
				Total :	29.00
9/22/2020	00367 MACON SUPPLY	955487		CHALK OPERATING SUPPLIES 2512.320.430230.220.000	45.00
				Total :	45.00
9/22/2020	00356 MARCHIES NURSERY	8240		ROLLED SOD 2513.370.460501.220.000	60.00
				Total :	60.00
9/22/2020	16068 MCDONALD, ASHLEY	REIMBURSEMENT		WRIST BRACE REIMBURSEMENT 1000.240.410510.210.000	16.84
				Total :	16.84
9/22/2020	11690 MCMASTER CARR	44677296		ALUMINUM ALLOY CORROSION PAD 5311.330.430640.230.000	82.97
				Total :	82.97
9/22/2020	12899 MEYER, JIM	OCT20 RENT		400 RYMAN/198 W PINE OCT20 REN 1000.255.470210.530.000	6,452.52
		OCTOBER20 RENT		414 RYMAN OCT20 RENT 2394.310.420500.530.000	6,577.58
				Total :	13,030.10
9/22/2020	10166 MICKELSON PLUMBING & HEATING	MI6507		PLUMBING REPAIR 2513.370.460501.350.000	110.00
				Total :	110.00

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9/22/2020	00376 MIDLAND IMPLEMENT CO	066709001		STEP PUMPS 5311.330.430630.230.000	4,850.00
				Total :	4,850.00
9/22/2020	12175 MIDWAY RENTAL	6-1256334		ST4 TRENCH 1000.300.420420.230.000	239.50
				Total :	239.50
9/22/2020	11806 MISSOULA BROADCASTING	14565-3		SE ADVERTISING 2955.250.411080.330.000	329.00
		14565-4		SE ADVERTISING 2955.250.411080.330.000	329.00
		14565-5		SE ADVERTISING 2955.250.411080.330.000	329.00
		14565-6		SE ADVERTISING 2955.250.411080.330.000	329.00
		15475-3		SE ADVERTISING 2955.250.411080.330.000	210.00
		15475-4		SE ADVERTISING 2955.250.411080.330.000	210.00
		16146-1		BUS AD INSTALLMENT #3 5450.334.430210.330.000	855.00
				Total :	2,591.00
9/22/2020	16995 MISSOULA COMPOST COLLECTION	00168-R-0027		COMPOST COLLECTION 1000.250.411010.210.000	18.00
				Total :	18.00
9/22/2020	03643 MISSOULA ELECTRIC COOP INC	313257		ELECTRICITY 5311.330.430630.341.000	951.43
		363503		MONTHLY ELECTRICAL CHARGES 5210.335.430530.341.000	1,077.42
				Total :	2,028.85
9/22/2020	00393 MISSOULA MOTOR PARTS CO	312754		AUTO PARTS 2513.370.460501.235.000	-100.38

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9/22/2020	00393 MISSOULA MOTOR PARTS CO	(Continued)			
		312762		#48 BALL JOINT X2, TIE ROD X4, COI 1000.290.420150.230.000	790.90
		314773		AUTO PARTS 1000.300.420440.230.000	98.69
		315141		AUTO PARTS 2513.370.460501.235.000	-70.00
		315275		PARTRS FOR UNIT 146 LOADER 2512.320.430230.230.000	154.28
		316133		#66 THERMOSTAT 1000.290.420150.230.000	28.10
		316791		#63 CABIN AIR FILTER X2, AIR FILTEI 1000.290.420150.230.000	73.13
		316794		#8059 AIR FILTER X2, OIL FILTER X1 1000.290.420141.230.000	19.64
		317169		#64 OIL FILTER X1, AIR FILTER X2, O 1000.290.420150.230.000	46.93
		317616		DEF FOR STREETS AND VARIOUS FI 2512.320.430230.230.000	35.96
				1000.321.431330.230.000	237.18
		317887		AUTO PARTS 1000.321.431330.230.000	16.42
		318150		AUTO PARTS 1000.321.431330.230.000	14.03
		318251		AUTO PARTS 1000.321.431330.230.000	28.07
		319283		#16 ATV OIL X3, OIL FILTER X1 1000.290.420150.230.000	25.42
		319381		AUTO PARTS 1000.300.420460.230.000	82.56
		320654		DEF FOR STREETS AND PARTS FOR 2512.320.430230.230.000	85.36
				1000.321.431330.230.000	113.97
		320880		AUTO PARTS 1000.300.420460.230.000	53.16

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9/22/2020	00393 MISSOULA MOTOR PARTS CO	(Continued)			
		321582		AUTO PARTS 1000.300.420460.230.000	138.06
		321894		AUTO PARTS 1000.300.420460.230.000	194.22
		322578		AUTO PARTS 1000.300.420460.230.000	120.86
		323217		AUTO PARTS 1000.300.420460.230.000	4.96
		715616		AUTO PARTS 1221.370.460503.220.000	47.11
				Total :	2,238.63
9/22/2020	00393 MISSOULA MOTOR PARTS CO	316773		PARTS FOR 188 SINGLE AXLE DUMF 2512.320.430230.230.000	8.36
		317687		PARTS FOR UNIT 153 2512.320.430230.230.000	8.59
				Total :	16.95
9/22/2020	14635 MISSOULA POWER EQUIPMENT	090320		SHOP SUPPLIES 1221.370.460503.220.000	265.00
		090820		EQUIPMENT 2513.370.460501.220.000	810.00
				Total :	1,075.00
9/22/2020	00402 MISSOULA TEXTILE SERVICES	1303252		TEXTILE SERVICES 1000.390.510300.210.419	12.82
		1305271		TEXTILE SERVICES 1000.390.510300.210.419	12.82
		1307300		TEXTILE SERVICES 1000.390.510300.210.419	12.82
		1309480		TEXTILE SERVICES 1000.390.510300.210.419	12.82
		1311578		TEXTILE SERVICES 1000.390.510300.210.419	12.82

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00402 MISSOULA TEXTILE SERVICES	(Continued)			
		1313565		TEXTILE SERVICES	
				1000.390.510300.210.419	12.82
		1315644		TEXTILE SERVICES	
				1000.390.510300.210.419	12.82
		1317772		TEXTILE SERVICES	
				1000.390.510300.210.419	12.82
		1319976		TEXTILE SERVICES	
				1000.390.510300.210.419	12.82
		1320598		TEXTILE SERVICES	
				2513.370.460484.350.419	32.48
				2513.370.460501.350.419	62.28
		1322025		TEXTILE SERVICES	
				1000.321.431330.220.000	160.77
		1322629		TEXTILE SERVICES	
				2513.370.460484.350.419	24.81
				2513.370.460501.350.419	62.06
		1324146		TEXTILE SERVICES	
				1000.340.430930.350.000	55.94
				1000.340.430910.310.000	3.36
		1324155		TEXTILE SERVICES	
				1000.321.431330.220.000	164.62
		1324643		TEXTILE SERVICES	
				1000.300.420420.360.000	39.49
		1325360		TEXTILE SERVICES	
				5311.330.430640.350.000	116.53
		1325361		TEXTILE SERVICES	
				5311.330.430630.350.000	50.09
		S0543037		TEXTILE SERVICES	
				7370.395.430266.390.044	8.50
		S1322850		TEXTILE SERVICES	
				5210.335.430520.360.000	29.47
				Total :	925.78
9/22/2020	00407 MISSOULIAN	20606913		NOTICE PH SWPPP ENGINEERING F	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00407 MISSOULIAN	(Continued)			
		20607635		1000.223.410910.330.000 NOTICE PH HERON'S LANDING	22.00
		20607642		1000.223.410910.330.000 NOTICE PH MULLAN CROSSING	33.00
				1000.223.410910.330.000	33.00
				Total :	88.00
9/22/2020	00261 MLCT	MISS20200630		MLCT ANNUAL DUES	
				1000.223.410910.330.000	25,000.00
				Total :	25,000.00
9/22/2020	03607 MMW ARCHITECTS PC	00002		PW FACILITY PLAN - ENGINEERING	
		00003		4037.280.430220.920.201 PW FACILITY PLAN - ENGINEERING	2,881.65
		00007		4037.280.430220.920.201 ARCHITECT FEES THRU 083120	10,373.94
				4013.390.411240.930.201	598.75
				Total :	13,854.34
9/22/2020	13149 MOMS RENTALS	123209A-1		RENTAL ON WACKER EXCAVATOR F	
				2512.320.430230.500.000	1,667.50
				Total :	1,667.50
9/22/2020	10612 MONTANA BROOM & BRUSH	1450083		JANITORIAL SUPPLIES	
				5311.330.430640.220.419	110.00
				Total :	110.00
9/22/2020	06290 MONTANA INTERACTIVE	2611086		BLIC BACKGROUND CHECKS	
				1000.250.411050.350.000	480.00
				Total :	480.00
9/22/2020	02845 MONTANA LOCK & SECURITY INC	29352		STEP AND 3252 PADLOCKS	
				5311.330.430630.220.000	1,196.81
				Total :	1,196.81
9/22/2020	00417 MONTANA RAIL LINK	811698		WATERLINE XING PERMITS	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00417 MONTANA RAIL LINK	(Continued)		5210.335.430530.530.000	300.00
				Total :	300.00
9/22/2020	10208 MONTANA STATE UNIVERISITY	510-33		TRAFFIC TRAINING	
				2513.370.460485.380.000	420.00
				Total :	420.00
9/22/2020	00420 MORRISON MAIERLE INC	205284		ENGINEERING SERVICES UPPER GI	
				5450.334.430235.930.191	8,631.81
		205359		WESTSIDE PK PHASE 1	
				4081.370.460433.930.203	2,534.00
				Total :	11,165.81
9/22/2020	10124 MOUNTAIN WEST CO OP BULK EAST	SG4347		DYED DIESEL	
				1000.300.420460.231.000	491.55
				Total :	491.55
9/22/2020	09834 MUNICIPAL EMERGENCY SERV	IN1494095		ADAPTER ASSY/FILTERS	
				1000.300.420460.220.419	4,575.00
				Total :	4,575.00
9/22/2020	10125 MURDOCHS	22587/5		UNIT 317 PNEUMATIC TIRE	
				5311.330.430630.235.000	74.97
		22628/5		DOG FOOD, TREATS, TOY FOR SUNI	
				2390.290.420142.220.000	190.86
		22629/5		DISCOUNT ON DOG FOOD SUNKA C	
				2390.290.420142.220.000	-18.45
		22639/5		FASTENERS	
				1000.300.420460.230.000	1.99
		22651/5		HITCH PINS, SPRAY PAINT, WHEELS	
				5311.330.430630.230.000	47.88
		22656/5		BOLT CUTTER	
				1000.300.420460.230.000	27.99
		22661/5		COUPLERS	
				1225.300.420460.220.000	22.99

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9/22/2020	10125 MURDOCHS	(Continued) 22662/5		WILDLAND SUPPLIES 1225.300.420460.220.000	80.96
		22685/5		PANTS 2513.370.460432.220.000	37.49
				Total :	466.68
9/22/2020	09431 NATURES BEST INC	693		MOW/TRIM/EDGE/IRRIGATION SERV 5311.330.430640.360.000	1,255.59
				Total :	1,255.59
9/22/2020	00832 NEELY ELECTRIC INC	INV-677		BUENA VISTA LS REPAIR 5311.330.430630.360.000	168.00
				Total :	168.00
9/22/2020	20588 NOLAN, BILL	REIMBURSEMENT		REFUND SHELTER USE 1000.202110	42.00
				Total :	42.00
9/22/2020	20355 NONEMACHER, MICHAEL	REIMBURSEMENT		CLOTHING REIMBURSEMENT 2513.370.460432.220.000	230.50
				Total :	230.50
9/22/2020	00436 NORCO	29970169		FIRST AID SUPPLIES 5210.335.430550.220.000	37.80
		30031481		CALIBRATION GAS 5210.335.430550.220.000	248.00
				Total :	285.80
9/22/2020	00436 NORCO	29969587		FACE MASKS 5210.335.430550.220.419	76.57
		29994433		HARD HAT 5210.335.430550.220.000	26.99
		64774955-00		ARGON GAS FOR GFAA 5311.330.430650.220.000	193.35
				Total :	296.91

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9/22/2020	18811 NORTH RIDGE FIRE EQUIPMENT	6651		WILDLAND GLOVES 1000.300.420460.220.000	300.70
				Total :	300.70
9/22/2020	02594 NORTHWEST PIPE FITTINGS INC	3378978		METERS 5210.335.430597.940.000	58,247.50
				Total :	58,247.50
9/22/2020	00481 NORTHWEST SCIENTIFIC INC	5136529		VORTEX MIXER AND FILTER PAPER 5311.330.430650.220.000	196.00
				Total :	196.00
9/22/2020	00725 NORTHWESTERN ENERGY	04212791		POWER UTILITIES 1000.300.420420.341.000	5,551.57
		04212817		POWER UTILITIES 2513.370.460501.341.000	1,735.22
		04212825		ELECTRIC BILL 2512.280.430263.341.000	126.67
				2512.280.430264.341.000	55.41
		04212866		COLLECTIONS ENERGY 5311.330.430630.341.000	3,806.07
				5311.330.430640.341.000	41,030.62
		0722543-6		POWER UTILITIES 2513.370.460501.341.000	50.03
		0722580-8		POWER UTILITIES 2513.370.460501.341.000	24.77
		0722869-5		POWER UTILITIES 2513.370.460501.341.000	5.80
		0723020-4		POWER UTILITIES 2513.370.460501.341.000	6.31
		0724537-6		ELECTRIC BILL 2512.280.430264.341.000	14.08
		0724538-4		ELECTRIC BILL 2512.280.430264.341.000	11.76
		0724539-2		ELECTRIC BILL 2512.280.430264.341.000	36.52

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9/22/2020	00725 NORTHWESTERN ENERGY	(Continued)			
		07425101		ELECTRIC BILL	
				2512.280.430263.341.000	1,321.51
				2512.280.430264.341.000	0.93
		1147292-5		POWER UTILITIES	
				2513.370.460501.341.000	6.44
		1583320-5		POWER UTILITIES	
				2513.370.460501.341.000	23.33
		1719784-9		POWER UTILITIES	
				2513.370.460501.341.000	7.74
		2001923-8		POWER UTILITIES	
				2513.370.460434.341.000	6.31
		2027530-1		POWER UTILITIES	
				2513.370.460501.341.000	22.96
		2049178-3		POWER UTILITIES	
				2513.370.460501.341.000	34.50
		2049180-9		POWER UTILITIES	
				2513.370.460501.341.000	16.20
		2092564-0		POWER UTILITIES	
				2513.370.460501.341.000	29.92
		2092567-3		POWER UTILITIES	
				2513.370.460501.341.000	79.19
		29796406		MONTHLY GAS/ELECTRIC CHARGES	
				5210.335.430530.341.000	218,029.61
				5210.335.430510.341.000	2,430.20
		3182068-1		POWER UTILITIES	
				2513.370.460501.341.000	60.57
		3747504-3		POWER UTILITIES	
				2513.370.460501.341.000	125.40
				Total :	274,649.64
9/22/2020	00487 OFFICE CITY	963900-0		OFFICE SUPPLIES	
				1000.270.411120.210.000	879.90
		965716-1		OFFICE SUPPLIES	
				1000.230.410360.210.000	149.99

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9/22/2020	00487 OFFICE CITY	(Continued)			
		967944-0		OFFICE SUPPLIES 2955.250.411080.210.000	80.97
		968209-0		NAME PLATE C368 1000.290.420141.220.000	13.95
		968326-0		OFFICE SUPPLIES 7393.385.470210.210.000	8.29
		968357-0		OFFICE SUPPLIES 1000.250.411010.210.000	14.99
		968357-1		OFFICE SUPPLIES 1000.250.411010.210.000	30.33
		968385-1		OFFICE SUPPLIES 1000.340.430910.210.000	38.04
		968583-0		OFFICE SUPPLIES 2513.370.460432.210.000	23.48
		968583-1		OFFICE SUPPLIES 2513.370.460432.210.000	25.89
				Total :	1,265.83
9/22/2020	00488 OFFICE SOLUTIONS AND SERVICES	INV86192		OFFICE SUPPLIES 1000.230.410360.390.000	76.38
		INV86616		OFFICE SUPPLIES 5210.335.430510.210.000	22.63
		INV86865		OFFICE SUPPLIES 1000.300.420420.360.000	81.03
				Total :	180.04
9/22/2020	20582 OJA, ADAM	REIMB091120		REIMB CSS NEW ISSUE BOOTS, GL 1000.290.420110.220.000	261.97
				Total :	261.97
9/22/2020	00495 OPPORTUNITY RESOURCES INC	66720		JUNE JANITORIAL SERV 1000.246.431350.360.000	10,025.05
				Total :	10,025.05
9/22/2020	04887 OREILLY AUTO PARTS	1562-278047		AUTOMOTIVE PARTS & SUPPLIES	

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9/22/2020	04887 OREILLY AUTO PARTS	(Continued)		1000.300.420440.230.000	128.90
				Total :	128.90
9/22/2020	20437 OREILLY FIRST CALL	1562-275572		#22 CONTROL ARM ASSEMBLY 1000.290.420150.230.000	125.84
				Total :	125.84
9/22/2020	00506 PACIFIC STEEL & RECYCLING	7367315		MR HOMESTEAD SUPPLIES 2513.370.460484.220.000	195.60
				Total :	195.60
9/22/2020	15697 PARCEL DELIVERY QUICK	25603		MAIL DELIVERY 5210.335.430510.350.000	189.00
				Total :	189.00
9/22/2020	10966 PAULSON ELECTRIC	09127		MAINT CITY HALL 1000.246.431350.360.000	369.10
				Total :	369.10
9/22/2020	12272 PITMAN, STEVEN	REIMBURSEMENT		SHOP TOOLS REIMBURSEMENT 1000.300.420490.230.000	49.98
				Total :	49.98
9/22/2020	03009 POTEET CONSTRUCTION	3537		TRAFFIC CONTROL LEAK #20200020 5210.335.430550.360.000	257.50
				Total :	257.50
9/22/2020	00908 PYRAMID PRINTING	48893		2 SIDED 1000 COPIES OF FLYER CH 2512.320.430210.320.000	180.18
				Total :	180.18
9/22/2020	02743 RANGITSCH BROTHERS LLC	147979		DOOR BUMPER 1000.300.420460.230.000	11.59
				Total :	11.59
9/22/2020	00612 RDO EQUIPMENT CO	P0804668		PARTS FOR 113 SWEEPER 2512.320.430252.230.000	576.73

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9/22/2020	00612 RDO EQUIPMENT CO	(Continued) P0817768		REFUND ON CORE 2512.320.430252.230.000	-50.00
				Total :	526.73
9/22/2020	00536 RECORDING CENTER	EM072320		COURT RECORDING SERV 1000.230.410360.390.419	1,650.00
				Total :	1,650.00
9/22/2020	04811 REPUBLIC SERVICES #889	308890041620		TRASH REMOVAL 5210.335.430510.345.000	406.63
		308890071423		SEPT GARBAGE/OVERAGE CHARGE 7370.395.430266.345.000	377.41
				7370.395.430266.345.717	600.95
		308890151605		SEPT GARBAGE SERV 5711.370.460491.345.000	156.48
		308890153908		SEPT GARBAGE 5711.370.460490.345.000	362.47
				Total :	1,903.94
9/22/2020	12176 RODDA PAINT	69075541		SEAL 2512.280.430265.220.000	25.33
				Total :	25.33
9/22/2020	16392 SAFEGUARD BUSINESS SYSTEMS	034211456		DEPOSIT BOOKS 5210.335.430510.210.000	99.21
				Total :	99.21
9/22/2020	19245 SCHEFFEL, ZECHARIAH	REIMBURSE		CLOTHING ALLOWANCE '21 2512.320.430210.220.000	63.73
				Total :	63.73
9/22/2020	00559 SELBYS	314021-000		2-SIDED WEDGE HUB AND STAKE TI 2512.320.430230.220.000	208.36
		4005877-000		LASER REPAIR AND BATTERIES 2512.320.430230.230.000	175.98

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Date	Vendor	Invoice	PO #	Description/Account	Amount
	00559 SELBYS	(Continued)		Total :	384.34
9/22/2020	01516 SHADOW ASPHALT INC	PAY APP 3		URD II 2ND/3RD SIDEWALK PRJ	
				7392.385.470230.930.000	113,001.80
		RETAINAGE RELEASE		7392.385.470230.930.000	17,250.15
				Total :	130,251.95
9/22/2020	10253 SHELL ENERGY NA LP	3377652		PLANT	
				5311.330.430640.341.000	2,099.74
				Total :	2,099.74
9/22/2020	08956 SPLASH CAR WASH	1104		CAR WASH	
				1000.246.411810.230.000	5.50
				Total :	5.50
9/22/2020	03023 SWANSON, SWAN	REIMBURSE		CLOTHING REIMBURSEMENT FY21	
				2512.320.430210.220.000	69.17
				Total :	69.17
9/22/2020	00607 SWEET PEA SEWER & SEPTIC	87166		PORTA POTTY RENTAL X2, TRAINING	
				1000.290.420130.370.000	140.00
				Total :	140.00
9/22/2020	04722 TEAR IT UP LLC	52144		DOCUMENT DESTRUCTION RYMAN	
				1000.290.420110.350.000	98.00
				Total :	98.00
9/22/2020	18996 TELEFLEX, TELEFLEX	9502988433		POWER DRIVER	
				1000.300.420455.220.000	309.50
				Total :	309.50
9/22/2020	06705 TETRA TECH INC	51618064		FMRP PERC TESTING GEOTECH SE	
				1219.370.460401.930.000	998.25
				Total :	998.25
9/22/2020	00820 TIRE RAMA	7070005727		#26 TIRES X4	
				1000.290.420141.230.000	479.08

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00820 TIRE RAMA	(Continued) 7070006060		#8059 TIRES X2 1000.290.420141.230.000	206.10
				Total :	685.18
9/22/2020	00594 TISCHLERBISE	2020900026		MULLAN AREA ROAD IMPACT FEE S 4980.280.430233.930.000	5,760.00
				Total :	5,760.00
9/22/2020	00601 TOWNE MAILER	148999		PRINTING/STUFFING/MAILING SERV 1000.230.410360.310.000	4,209.59
				Total :	4,209.59
9/22/2020	19323 TRANSMAP CORPORATION	2981679		PAVEMENT CONDITION REPORT 2955.250.411070.350.000	4,110.00
				Total :	4,110.00
9/22/2020	00609 TRI ARC INC	R16420		WELDING SUPPLIES 2512.280.430265.220.000	15.75
				Total :	15.75
9/22/2020	05670 URQUHART, CAGE	REIMBURSEMENT		OCT20 INTERNET REIMBURSEMENT 1000.224.410580.344.000	55.00
				Total :	55.00
9/22/2020	01430 USA BLUEBOOK	351156		MICROFLEX FREE FORM GLOVES 5311.330.430630.230.419	94.80
				Total :	94.80
9/22/2020	04164 USPS	3085704		SHIPPING 2955.250.411080.310.000	11.20
				Total :	11.20
9/22/2020	00660 UTILITIES UNDERGROUND	0085222		UTILITY LOCATION SVS 5210.335.430550.360.000	973.40
				Total :	973.40
9/22/2020	00665 VERIZON WIRELESS	742160083-01		CELL PHONE CHARGES	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00665 VERIZON WIRELESS	(Continued)		5210.335.430510.344.000	3,158.65
				Total :	3,158.65
9/22/2020	00665 VERIZON WIRELESS	671100517-01		MONTHLY CHARGES AUG 04 - SEP C	
				1219.370.460441.344.000	25.89
				2513.370.460410.344.000	56.26
				2513.370.460411.344.000	143.86
				2513.370.460441.344.000	139.46
				2513.370.460470.344.000	102.16
				2513.370.460471.344.000	37.30
				2513.370.460472.344.000	51.08
				5711.370.460490.344.000	247.13
				5711.370.460491.344.000	25.89
				Total :	829.03
9/22/2020	00665 VERIZON WIRELESS	471471911-01		MONTHLY CHARGES AUG 05 - SEP C	
				1000.224.410580.344.000	488.50
				Total :	488.50
9/22/2020	18520 VIBRANT HEARING	112708		HEARING TESTING FOR CREW	
				2512.320.430210.350.000	321.00
				Total :	321.00
9/22/2020	02047 VISSCHER, ELIZABETH	REIMBURSEMENT		OCT INTERNET REIMBURSEMENT	
				1000.224.410580.344.000	55.00
				Total :	55.00
9/22/2020	01605 WESTERN EXCAVATING INC	PAY REQUEST 2		WORDEN ST MAIN REPLACEMENT	
				5210.335.430551.930.201	191,275.13
				Total :	191,275.13
9/22/2020	01605 WESTERN EXCAVATING INC	015883		SUMP ROCK FOR THIRD STREET	
				2512.320.431200.400.000	402.30
		015915		SUMP ROCK FOR 3RD STREET	
				2512.320.431200.400.000	426.00

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Date	Vendor	Invoice	PO #	Description/Account	Amount
	01605 WESTERN EXCAVATING INC	(Continued)		Total :	828.30
9/22/2020	00682 WESTERN STATES EQUIPMENT CO	IN001402925		TRAYNOR	
				5311.330.430630.360.000	253.19
		IN001402926		CARAS PARK	
				5311.330.430630.360.000	253.19
		IN001402927		FUTURITY	
				5311.330.430630.360.000	253.19
		IN001402929		MILLER CREEK	
				5311.330.430630.360.000	253.19
		IN001402932		EAST MISSOULA	
				5311.330.430630.360.000	253.19
		IN001402933		MULLAN ROAD	
				5311.330.430630.360.000	253.19
		IN001402936		EAST MISSOULA GOLF COURSE	
				5311.330.430630.360.000	253.19
		IN001402938		LINDA VISTA	
				5311.330.430630.360.000	253.19
		IN001402940		BUENA VISTA	
				5311.330.430630.360.000	253.19
		IN001404346		MASTAD	
				5311.330.430630.360.000	253.19
		IN001404348		SOUTH 3RD ST WEST	
				5311.330.430630.360.000	253.19
		IN001404350		EAST BROADWAY	
				5311.330.430630.360.000	253.19
		IN001404354		UNIVERSITY	
				5311.330.430630.360.000	253.19
		IN001404357		T316 PORT	
				5311.330.430630.360.000	253.80
		IN001404360		COMMUNITY HOSPITAL	
				5311.330.430630.360.000	253.19
		IN001404362		HEADWORKS	
				5311.330.430630.360.000	253.19

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00682 WESTERN STATES EQUIPMENT CO	(Continued)			
		IN001404369		MOMONT 1	
				5311.330.430630.360.000	253.19
		IN001404420		PORTABLE	
				5311.330.430630.360.000	253.19
		IN001404439		FORT MISSOULA	
				5311.330.430630.360.000	253.19
		IN001404444		RESERVE STREET	
				5311.330.430630.360.000	253.19
		IN001405669		PARTS FOR UNIT 123 CUTTING EDG	
				2512.320.430230.230.000	774.32
		IN001405982		ANNUAL INSPECTION AT PLANT	
				5311.330.430640.360.000	963.86
		IN001405987		COUNCIL WAY	
				5311.330.430630.360.000	519.42
		IN001405990		WALDO	
				5311.330.430630.360.000	540.07
		IN001406503		KELLY ISLAND	
				5311.330.430630.360.000	519.42
		IN001408888		PARTS FOR 149 BACKHOE	
				2512.320.430230.230.000	238.46
		IN001408909		PARTS FOR UNIT 123 NUTS AND BOI	
				2512.320.430230.230.000	362.75
				Total :	8,982.71
9/22/2020	01303 WESTERN STATES FIRE PROTECTION	WSF303551		MAM ANNUAL FIRE INSPECTION	
				1000.246.460452.700.000	826.00
				Total :	826.00
9/22/2020	04183 WEX BANK, FLEET SERVICES	66803739		JULY FLEET FUEL	
				1000.321.431330.231.000	35,498.10
		672952223		AUG FLEET FUEL CHARGES	
				1000.321.431330.231.000	35,621.10
				Total :	71,119.20
9/22/2020	00057 WGM GROUP INC	60569		E MSLA CORRIDOR PLAN	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
9/22/2020	00057 WGM GROUP INC	(Continued)			
		60666		2955.250.411070.350.000 URD III N SIDEWALK PRJ AUG20	4,566.80
		60667		7393.385.470230.350.000 ENGINEERING SERVICES	2,004.50
				5210.335.430551.930.203	6,106.90
				Total :	12,678.20
9/22/2020	00684 WHALEN TIRE	750201		TIRES DEMOUNT/MOUNT	
		750503		1000.300.420460.360.000 TIRES DEMOUNT/MOUNT	742.39
		750526		1000.300.420460.360.000 TIRES DEMOUNT/MOUNT	1,190.08
				1000.300.420460.360.000	1,342.00
				Total :	3,274.47
9/22/2020	20587 WING, KARROL	REFUND		CAMP REFUND	
				1000.202110	32.00
				Total :	32.00
9/22/2020	00213 WOMACK MACHINE SUPPLY CO	0216628		LEATHERMAN CASE	
				5210.335.430550.220.000	10.00
				Total :	10.00
9/22/2020	14672 XYLEM DEWATERING SOLUTIONS INC	3556B36093		MEMBRANE DIFFUSERS AND PAIL LI	
				5311.330.430640.230.000	8,366.02
				Total :	8,366.02
176 Checks for bank code : apbank				Bank total :	1,329,120.34



Administration and Finance Committee	Check Date 09/22/2020
Ashley McDonald, Accounts Payable	
Manual Checks	\$49,999.98
Credit Cards	\$64,149.57
Accounts Payable Claims	<u>\$1,329,120.34</u>
Total Claims Payable	\$1,443,269.89
Only invoices over \$1000 are listed on this report	

Vendor	Description	Department	Amount
2M COMPANY INC	IRRIGATION	PARKS & RECREATION	1,522.80
ADVANCED LAWN CARE & MAINT	SILVER PARK IRRIGATION	PARKS & RECREATION	16,540.00
ALWAYS PREFERRED	AUGUST 2020 JANITORIAL SERVICES	WASTEWATER	2,825.00
BLACK KNIGHT SECURITY	PATROL STOPS	PARKS & RECREATION	1,381.00
BLACKFOOT COMMUNICATIONS	PHONE SERVICES	IT	1,948.00
BROCK WHITE COMPANY	PLEXI-MELT ASPHALT RUBBER	STREET MAINTENANCE	8,214.05
CERIUM NETWORKS	POLYCOM RENEWAL FIRE/IT SPLIT	FIRE/IT	6,318.79
CERIUM NETWORKS	BLOCK HOURS JULY 20 - JULY 21	IT	3,600.00
CRESCENT ELECTRIC SUPPLY CO	TRAIL LIGHTS	PARKS & RECREATION	1,192.21
DELL MARKETING LP	WORK AT HOME COMPUTERS/LAPTOPS	MULTIPLE DEPTS	86,970.40
DELL MARKETING LP	PD COMPUTERS	POLICE	17,139.46
DELL MARKETING LP	PROSUPPORT/HARDWARE REPAIRS	IT	3,905.73
DELL MARKETING LP	LAPTOP/MOUSE/CONF	PUBLIC WORKS/ENGIN	1,091.47
DEPT OF REVENUE	WORDEN STREET MAIN REPLACEMENT WE	WATER	1,932.07
DEPT OF REVENUE	1% GRT URD II 2ND 3RD SW PRJ	MRA	1,141.43
DEPT OF REVENUE	1%GRT FOR PAYAPP#2 UPPER GHARRETT	STORM WATER	1,248.47
ESCRIBE	WEBCASTING PLUS - SETUP/TRAINING	ALL DEPTS	14,150.00

Vendor	Description	Department	Amount
GARDEN CITY JANITORIAL INC	OFFICE CLEANING	WATER	2,176.57
GRANT CREEK EXCAVATING	PAY APP#2 UPPER GHARRETT	STORM WATER	123,598.30
HOUSE OF CLEAN	CUSTODIAL SUPPLIES	STORM WATER	2,357.65
IMEG CORP	ENGINEERING SERVICES	WATER	13,117.50
IMEG CORP	ENGINEERING SERVICES	WATER	10,491.00
IMEG CORP	URD II 2ND/3RD SIDEWALK PROJ	MRA	10,200.50
IMEG CORP	ENGINEERING SERVICES	WATER	5,161.50
INFOSEND	MONTHLY BILLING SERVICE	WATER	13,390.67
INSPIRING DEVELOPMENT LLC	OCTOBER 2020 RENT	POLICE	8,056.00
JOURNAL TECHNOLOGIES INC	OCT JUST WARE API RENEWAL	CITY ATTORNEY	1,865.36
KEMBEL, KOSENA & COMPANY INC	APPRAISAL REPORTS	WATER	12,500.00
KNIFE RIVER	URD III N SIDEWALKS PHASE 1	MRA	25,210.10
KNIFE RIVER	ROLLER RENTAL FOR AUGUST	STREET MAINTENANCE	1,984.00
LATECH EQUIPMENT	UNIVERSAL VAC POWER SUPPLY	WASTEWATER	1,175.00
JIM MEYER	414 RYMAN OCT20 RENT	BUILDING INSPECTION	6,577.58
JIM MEYER	400 RYMAN/198 W PINE OCT20 RENT	HOUSING & COMMUNIT	6,452.52
MIDLAND IMPLEMENT CO	STEP PUMPS	WASTEWATER	4,850.00
MISSOULA ELECTRIC COOP INC	MONTHLY ELECTRICAL CHARGES	WATER	1,077.42
MLCT	MLCT ANNUAL DUES	ALL DEPARTMENTS	25,000.00
MMW ARCHITECTS PC	PW FACILITY PLAN - ENGINEERING FEES	PUBLIC WORKS/ENGIN	10,373.94
MMW ARCHITECTS PC	PW FACILITY PLAN - ENGINEERING FEES	PUBLIC WORKS/ENGIN	2,881.65
MOMS RENTALS	RENTAL ON WACKER EXCAVATOR FOR 4 W	STREET MAINTENANCE	1,667.50

Vendor	Description	Department	Amount
MONTANA LOCK & SECURITY INC	STEP AND 3252 PADLOCKS	WASTEWATER	1,196.81
MORRISON MAIERLE INC	ENGINEERING SERVICES UPPER GHARRET	STORM WATER	8,631.81
MORRISON MAIERLE INC	WESTSIDE PK PHASE 1	PARKS & RECREATION	2,534.00
MUNICIPAL EMERGENCY SERV	ADAPTER ASSY/FILTERS	FIRE	4,575.00
NATURES BEST INC	MOW/TRIM/EDGE/IRRIGATION SERVICE	WASTEWATER	1,255.59
NORTHWEST PIPE FITTINGS INC	METERS	WATER	58,247.50
NORTHWESTERN ENERGY	MONTHLY GAS/ELECTRIC CHARGES	WATER	220,459.81
NORTHWESTERN ENERGY	COLLECTIONS ENERGY	WASTEWATER	44,836.69
NORTHWESTERN ENERGY	POWER UTILITIES	ALL DEPARTMENTS	5,551.57
NORTHWESTERN ENERGY	POWER UTILITIES	ALL DEPARTMENTS	1,735.22
NORTHWESTERN ENERGY	ELECTRIC BILL	PUBLIC WORKS/ENGIN	1,322.44
OPPORTUNITY RESOURCES INC	JUNE JANITORIAL SERV	FACILITY MAINTENANC	10,025.05
RECORDING CENTER	COURT RECORDING SERV	MUNICIPAL COURT	1,650.00
SHADOW ASPHALT INC	URD II 2ND/3RD SIDEWALK PRJ	MRA	113,001.80
SHADOW ASPHALT INC	RETAINAGE RELEASE	MRA	17,250.15
SHELL ENERGY NA LP	PLANT	WASTEWATER	2,099.74
TISCHLERBISE	MULLAN AREA ROAD IMPACT FEE STUDY	WATER	5,760.00
TOWNE MAILER	PRINTING/STUFFING/MAILING SERV	MUNICIPAL COURT	4,209.59
TRANSMAP CORPORATION	PAVEMENT CONDITION REPORT	DEVELOPMENT SERVIC	4,110.00
VERIZON WIRELESS	CELL PHONE CHARGES	WATER	3,158.65
WESTERN EXCAVATING INC	WORDEN ST MAIN REPLACEMENT	WATER	191,275.13
FLEET SERVICES WEX BANK	AUG FLEET FUEL CHARGES	FACILITY & VEHICLE M	35,621.10

Vendor	Description	Department	Amount
FLEET SERVICES WEX BANK	JULY FLEET FUEL	FACILITY & VEHICLE M/	35,498.10
WGM GROUP INC	ENGINEERING SERVICES	WATER	6,106.90
WGM GROUP INC	E MSLA CORRIDOR PLAN	DEVELOPMENT SERVIC	4,566.80
WGM GROUP INC	URD III N SIDEWALK PRJ AUG20	MRA	2,004.50
WHALEN TIRE	TIRES DEMOUNT/MOUNT	FIRE	1,342.00
WHALEN TIRE	TIRES DEMOUNT/MOUNT	FIRE	1,190.08
XYLEM DEWATERING SOLUTIONS INC	MEMBRANE DIFFUSERS AND PAIL LUBRICAL	WASTEWATER	8,366.02
Total of individual invoices over \$1000 selected claims			<u><u>\$1,258,867.69</u></u>

Vendor	Description	Department	Amount
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Manual check(s) issued within this time period

<u>Date</u>	<u>Vendor</u>	<u>Description</u>	<u>Amount</u>
09/14/2020	LITHIA MOTORS SUPPORT SERVICE:	FIRE VEHICLE PURCHASE	24,999.99
09/14/2020	LITHIA MOTORS SUPPORT SERVICE:	FIRE 2ND VEHICLE PURCHASE	24,999.99
Total Manual Checks			<u>49,999.98</u>

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	JULY VISA 52		M REHBEIN JULY CC	
				1000.223.410910.330.419	16,518.97
				1000.223.410910.330.000	14.75
				Total :	16,533.72
8/31/2020	00816 US BANK	JUL VISA 62		TOLSONT JUL20	
				1000.290.420130.370.000	1,630.50
				1000.290.420110.330.000	25.00
				1000.290.420130.370.000	3,465.00
				1000.290.420110.220.000	16.19
				Total :	5,136.69
8/31/2020	00816 US BANK	FY20 JULY CC 68		M WHICHER FY20 JULY CC	
				2513.370.460470.220.000	1,108.29
				2513.370.460470.390.000	40.00
				2513.370.460470.220.000	176.94
		JULY VISA 68		M WHICHER FY21 JULY CC	
				2513.370.460470.390.000	102.00
				2513.370.460470.220.000	40.55
				2513.370.460470.390.000	47.00
				2513.370.460470.220.000	1,061.48
				2513.370.460470.390.000	62.43
				2513.370.460470.220.000	531.09
				2513.370.460470.390.000	110.50
				2513.370.460470.220.000	411.15
				2513.370.460470.390.000	787.48
				2513.370.460470.220.000	311.79
				2513.370.460470.390.000	19.00
				2513.370.460470.220.000	80.91
				Total :	4,890.61
8/31/2020	00816 US BANK	FY20 JULY CC 42		TMACHADO FY20 JULY CC	
				1221.370.460503.220.000	429.99
				2513.370.460484.220.000	539.50
				2513.370.460439.220.000	756.42
				2513.370.460501.220.000	1,336.36

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	(Continued) JULY VISA 42		TMACHADO FY21 JULY CC 1221.370.460503.220.000 2513.370.460501.220.000	634.30 548.23
				Total :	4,244.80
8/31/2020	00816 US BANK	JULY VISA 18		FY21 FIRE DEPT 7 JULY CC 1000.300.420413.220.000 1225.300.420460.220.000	1,906.73 1,037.35
				Total :	2,944.08
8/31/2020	00816 US BANK	FY20 JULY CC 61		G SUTHERLAND FY20 JULY CC 2513.370.460470.220.000 6050.390.520800.352.000 2513.370.460470.220.000	1,234.97 90.93 18.00
		JULY VISA 61		G SUTHERLAND FY21 JULY CC 6050.390.520800.352.000 2513.370.460470.220.000 2513.370.460471.390.000 2513.370.460470.220.000 2513.370.460476.220.000 2513.370.460470.220.000	12.00 278.54 9.99 183.23 40.73 2,106.16
				Total :	3,974.55
8/31/2020	00816 US BANK	FY20 JULY CC 63		D TRIBBLE 5210.335.430550.220.000	359.80
		JULY VISA 63		D TRIBBLE FY21 JULY CC 5210.335.430530.220.000 5210.335.430510.210.419 5210.335.430510.360.000 5210.335.430550.220.000 5210.335.430510.310.000 5210.335.430510.210.000 5210.335.430530.230.000	367.22 29.69 -4.15 1,180.11 36.88 255.97 367.57
				Total :	2,593.09
8/31/2020	00816 US BANK	FY20 JULY CC 59		E SEAGRAVE FY20 JULY CC	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	(Continued)			
		JULY VISA 59		5711.370.460491.220.419 E SEAGRAVE FY21 JULY CC	146.30
				5711.370.460490.220.000	267.99
				5711.370.460477.220.000	94.99
				5711.370.460491.220.419	174.54
				5711.370.460490.220.419	52.99
				5711.370.460491.220.000	282.65
				5711.370.460490.380.000	185.00
				5711.370.460477.220.000	50.64
				5711.370.460491.220.000	134.53
				5711.370.460490.220.000	142.70
				5711.370.460491.220.419	125.00
				5711.370.460490.380.000	304.00
				5711.370.460490.220.000	47.98
				Total :	2,009.31
8/31/2020	00816 US BANK	JUL VISA 56		ROSLINGJ JUL20	
				1000.290.420130.370.000	1,675.06
				Total :	1,675.06
8/31/2020	00816 US BANK	FY20 JULY CC 02		G AUCH FY20 JULY CC	
				2513.370.460485.370.000	404.43
				2513.370.469000.220.000	1,198.94
				Total :	1,603.37
8/31/2020	00816 US BANK	FY20 JULY CC 44		A MATHEWS FY20 JULY VISA	
				1000.224.410580.220.000	74.23

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	(Continued) JULY VISA 44		A MATHEWS FY21 JULY VISA 1000.224.410580.344.000 1000.224.410580.360.000 1000.224.410580.220.000 1000.224.410580.390.419 1000.224.410580.360.000 2955.250.411070.210.000 1000.224.410580.220.000 1000.224.410580.360.000 1000.224.410580.220.419 1219.370.460441.220.419 1000.224.411060.220.000 1000.224.410580.220.000	15.71 500.00 79.96 169.70 500.00 54.99 6.95 125.00 23.98 26.81 34.48 13.99
				Total :	1,625.80
8/31/2020	00816 US BANK	FY20 JULY CC 40 JULY VISA 40		R LARSON FY20 JULY CC 2512.280.430265.240.000 2512.280.430270.230.000 1000.290.420150.360.000 FY21 R LARSON JULY CC 1000.290.420150.230.000 2512.280.430270.230.000 1000.290.420150.360.000 1000.300.420460.220.000 1000.290.420110.310.000 2512.280.430265.230.000 1000.290.420110.310.000 2512.280.430270.230.000	44.97 25.61 182.61 19.98 362.31 510.40 103.46 96.00 346.85 62.11 23.00
				Total :	1,777.30
8/31/2020	00816 US BANK	JUL VISA 71		WILLISL JUL20	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	(Continued)			
				2918.290.420190.700.000	1,538.85
				1000.290.420110.330.000	5.00
				1000.290.420182.350.000	2.52
				1000.290.420110.392.000	-239.40
				1000.290.420110.220.000	70.74
				1000.290.420150.220.000	23.35
				Total :	1,401.06
8/31/2020	00816 US BANK	FY20 JULY CC 20		FIRE DEPT 9 FY20 JULY CC	
				1225.300.420460.220.000	1,283.31
		JULY VISA 20		FY21 FIRE DEPT 9 JULY CC	
				1000.300.420420.220.419	10.00
				Total :	1,293.31
8/31/2020	00816 US BANK	FY21 JULY VISA 23		G CONNELL JULY CC	
				5311.330.430649.930.000	381.42
				5311.330.430640.230.000	852.05
				Total :	1,233.47
8/31/2020	00816 US BANK	FY20 JULY CC 55		K ROSEBOOM FY20 JULY CC	
				1000.270.411125.210.000	250.89
		JULY VISA 55		K ROSEBOOM FY21 JULY CC	
				1000.270.411120.210.419	258.70
				1000.270.411125.210.000	315.50
				1000.270.411120.330.000	12.00
				1000.270.411125.330.000	200.00
				1000.270.411115.344.419	82.56
				1000.270.411120.210.419	39.99
				1000.270.411120.210.000	162.93
				Total :	1,322.57
8/31/2020	00816 US BANK	FY20 JULY CC 64/65		VALLIANT/VANDER FY20 JULY CC	
				2513.370.460439.220.000	1,039.98
				2394.310.420500.210.000	42.89
				1000.250.411010.310.419	-144.02

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	00816 US BANK	(Continued)		Total :	938.85
8/31/2020	00816 US BANK	FY20 JULY CC 53		T RENINICKE FY20 JULY CC	
				1000.230.410360.390.000	9.51
				1000.230.410360.330.000	200.00
		JULY VISA 53		T REINICKE FY21 JULY VISA	
				1000.230.410360.390.419	31.10
				1000.230.410360.344.419	36.12
				1000.230.410360.210.000	507.21
				1000.230.410360.310.000	8.00
				1000.230.410360.210.000	28.93
				1000.230.410360.330.000	62.00
				1000.230.410360.210.000	67.24
				1000.230.410360.210.419	55.98
				1000.230.410360.210.000	15.57
				1000.230.410360.330.000	2.00
				Total :	1,023.66
8/31/2020	00816 US BANK	JUL VISA 45		MCLEANE JUL20	
				1000.290.420150.220.000	666.75
				Total :	666.75
8/31/2020	00816 US BANK	JULY VISA 01		R APPLGATE JULY CC	
				2513.370.460441.330.000	540.00
				2513.370.460411.330.000	60.00
				2513.370.460501.220.000	63.67
				Total :	663.67
8/31/2020	00816 US BANK	JUL VISA 35		HOFFMANS JUL20	
				1000.290.420110.220.000	61.25
				2918.290.420190.700.000	251.82
				2989.290.420198.220.000	329.30
				Total :	642.37
8/31/2020	00816 US BANK	JULY VISA 41		M LAWSON FY21 JULY	
				1000.246.431350.230.000	28.12
				1000.246.431350.220.000	459.00

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Date	Vendor	Invoice	PO #	Description/Account	Amount
	00816 US BANK	(Continued)		Total :	487.12
8/31/2020	00816 US BANK	JULY VISA 65		A VANDERHEIDEN FY21 JULY CC	
				1000.250.411050.330.000	99.00
				2250.250.460460.330.000	99.00
				1000.250.411010.210.419	140.96
				1000.250.411050.210.000	23.98
				1000.250.431400.210.000	19.22
				2250.250.411030.210.000	9.89
				1000.250.411010.210.000	9.89
				1000.250.411050.210.000	11.99
				1000.250.411010.210.419	66.02
				Total :	479.95
8/31/2020	00816 US BANK	FY20 JULY CC 21		S COLWELL FY20 JULY CC	
				1000.290.420185.230.000	312.75
		JULY VISA 21		FY21 S COLWELL JULY CC	
				1000.321.431310.330.000	12.99
				1000.321.431330.240.000	63.90
				5210.335.430520.940.000	398.00
				Total :	787.64
8/31/2020	00816 US BANK	FY20 JULY CC 19		FIRE DEPT 8 FY20 JULY CC	
				1225.300.420460.220.000	470.98
				Total :	470.98
8/31/2020	00816 US BANK	JULY VISA 17		FIRE DEPT 6 JULY CC	
				1000.300.420460.220.000	74.00
				1225.300.420460.220.000	325.96
				Total :	399.96
8/31/2020	00816 US BANK	FY20 JULY CC 06		A BOWMAN FY20 JULY CC	
				2394.310.420500.220.000	170.96
				2394.310.420500.370.000	220.52

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	(Continued) JULY VISA 06		A BOWMAN FY21 JULY CC 2394.310.420500.330.000 2394.310.420500.210.000 2394.310.420500.380.000	100.00 89.97 185.95 Total : 767.40
8/31/2020	00816 US BANK	JULY VISA 72		A WILSON FY21 JULY CC 2955.250.411080.350.000 2955.250.411080.310.000 2955.250.411080.320.000 2955.250.411080.210.000	4.99 125.00 225.00 12.95 Total : 367.94
8/31/2020	00816 US BANK	JUL VISA 60		STEPPERR JUL20 1000.290.420150.220.000 1000.290.420110.220.000 1000.290.420150.220.000	239.70 38.82 7.98 Total : 286.50
8/31/2020	00816 US BANK	JULY VISA 0397		P BROOK JULY CC 5311.330.430630.230.000	274.21 Total : 274.21
8/31/2020	00816 US BANK	JULY VISA 28		J ELLIS JULY CC 5210.335.430530.230.000 2512.280.430100.210.000	227.70 23.98 Total : 251.68
8/31/2020	00816 US BANK	JUL VISA 46		ODLINC JUL20 1000.290.420110.220.000	174.91 Total : 174.91
8/31/2020	00816 US BANK	JULY VISA		L GRIFFING JULY CC 1000.240.410510.330.000	150.00 Total : 150.00

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	FY20 JULY CC 18		FIRE DEPT 7 FY20 JULY CC 1000.300.420460.220.000	137.61
				Total :	137.61
8/31/2020	00816 US BANK	JULY VISA 15		FIRE DEP 4 JULY CC 1225.300.420460.220.000	137.14
				Total :	137.14
8/31/2020	00816 US BANK	JUL VISA 33		GYDASE JUL20 1000.290.420110.220.000 1000.290.420130.220.000	28.97 101.41
				Total :	130.38
8/31/2020	00816 US BANK	JULY VISA 25		K CREGO JULY CC 1000.221.410810.380.000	102.42
				Total :	102.42
8/31/2020	00816 US BANK	JULY VISA 31		N GORDON JULY CC 5311.330.430650.230.000	89.00
				Total :	89.00
8/31/2020	00816 US BANK	FY20 JULY CC 57		C SCHATZ FY20 JULY CC 1000.300.420410.220.000	80.84
		JULY VISA 57		C SCHATZ FY21 JULY CC 1000.300.420410.210.000	49.72
				Total :	130.56
8/31/2020	00816 US BANK	JULY VISA 34		B HENSEL JULY CC 2512.320.430210.220.419 2512.320.430210.220.000	52.64 11.64
				Total :	64.28
8/31/2020	00816 US BANK	JULY VISA 58		D SCHMIDT FY21 JULY CC 5311.330.430640.230.000	59.98
				Total :	59.98
8/31/2020	00816 US BANK	JULY VISA 07		D BOWMAN JULY CC	

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Date	Vendor	Invoice	PO #	Description/Account	Amount
8/31/2020	00816 US BANK	(Continued)		5210.335.430510.330.000	54.00
				Total :	54.00
8/31/2020	00816 US BANK	JULY VISA 47		E PEHAN JULY CC	
				1000.255.470210.210.000	152.40
				1000.255.470210.330.000	45.00
				1000.255.470210.330.419	15.55
				1000.255.470210.330.000	12.95
				1000.255.470210.330.419	15.55
				1000.255.470210.330.000	12.99
				1000.255.470210.330.419	15.55
				1000.255.470210.350.000	9.00
				1000.255.470210.380.000	-250.00
				1000.255.470210.330.000	37.50
				1000.255.470210.330.419	-27.59
				Total :	38.90
8/31/2020	00816 US BANK	JUL VISA 22		COLYERM JUL20	
				1000.290.420141.220.000	33.60
				Total :	33.60
8/31/2020	00816 US BANK	JUL VISA 36		JOHNSTONJ JUL20	
				2919.290.420142.700.000	20.00
				Total :	20.00
8/31/2020	00816 US BANK	JULY VISA 39		S KINSEY JULY CC	
				5711.370.460490.220.000	19.78
				Total :	19.78
8/31/2020	00816 US BANK	FY20 JULY CC 49		J PILGRIM FY20 JULY CC	
				7370.395.430266.310.000	17.00
				Total :	17.00
8/31/2020	00816 US BANK	JULY VISA 11		T CAMPBELL FY21 JULY CC	
				5450.334.430210.330.000	15.55

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Date	Vendor	Invoice	PO #	Description/Account	Amount
	00816 US BANK	(Continued)			Total : 15.55
8/31/2020	00816 US BANK	JULY VISA 24		M COX JULY CC 1000.240.410510.330.000	6.99
					Total : 6.99
49 Checks for bank code : apbank				Bank total :	64,149.57

Card Issuer: US BANK

Invoice #	Invoice date	Tran date	Card holder	Vendor	Description	Amount
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	APA - GLUCKIN MEMBERSHIP	99.00
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	ANCESTRY - MONTHLY MEMBERSHIP	99.00
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	AMAZON - HAND SANITIZER	86.98
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	AMAZON - FACE MASKS	16.99
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	AMAZON - SANITIZER/MISC SUPPLIES	80.19
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	AMAZON - CABLES/PHONE CASE	31.77
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	AMAZON - FACE MASKS	28.99
JULY VISA 65	7/27/2020	8/31/2020	VANDERHEIDEN, ALICIA	US BANK	AMAZON - FACE MASKS	37.03
Total: visa	0164					479.95
JULY VISA 0397	7/27/2020	8/31/2020	PAT BROOK	US BANK	WALMART - TABLES	274.21
Total: visa	0397					274.21
JUL VISA 36	7/27/2020	8/31/2020	JOSHUA JOHNSTON	US BANK	Pacific Steel, Recycle fee for	20.00
Total: visa	0568					20.00
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	AMAZON - LAPTOP BAGS/MOUSE	152.40
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	CONSTANT CONTACT - MONTHLY FEE	45.00
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	ZOOM - MONTHLY FEE	15.55
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	CANVA - MONTHLY FEE	12.95
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	ZOOM - MONTHLY FEE	15.55
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	AMAZON - MONTHLY PRIME MEMBERSHIP	12.99
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	ZOOM - MONTHLY FEE	15.55
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	CLIDEO - MONTHLY FEE	9.00
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	MT HOUSING - CANCELLED CONFERENCE	-250.00
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	TRELLO - MONTHLY FEE	37.50
JULY VISA 47	7/27/2020	8/31/2020	ERAN PEHAN	US BANK	ZOOM - CREDIT	-27.59
Total: visa	0600					38.90
JUL VISA 45	7/27/2020	8/31/2020	EDWARD MCLEAN	US BANK	Art & Rays Lock and Safe, #29 Auto	142.50
JUL VISA 45	7/27/2020	8/31/2020	EDWARD MCLEAN	US BANK	Zero9 Holsters, Body worn camera	524.25
Total: visa	0775					666.75
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	Certified FETI, Practical Applic of the	1,295.00
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	Alaska Air 8/4/20-8/4/20 Msla to	335.50
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	CIT Intern'l Membership renewal C325	25.00
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	Flathead Travel Agent fee	50.00
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	IACP 2020 Event & Expo Registration x2	720.00
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	40-Hrs Shooting Incident Reconstruction	1,400.00
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	Cellebrite 2-Day Mobile Forensics	1,295.00

Card Issuer: US BANK

Invoice #	Invoice date	Tran date	Card holder	Vendor	Description	Amount
JUL VISA 62	7/27/2020	8/31/2020	TRUMAN TOLSON	US BANK	Ace, Batteries for sound speaker system	16.19
Total: visa	1232					5,136.69
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	VIMEO - MONTHLY FEE	12.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	JOANN - CAMP SUPPLIES	206.08
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	DAIRY QUEEN - CAMP TREAT	45.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	EXXON - CAMP FUEL	27.46
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	SIGNUPGENIUS - MONTHLY FEE	9.99
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	JOANN - CAMP SUPPLIES	183.23
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	USPS - SHIPPING	40.73
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	BITT FLOWER - CAMP SUPPLIES	36.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	JOANN - CAMP SUPPLIES	210.93
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	ACE - CAMP SUPPLIES	68.03
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	ROSAUERS - CAMP SUPPLIES	66.15
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	BIG DIPPER - CAMP TREATS	150.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	RATTLESNAKE MARKET - CAMP SNACKS	16.25
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	SPLASH - CAMP	64.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	JOANN - CAMP SUPPLIES	329.56
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	DAIRY QUEEN - CAMP TREATS	60.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	OREILLY - CAMP SUPPLIES	55.96
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	DOLLAR TREE - CAMP SUPPLIES	54.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	WALMART - CAMP SUPPLIES	302.87
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	ACE - CAMP SUPPLIES	42.98
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	DISCOVERY SKI - CAMP	352.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	BIG DIPPER - CAMP TREATS	62.50
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	NAPS - CAMP FOOD	78.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	SPLASH - CAMP	40.00
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	CVS - CAMPS	6.98
JULY VISA 61	7/27/2020	8/31/2020	SUTHERLAND, GRETCHEN	US BANK	ROSAUERS - CAMPS	109.95
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	WALMART - CAMP SUPPLIES	383.56
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	ACE - CAMP SUPPLIES	53.29
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	ROSAUERS - CAMP SUPPLIES	2.49
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	WALMART - CAMP SUPPLIES	333.38
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	BIG DIPPER - CAMP TREATS	105.00
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	FLORENCE COFFEE - CAMP DRINKS	52.50
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	DOLLAR TREE - CAMP SUPPLIES	107.00
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	WALMART - YOUTH CAMP SUPPLIES	127.79
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	ROCKIN RUDYS - CAMP SUPPLIES	29.97
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	TREASURE CHEST - CAMP SUPPLIES	39.99
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	AMAZON - Q4 FIT CITY REWARDS	90.93

Card Issuer: US BANK

Invoice #	Invoice date	Tran date	Card holder	Vendor	Description	Amount
FY20 JULY CC 61	7/27/2020	6/30/2020	SUTHERLAND, GRETCHEN	US BANK	DOG & BICYCLE - CAMP DRINKS	18.00
Total: visa	1693					3,974.55
JUL VISA 46	7/27/2020	8/31/2020	Chris Odlin	US BANK	Thomas Meagher Bar, Lunch Manpwer Study	21.92
JUL VISA 46	7/27/2020	8/31/2020	Chris Odlin	US BANK	Burns Buys Ebay, GoSpeak Portable Amp	152.99
Total: visa	1979					174.91
JULY VISA 52	7/27/2020	8/31/2020	MARTY REHBEIN	US BANK	ZOOM - REMOTE CONFERENCING	16,518.97
JULY VISA 52	7/27/2020	8/31/2020	MARTY REHBEIN	US BANK	MISSOULIAN - MONTLHY FEE	14.75
Total: visa	2357					16,533.72
JULY VISA 58	7/27/2020	8/31/2020	DON SCHMIDT	US BANK	HARBOR FREIGHT - SHOP TOOLS	59.98
Total: visa	2472					59.98
JULY VISA 31	7/27/2020	8/31/2020	NATE GORDON	US BANK	AMAZON - CHAIRS	89.00
Total: visa	2480					89.00
FY20 JULY CC 49	7/27/2020	6/30/2020	JODI PILGRIM	US BANK	UPS - SHIPPING	17.00
Total: visa	2533					17.00
JULY VISA 24	7/27/2020	8/31/2020	MARIANNE E COX	US BANK	MISSOULIAN - SUBSCRIPTION	6.99
Total: visa	2698					6.99
FY20 JULY CC 44	7/27/2020	6/30/2020	ALISA MATHEWS	US BANK	AMAZON - WIRELESS MOUSE	66.99
FY20 JULY CC 44	7/27/2020	6/30/2020	ALISA MATHEWS	US BANK	AMAZON - PHONE CASE	11.39
FY20 JULY CC 44	7/27/2020	6/30/2020	ALISA MATHEWS	US BANK	AMAZON - OTTERBOX	29.95
FY20 JULY CC 44	7/27/2020	6/30/2020	ALISA MATHEWS	US BANK	BEST BUY - RETURNED ITEM	-24.99
FY20 JULY CC 44	7/27/2020	6/30/2020	ALISA MATHEWS	US BANK	AMAZON - RETURNED ITEM	-9.11
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	AMERICAN MESSAGE - MONTHLY PAGING	15.71
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	PDQ - ANNUAL MEMBERSHIP RENEW	500.00
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	BEST BUY - PHONE CASE/PORT HUB	54.98
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	BEST BUY - CABLES	24.98
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	GODADDY - DOMAIN REGISTRATION	84.85
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	GODADDY - DOMAIN REGISTRATION	84.85
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	PDQ - DEPLOY ENTERPRISE ANNUAL FEE	500.00
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	NEWEGG - BARRACUDA/HARD DRIVE	54.99
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	AMAZON - EXT CORD	6.95
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	ISC - ANNUAL MAINT FEE	125.00
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	AMAZON - HDMI CORDS	23.98
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	AMAZON - ETHERNET CABLE	26.81
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	AMAZON - COMMAND REFILL STRIPS	34.48
JULY VISA 44	7/27/2020	8/31/2020	ALISA MATHEWS	US BANK	COSTCO - KLEENEX	13.99

Card Issuer: US BANK

Invoice #	Invoice date	Tran date	Card holder	Vendor	Description	Amount
Total: visa	2962					1,625.80
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	JOANN - GLUE FOR CAMP	3.98
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	JOANN - CAMP SUPPLIES	8.38
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	ACE - CAMP SUPPLIES	15.98
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	GOOD FOOD STORE - SPICES FOR CAMP	11.07
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	ORANGE ST FOOD - CAMP FOOD	104.34
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	COSTCO - CAMP FOOD	964.54
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	ISTOCK - MONTHLY IMAGES	40.00
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	ACE - CAMP SUPPLIES	79.97
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	ALBERTSONS - BALLOONS	2.99
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	NOONS - CAMP FIREWOOD	11.98
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	CLEARWATER STOP - FIREWOOD	20.00
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	DOLLAR TREE - CAMP SUPPLIES	22.00
FY20 JULY CC 68	7/27/2020	6/30/2020	MEG WHICHER	US BANK	CLEARWATER STOP - FIREWOOD	40.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	GREEN SOURCE - CAMP SMOOTHIES	80.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	GARMIN - MONTHLY CHARGE	62.43
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	SEELEY LK - CAMP FUEL	54.89
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	COSTCO - CAMP FOOD	476.20
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	MT ST PARKS - CAMPING	28.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	WHITEFISH BIKE - CAMP	56.50
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	RECREATION GOV - CAMPING	26.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	ORANGE ST FOOD - CAMP FOOD	315.15
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	BIG SKY BIKES - BIKE PARTS/REPAIRS	96.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	WHITEFISH KOA - CAMPING	87.74
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	WHITEFISH KOA - CAMPING	87.74
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	WHITEFISH RESORT - CAMP - BIKING	612.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	CVS - SUNSCREEN/HATS/ALLERGY MED	205.79
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	EXXON - CAMP FUEL	106.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	WUFOO - MONTHLY BILLING	19.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	HAROR FREIGHT - TRAILER HITCHES	15.96
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	BOB WARDS - SKATE CAMP GEAR	64.95
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	MT ST PARKS - CAMPING	102.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	CENEX - CAMP FUEL	40.55
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	RECREATION GOV - CAMPING	47.00
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	ACE - TOOLS	31.63
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	ORANGE ST FOOD - CAMP FOOD	162.33
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	COSTCO - CAMP FOOD	587.88
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	JOANN - ADHESIVE	94.81
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	ORIENTAL TRADING - MINI FLAGS	48.93

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JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	JAYS GOOD - FUEL	39.72
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	ORANGE ST FOOD - CAMP FOOD	6.18
JULY VISA 68	7/27/2020	8/31/2020	MEG WHICHER	US BANK	WHITEFISH KOA - FUEL	10.00
Total: visa	3182					4,890.61
JUL VISA 60	7/27/2020	8/31/2020	RICHARD E STEPPER	US BANK	Zero9 Holsters, Portable radio case x6	239.70
JUL VISA 60	7/27/2020	8/31/2020	RICHARD E STEPPER	US BANK	Thomas Meagher Bar, Academy Trainers x3	38.82
JUL VISA 60	7/27/2020	8/31/2020	RICHARD E STEPPER	US BANK	Holiday Station, Water 500ML x2	7.98
Total: visa	3480					286.50
JUL VISA 56	7/27/2020	8/31/2020	JAKE ROSLING	US BANK	United Airlines, Bkgd Investigation,	1,416.20
JUL VISA 56	7/27/2020	8/31/2020	JAKE ROSLING	US BANK	Flathead Travel MT, Bkgd Investigation	50.00
JUL VISA 56	7/27/2020	8/31/2020	JAKE ROSLING	US BANK	Civic Center Ramp, Bkgd Investigation	13.50
JUL VISA 56	7/27/2020	8/31/2020	JAKE ROSLING	US BANK	Radisson, Bkgd Investigation 092920	195.36
Total: visa	3575					1,675.06
FY20 JULY CC 59	7/27/2020	6/30/2020	ERIC SEAGRAVE	US BANK	WORLDPOINT - MASKS	146.30
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	HEARTSMART - CHILD ELECTRODE PADS	267.99
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	WEBSTAIRANT - HOT DOG GRILL	94.99
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	WALMART - COVID SUPPLIES	174.54
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	SWIMSPOT - MASKS	52.99
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	FIRST AID SUPPLIES ONLINE	282.65
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	REDCROSS - SAFETY TRAINING	185.00
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	COSTCO - CAMP SNACKS	50.64
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	FIRST AID SUPPLIES ONLINE	64.58
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	AMAZON - LOCKOUT TAGOUT STATIONS	69.95
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	TAYLOR TECH - WATER TESTING SUPPLIES	142.70
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	SWIMSPOT - REUSABLE MASKS	125.00
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	RED CROSS - LIFEGUARD TRAINING	304.00
JULY VISA 59	7/27/2020	8/31/2020	ERIC SEAGRAVE	US BANK	WORLDPOINT - TRAINING SUPPLIES	47.98
Total: visa	3581					2,009.31
JULY VISA 15	7/27/2020	8/31/2020	MISSOULA FIRE DEPT 4	US BANK	FIRE FUEL	137.14
Total: visa	3807					137.14
JULY VISA 72	7/27/2020	8/31/2020	AARON WILSON	US BANK	WIXCOM - MIM APP CALENDAR FEE	4.99
JULY VISA 72	7/27/2020	8/31/2020	AARON WILSON	US BANK	CONSTANT CONTACT - MONTHLY FEE	125.00
JULY VISA 72	7/27/2020	8/31/2020	AARON WILSON	US BANK	ENGAGEMENT MARK - PRINTING FOR MSLN	225.00
JULY VISA 72	7/27/2020	8/31/2020	AARON WILSON	US BANK	CANVA - MONTHLY FEE	12.95
Total: visa	4109					367.94

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JUL VISA 22	7/27/2020	8/31/2020	MIKE COLYER	US BANK	Quarterly ERP Lunch	33.60
Total: visa	4296					33.60
JULY VISA 07	7/27/2020	8/31/2020	DENNIS BOWMAN	US BANK	MSLN - SUBSCRIPTION	54.00
Total: visa	4625					54.00
JULY VISA 17	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	NOONS - ICE	9.00
JULY VISA 17	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	NATIONAL EMT - EMT PATCHESE	65.00
JULY VISA 17	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	FIRE FUEL	325.96
Total: visa	5074					399.96
FY20 JULY CC 18	7/27/2020	6/30/2020	MISSOULA CITY FIRE DEPT	US BANK	JIMMIY JOHNS - FOOD	137.61
JULY VISA 18	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	HARKEN INC - FRAUD CHARGES	1,906.73
JULY VISA 18	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	BRONCO INN - FIRE LODGING	349.80
JULY VISA 18	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	LES SCHWAB - TIRE	421.48
JULY VISA 18	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	FIRE FUEL	266.07
Total: visa	5090					3,081.69
FY20 JULY CC 19	7/27/2020	6/30/2020	MISSOULA CITY FIRE DEPT	US BANK	WILDFIRE FUEL	470.98
Total: visa	5108					470.98
FY20 JULY CC 20	7/27/2020	6/30/2020	MISSOULA CITY FIRE DEPT	US BANK	WILDFIRE LODGING/FUEL	1,283.31
JULY VISA 20	7/27/2020	8/31/2020	MISSOULA CITY FIRE DEPT	US BANK	ALBERTSONS - DISTILLED WATER	10.00
Total: visa	5116					1,293.31
FY20 JULY CC 57	7/27/2020	6/30/2020	CHERYL SCHATZ	US BANK	AMAZON - CABLES	80.84
JULY VISA 57	7/27/2020	8/31/2020	CHERYL SCHATZ	US BANK	AMAZON - ENVELOPES/PAPER	49.72
Total: visa	5250					130.56
FY21 JULY VISA 23	7/27/2020	8/31/2020	GENE CONNELL	US BANK	UNIFI - SCADA SERVER UPGRADE	381.42
FY21 JULY VISA 23	7/27/2020	8/31/2020	GENE CONNELL	US BANK	AMAZON - HYDRAULIC FLUID	547.74
FY21 JULY VISA 23	7/27/2020	8/31/2020	GENE CONNELL	US BANK	AMAZON - PLANT SCADA SUPPLIES	193.93
FY21 JULY VISA 23	7/27/2020	8/31/2020	GENE CONNELL	US BANK	AMAZON - ETHERNET CABLE	59.99
FY21 JULY VISA 23	7/27/2020	8/31/2020	GENE CONNELL	US BANK	AMAZON - ADAPTER CABLE	50.39
Total: visa	5353					1,233.47
FY20 JULY CC 21	7/27/2020	6/30/2020	SCOT A COLWELL	US BANK	HOME DEPOT - SHOP TOOLS/SUPPLIES	312.75
JULY VISA 21	7/27/2020	8/31/2020	SCOT A COLWELL	US BANK	AMAZON - PRIME MEMBERSHIP	12.99
JULY VISA 21	7/27/2020	8/31/2020	SCOT A COLWELL	US BANK	PIZZA HUT - LUNCH	63.90
JULY VISA 21	7/27/2020	8/31/2020	SCOT A COLWELL	US BANK	AMAZON - WATER TRUCK BED LINERS	398.00
Total: visa	5404					787.64

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JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ Neck gaiter x30	298.50
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	Design Express Neck gaiter x120	344.85
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ Neck gaiter x30	298.50
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ Neck gaiter x30	298.50
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ Neck gaiter x30	298.50
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	Missoulia Digital Basic monthly	5.00
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	Corporate Translate, Translation	2.52
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ (items not received)	-239.40
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	Oregon Laminations, Laminare sheets	40.35
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ File jackets 1" expand letter size	48.64
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ Certificate holders x50, diplomas	45.98
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ Refund Dell sleeves x3	-64.23
JUL VISA 71	7/27/2020	8/31/2020	LESLIE WILLIS	US BANK	AMZ Misprint ink pens x100	23.35
Total: visa	5449					1,401.06
JULY VISA 25	7/27/2020	8/31/2020	CREGO, KATHY	US BANK	UM PUBLIC SERV - REGISTRATION	102.42
Total: visa	5680					102.42
JULY VISA 41	7/27/2020	8/31/2020	MATT LAWSON	US BANK	KELLER - WATER HEATER PART	28.12
JULY VISA 41	7/27/2020	8/31/2020	MATT LAWSON	US BANK	AMAZON - SOAP/SANITIZER DISPENSER	459.00
Total: visa	5994					487.12
JULY VISA 63	7/27/2020	8/31/2020	DENISE TRIBBLE	US BANK	GRAINGER - EXHAUST FAN	367.22
JULY VISA 63	7/27/2020	8/31/2020	DENISE TRIBBLE	US BANK	AMAZON - SANITIZER SUPPLIES	29.69
JULY VISA 63	7/27/2020	8/31/2020	DENISE TRIBBLE	US BANK	ZOOM - REFUND	-4.15
JULY VISA 63	7/27/2020	8/31/2020	DENISE TRIBBLE	US BANK	LOWES - TOOLS	1,180.11
JULY VISA 63	7/27/2020	8/31/2020	DENISE TRIBBLE	US BANK	GARMIN - MONTHLY PLAN	36.88
JULY VISA 63	7/27/2020	8/31/2020	DENISE TRIBBLE	US BANK	AMAZON - MONITORS/POWER STRIPS	255.97
JULY VISA 63	7/27/2020	8/31/2020	DENISE TRIBBLE	US BANK	GRAINGER - SOLENOID VALVE	367.57
FY20 JULY CC 63	7/27/2020	6/30/2020	DENISE TRIBBLE	US BANK	AMAZON - WADERS	269.85
FY20 JULY CC 63	7/27/2020	6/30/2020	DENISE TRIBBLE	US BANK	AMAZON - WADERS	89.95
Total: visa	6694					2,593.09
JUL VISA 33	7/27/2020	8/31/2020	EVAKDAS GYDAS	US BANK	Domino's Pizza Lunch for Bike	28.97
JUL VISA 33	7/27/2020	8/31/2020	EVAKDAS GYDAS	US BANK	Home Depot Lumber 4x8 OSB x2	33.74
JUL VISA 33	7/27/2020	8/31/2020	EVAKDAS GYDAS	US BANK	WM Spray paint x3, Sharpie	19.85
JUL VISA 33	7/27/2020	8/31/2020	EVAKDAS GYDAS	US BANK	Target, Stop Watch	8.99
JUL VISA 33	7/27/2020	8/31/2020	EVAKDAS GYDAS	US BANK	Ace, Sand bag x1	14.99
JUL VISA 33	7/27/2020	8/31/2020	EVAKDAS GYDAS	US BANK	WM Balloons	4.85
JUL VISA 33	7/27/2020	8/31/2020	EVAKDAS GYDAS	US BANK	Ace, Staple Gun	18.99

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Total: visa	6816					130.38
FY20 JULY CC 02	7/27/2020	6/30/2020	GERALD AUCH	US BANK	ENTERPRISE - REIMB BY EMPLOYEE PERSC	404.43
FY20 JULY CC 02	7/27/2020	6/30/2020	GERALD AUCH	US BANK	COSTCO - TRAINING RM EQUIPMENT	1,198.94
Total: visa	6884					1,603.37
FY20 JULY CC 55	7/27/2020	6/30/2020	ROSEBOOM, KELLEEN	US BANK	AMAZON - TONER	250.89
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	AMAZON - SANITIZING/SCANNER	574.20
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	MISSOULIAN - MONTHLY FEE	12.00
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	NIC - MONTHLY FEE	200.00
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	TRACFONE - 4 PLANS	82.56
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	AMAZON - HAND SANITIZER	39.99
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	AMAZON - OFFICE SUPPLIES STOCK	104.71
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	AMAZON - DESK CALENDAR	9.99
JULY VISA 55	7/27/2020	8/31/2020	ROSEBOOM, KELLEEN	US BANK	AMAZON - LAMINATING SUPPLIES	48.23
Total: visa	6929					1,322.57
JULY VISA 39	7/27/2020	8/31/2020	SHIRLEY KINSEY	US BANK	ORANGE STREET - BATTERIES	19.78
Total: visa	7099					19.78
JULY VISA 06	7/27/2020	8/31/2020	AARON BOWMAN	US BANK	MT PROF LICENSE - RENEWAL	100.00
JULY VISA 06	7/27/2020	8/31/2020	AARON BOWMAN	US BANK	ADOBE - STOCK SUBSCRIPTIONS	89.97
JULY VISA 06	7/27/2020	8/31/2020	AARON BOWMAN	US BANK	ACCA - CODE BOOK	185.95
FY20 JULY CC 06	7/27/2020	6/30/2020	AARON BOWMAN	US BANK	AMAZON - ELECT INSP TOOLS	170.96
FY20 JULY CC 06	7/27/2020	6/30/2020	AARON BOWMAN	US BANK	BILLINGS HOTEL - HAIT LODGING	220.52
Total: visa	8636					767.40
JULY VISA 01	7/27/2020	8/31/2020	RYAN APPELEGATE	US BANK	CONSTANT CONTACT - EMAIL SERV	600.00
JULY VISA 01	7/27/2020	8/31/2020	RYAN APPELEGATE	US BANK	GEMPLERS - STEEL SIGN HOLDERS	63.67
Total: visa	8658					663.67
FY20 JULY CC 64/65	7/27/2020	6/30/2020	MORGAN VALLIANT	US BANK	CDW - TABLETS	1,039.98
FY20 JULY CC 64/65	7/27/2020	6/30/2020	MORGAN VALLIANT	US BANK	AMAZON - CARTRIDGE	42.89
FY20 JULY CC 64/65	7/27/2020	6/30/2020	MORGAN VALLIANT	US BANK	ZOOM - PRORATED CREDIT	-144.02
Total: visa	8836					938.85
FY20 JULY CC 42	7/27/2020	6/30/2020	TJ MACHADO	US BANK	AMAZON - MOWER BLADE	429.99
FY20 JULY CC 42	7/27/2020	6/30/2020	TJ MACHADO	US BANK	GREENSHOTS - GREENHOUSE SUPPLIES	539.50
FY20 JULY CC 42	7/27/2020	6/30/2020	TJ MACHADO	US BANK	SHERRILLTREE - URBAN FOREST SUPPLIES	756.42
FY20 JULY CC 42	7/27/2020	6/30/2020	TJ MACHADO	US BANK	LOWES - SMALL TOOLS	718.66
FY20 JULY CC 42	7/27/2020	6/30/2020	TJ MACHADO	US BANK	ULINE - OFFICE CABINET	582.71
FY20 JULY CC 42	7/27/2020	6/30/2020	TJ MACHADO	US BANK	CELLULAR PLUS - PHONE SCREEN PROT	34.99

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JULY VISA 42	7/27/2020	8/31/2020	TJ MACHADO	US BANK	AMAZON - DEFOAMER SPRAY TANKS	29.98
JULY VISA 42	7/27/2020	8/31/2020	TJ MACHADO	US BANK	AMAZON - HERBICIDE	604.32
JULY VISA 42	7/27/2020	8/31/2020	TJ MACHADO	US BANK	AMAZON - GRAFFTI REMOVER	521.33
JULY VISA 42	7/27/2020	8/31/2020	TJ MACHADO	US BANK	AMAZON - SHOP SUPPLIES	26.90
Total: visa	8851					4,244.80
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	BIGSKY MOTOR - POWER CABLE	19.98
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	AMAZON - CONNECTOR	8.39
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	AMAZON - BATTERIES	294.95
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	UPS - SHIPPING CHARGES	58.97
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	BK TECH - RADIO REPAIRS	613.86
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	UPS - SHIPPING CHARGES	96.00
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	JENTECH STENCILS - YIELD STENCIL	346.85
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	UPS - SHIPPING CHARGES	62.11
JULY VISA 40	7/27/2020	8/31/2020	RICK LARSON	US BANK	MSLA LANDFILL - DUMP CHARGE	23.00
FY20 JULY CC 40	7/27/2020	6/30/2020	RICK LARSON	US BANK	AMAZON - CLAMPS	44.97
FY20 JULY CC 40	7/27/2020	6/30/2020	RICK LARSON	US BANK	UPS - SHIPPING	25.61
FY20 JULY CC 40	7/27/2020	6/30/2020	RICK LARSON	US BANK	BK TECH - VEHICLE PARTS	182.61
Total: visa	8867					1,777.30
JULY VISA 11	7/27/2020	8/31/2020	TRACY CAMPBELL	US BANK	ZOOM - JULY BILLING	15.55
Total: visa	8907					15.55
FY20 JULY CC 53	7/27/2020	6/30/2020	TINA REINICKE	US BANK	CORP TRANSLATION SERV - COURT TRANS	9.51
FY20 JULY CC 53	7/27/2020	6/30/2020	TINA REINICKE	US BANK	LEXISNEXIS - JUNE MONTHLY FEE	200.00
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	ZOOM - JULY FEE	15.55
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	ZOOM - JULY FEE	15.55
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	STRAIGHT TALK - MONTHLY PLAN	36.12
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	SMARTSIGN - INDEX TABS STOCK	507.21
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	USPS - SHIPPING	8.00
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	AMAZON - MOTION SENSOR LIGHT	28.93
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	MISSOULIAN - MONTHLY FEE	62.00
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	COSTCO - JURY FOOD SUPPLIES	67.24
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	MURDOCH - SANITIZER SUPPLIES	55.98
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	ALBERTSONS - COURT WATER	15.57
JULY VISA 53	7/27/2020	8/31/2020	TINA REINICKE	US BANK	MICROSOFT - MONTHLY FEE	2.00
Total: visa	9182					1,023.66
JULY VISA	7/27/2020	8/31/2020	LEIGH GRIFFING	US BANK	GFOA - MEMBERSHIP	150.00
Total: visa	9251					150.00

Card Issuer: US BANK

Invoice #	Invoice date	Tran date	Card holder	Vendor	Description	Amount
JULY VISA 34	7/27/2020	8/31/2020	BRIAN HENSEL	US BANK	HOME DEPOT - CLEANING SPRAY BOTTLES	46.08
JULY VISA 34	7/27/2020	8/31/2020	BRIAN HENSEL	US BANK	LOWES - CLEANING SPRAY BOTTLES	6.56
JULY VISA 34	7/27/2020	8/31/2020	BRIAN HENSEL	US BANK	WALMART - OIL TO REMOVE CHIP SEAL OIL	11.64
Total: visa	9539					64.28
JUL VISA 35	7/27/2020	8/31/2020	SCOTT HOFFMAN	US BANK	Brewhouse Pub & Grill, MLEA Graduation	61.25
JUL VISA 35	7/27/2020	8/31/2020	SCOTT HOFFMAN	US BANK	Laptop Battery Express, Battery for	251.82
JUL VISA 35	7/27/2020	8/31/2020	SCOTT HOFFMAN	US BANK	AMZ Scandisk 256GM Flash Drive x10	329.30
Total: visa	9826					642.37
JULY VISA 28	7/27/2020	8/31/2020	JERRY ELLIS	US BANK	ATHOMEPROD - MOTION DETECTOR	227.70
JULY VISA 28	7/27/2020	8/31/2020	JERRY ELLIS	US BANK	AMAZON - HDMI CABLE	23.98
Total: visa	9971					251.68
Total: US BANK						64,149.57

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000 GENERAL FUND								
		210	CITY COUNCIL					
1000.	210.	410100	LEGISLATION SERVICES					
1000.	210.	410100.	100		PERSONAL SERVICES			
1000.	210.	410100.	110. 000		SALARIES AND WAGES			
1000.	210.	410100.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	210.	410100.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
1000.	210.	410100.	200		SUPPLIES			
1000.	210.	410100.	210. 000		OFFICE SUPPLIES			
1000.	210.	410100.	230. 000		REPAIR/MAINTENANCE			
1000.	210.	410100.	240. 000		OTHER SUPPLIES			
1000.	210.	410100.	300		PURCHASED SERVICES			
1000.	210.	410100.	310. 000		COMMUNICATIONS			
1000.	210.	410100.	320. 000		PRINTING & DUPLICATING			
1000.	210.	410100.	330. 000		PUBLICITY SUBSCRIPTIONS & DUES			
1000.	210.	410100.	350. 000		PROFESSIONAL SERVICES			
1000.	210.	410100.	360. 000		REPAIR & MAINTENANCE			
1000.	210.	410100.	370. 000		TRAVEL			
1000.	210.	410100.	380. 000		TRAINING			
1000.	210.	410560	COPIERS/COMPUTER EQUIP					
1000.	210.	410560.	900		CAPITAL OUTLAY			
		220	MAYOR					
1000.	220.	410210	ADMINISTRATION					
1000.	220.	410210.	100		PERSONAL SERVICES			
1000.	220.	410210.	110. 000		SALARIES AND WAGES			
1000.	220.	410210.	115. 000		SALARIES/HEALTH INSURANCE BENEFIT			
1000.	220.	410210.	120. 000		OVERTIME			
1000.	220.	410210.	130. 000		OTHER			
1000.	220.	410210.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	220.	410210.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
1000.	220.	410210.	200		SUPPLIES			
1000.	220.	410210.	210. 000		OFFICE SUPPLIES			
1000.	220.	410210.	220. 000		OPERATING SUPPLIES			
1000.	220.	410210.	230. 000		REPAIR/MAINTENANCE			
1000.	220.	410210.	231. 000		GASOLINE			

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	220.	410210.		300				PURCHASED SERVICES
1000.	220.	410210.		310.	000			COMMUNICATIONS
1000.	220.	410210.		320.	000			PRINTING & DUPLICATING
1000.	220.	410210.		330.	000			PUBLICITY SUBSCRIPTIONS & DUES
1000.	220.	410210.		344.	000			TELEPHONE SERVICE
1000.	220.	410210.		350.	000			PROFESSIONAL SERVICES
1000.	220.	410210.		360.	000			REPAIR & MAINTENANCE
1000.	220.	410210.		370.	000			TRAVEL
1000.	220.	410210.		380.	000			TRAINING
1000.	220.	410210.		390.	000			OTHER PURCHASED SERVICES
1000.	220.	410225			PUBLIC RELATIONS			
1000.	220.	410225.		100				PERSONAL SERVICES
1000.	220.	410225.		110.	000			SALARIES AND WAGES
1000.	220.	410225.		140.	000			EMPLOYER CONTRIBUTIONS
1000.	220.	410225.		200				SUPPLIES
1000.	220.	410225.		300				PURCHASED SERVICES
1000.	220.	410225.		330.	000			PUBLICITY SUBSCRIPTIONS & DUES
1000.	220.	410250			ADMINISTRATION			
1000.	220.	410250.		100				PERSONAL SERVICES
1000.	220.	410250.		110.	000			SALARIES AND WAGES
1000.	220.	410250.		115.	000			SALARIES/HEALTH INSURANCE BENEFIT
1000.	220.	410250.		120.	000			OVERTIME
1000.	220.	410250.		130.	000			OTHER
1000.	220.	410250.		140.	000			EMPLOYER CONTRIBUTIONS
1000.	220.	410250.		141.	000			STATE RETIREMENT CONTRIBUTIONS
1000.	220.	410250.		200				SUPPLIES
1000.	220.	410250.		240.	000			OTHER SUPPLIES
1000.	220.	410250.		300				PURCHASED SERVICES
1000.	220.	410250.		320.	000			PRINTING & DUPLICATING
1000.	220.	410250.		330.	000			PUBLICITY SUBSCRIPTIONS & DUES
1000.	220.	410250.		344.	000			TELEPHONE SERVICE
1000.	220.	410250.		350.	000			PROFESSIONAL SERVICES
1000.	220.	410250.		380.	000			TRAINING
1000.	220.	410250.		390.	000			OTHER PURCHASED SERVICES
1000.	220.	419000			GENERAL GOV'T ONETIME EXPENDITURES			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	220.	419000.		300				PURCHASED SERVICES
1000.	220.	419000.		350.	000			PROFESSIONAL SERVICES
	221		HUMAN RESOURCES					
1000.	221.	410810	ADMINISTRATION					
1000.	221.	410810.		100				PERSONAL SERVICES
1000.	221.	410810.		110.	000			SALARIES AND WAGES
1000.	221.	410810.		115.	000			SALARIES/HEALTH INSURANCE BENEFIT
1000.	221.	410810.		140.	000			EMPLOYER CONTRIBUTIONS
1000.	221.	410810.		141.	000			STATE RETIREMENT CONTRIBUTIONS
1000.	221.	410810.		200				SUPPLIES
1000.	221.	410810.		210.	000			OFFICE SUPPLIES
1000.	221.	410810.		220.	000			OPERATING SUPPLIES
1000.	221.	410810.		300				PURCHASED SERVICES
1000.	221.	410810.		310.	000			COMMUNICATIONS
1000.	221.	410810.		320.	000			PRINTING & DUPLICATING
1000.	221.	410810.		330.	000			PUBLICITY SUBSCRIPTIONS & DUES
1000.	221.	410810.		350.	000			PROFESSIONAL SERVICES
1000.	221.	410810.		360.	000			REPAIR & MAINTENANCE
1000.	221.	410810.		370.	000			TRAVEL
1000.	221.	410810.		380.	000			TRAINING
1000.	221.	410820	TRAINING					
1000.	221.	410820.		100				PERSONAL SERVICES
1000.	221.	410820.		140.	000			EMPLOYER CONTRIBUTIONS
1000.	221.	410820.		200				SUPPLIES
1000.	221.	410820.		300				PURCHASED SERVICES
1000.	221.	410835	RISK MANAGEMENT					
1000.	221.	410835.		100				PERSONAL SERVICES
1000.	221.	410835.		200				SUPPLIES
1000.	221.	410835.		300				PURCHASED SERVICES
1000.	221.	410840	LABOR RELATIONS					
1000.	221.	410840.		100				PERSONAL SERVICES
1000.	221.	410840.		140.	000			EMPLOYER CONTRIBUTIONS
1000.	221.	410840.		200				SUPPLIES
1000.	221.	410840.		300				PURCHASED SERVICES
1000.	221.	410850	EEO COMPLIANCE					

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	221.	410850.		100	PERSONAL SERVICES			
1000.	221.	410850.		200	SUPPLIES			
1000.	221.	410850.		300	PURCHASED SERVICES			
1000.	221.	410850.		900	CAPITAL OUTLAY			
1000.	221.	410860.			EMPLOYEE BENEFITS			
1000.	221.	410860.		100	PERSONAL SERVICES			
1000.	221.	410860.		110. 000	SALARIES AND WAGES			
1000.	221.	410860.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	221.	410860.		200	SUPPLIES			
1000.	221.	410860.		300	PURCHASED SERVICES			
1000.	221.	419000.			GENERAL GOV'T ONETIME EXPENDITURES			
1000.	221.	419000.		200	SUPPLIES			
1000.	221.	419000.		220. 000	OPERATING SUPPLIES			
	223				CITY CLERK			
1000.	223.	410600.			ELECTIONS			
1000.	223.	410600.		300	PURCHASED SERVICES			
1000.	223.	410600.		350. 000	PROFESSIONAL SERVICES			
1000.	223.	410910.			ADMINISTRATION			
1000.	223.	410910.		100	PERSONAL SERVICES			
1000.	223.	410910.		110. 000	SALARIES AND WAGES			
1000.	223.	410910.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	223.	410910.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	223.	410910.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	223.	410910.		200	SUPPLIES			
1000.	223.	410910.		210. 000	OFFICE SUPPLIES			
1000.	223.	410910.		220. 000	OPERATING SUPPLIES			
1000.	223.	410910.		231. 000	GASOLINE			
1000.	223.	410910.		240. 000	OTHER SUPPLIES			
1000.	223.	410910.		300	PURCHASED SERVICES			
1000.	223.	410910.		310. 000	COMMUNICATIONS			
1000.	223.	410910.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
1000.	223.	410910.		350. 000	PROFESSIONAL SERVICES			
1000.	223.	410910.		360. 000	REPAIR & MAINTENANCE			
1000.	223.	410910.		370. 000	TRAVEL			
1000.	223.	410910.		380. 000	TRAINING			

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	223.	410910.		390.	000	OTHER PURCHASED SERVICES		
1000.	223.	410910.		500		FIXED CHARGES		
1000.	223.		411802		VOLUNTEER MISSOULA			
1000.	223.	411802.		700		GRANTS & CONTRIBUTIONS		
1000.	223.	411802.		700.	000	GRANTS & CONTRIBUTIONS		
1000.	223.		411854		NEIGHBORHOOD AMBASSADOR			
1000.	223.	411854.		700		GRANTS & CONTRIBUTIONS		
1000.	223.	411854.		700.	000	GRANTS & CONTRIBUTIONS		
1000.	223.		460451		CITY BAND			
1000.	223.	460451.		700		GRANTS & CONTRIBUTIONS		
1000.	223.	460451.		700.	000	CITY BAND CONTRIBUTIONS		
		224	INFORMATION TECHNOLOGIES					
1000.	224.		410001		SELF HOSTING ACCELA AUTOMATION			
1000.	224.	410001.		900		CAPITAL OUTLAY		
1000.	224.		410580		INFORMATION TECHNOLOGIES			
1000.	224.	410580.		100		PERSONAL SERVICES		
1000.	224.	410580.		110.	000	SALARIES AND WAGES		
1000.	224.	410580.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	224.	410580.		120.	000	OVERTIME		
1000.	224.	410580.		130.	000	OTHER		
1000.	224.	410580.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	224.	410580.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	224.	410580.		200		SUPPLIES		
1000.	224.	410580.		210.	000	OFFICE SUPPLIES		
1000.	224.	410580.		220.	000	OPERATING SUPPLIES		
1000.	224.	410580.		230.	000	REPAIR/MAINTENANCE		
1000.	224.	410580.		231.	000	GASOLINE		
1000.	224.	410580.		240.	000	OTHER SUPPLIES		
1000.	224.	410580.		300		PURCHASED SERVICES		
1000.	224.	410580.		310.	000	COMMUNICATIONS		
1000.	224.	410580.		320.	000	PRINTING & DUPLICATING		
1000.	224.	410580.		344.	000	TELEPHONE SERVICE		
1000.	224.	410580.		350.	000	PROFESSIONAL SERVICES		
1000.	224.	410580.		360.	000	REPAIR & MAINTENANCE		
1000.	224.	410580.		370.	000	TRAVEL		

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	224.	410580.		380. 000	TRAINING			
1000.	224.	410580.		390. 000	OTHER PURCHASED SERVICES			
1000.	224.	410580.		500	FIXED CHARGES			
1000.	224.	410580.		900	CAPITAL OUTLAY			
1000.	224.	411060.						
1000.	224.	411060.		100	PERSONAL SERVICES			
1000.	224.	411060.		110. 000	SALARIES AND WAGES			
1000.	224.	411060.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	224.	411060.		120. 000	OVERTIME			
1000.	224.	411060.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	224.	411060.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	224.	411060.		200	SUPPLIES			
1000.	224.	411060.		210. 000	OFFICE SUPPLIES			
1000.	224.	411060.		220. 000	OPERATING SUPPLIES			
1000.	224.	411060.		230. 000	REPAIR/MAINTENANCE			
1000.	224.	411060.		231. 000	GASOLINE			
1000.	224.	411060.		240. 000	OTHER SUPPLIES			
1000.	224.	411060.		300	PURCHASED SERVICES			
1000.	224.	411060.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
1000.	224.	411060.		344. 000	TELEPHONE SERVICE			
1000.	224.	411060.		350. 000	PROFESSIONAL SERVICES			
1000.	224.	411060.		360. 000	REPAIR & MAINTENANCE			
1000.	224.	411060.		370. 000	TRAVEL			
1000.	224.	411060.		380. 000	TRAINING			
1000.	224.	411060.		390. 000	OTHER PURCHASED SERVICES			
1000.	224.	419000.						
1000.	224.	419000.		200	SUPPLIES			
1000.	224.	419000.		220. 000	OPERATING SUPPLIES			
	230							
	230							
1000.	230.	410360.		100	PERSONAL SERVICES			
1000.	230.	410360.		110. 000	SALARIES AND WAGES			
1000.	230.	410360.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	230.	410360.		120. 000	OVERTIME			
1000.	230.	410360.		140. 000	EMPLOYER CONTRIBUTIONS			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	230.	410360.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	230.	410360.		200		SUPPLIES		
1000.	230.	410360.		210.	000	OFFICE SUPPLIES		
1000.	230.	410360.		220.	000	OPERATING SUPPLIES		
1000.	230.	410360.		231.	000	GASOLINE		
1000.	230.	410360.		240.	000	OTHER SUPPLIES		
1000.	230.	410360.		300		PURCHASED SERVICES		
1000.	230.	410360.		310.	000	COMMUNICATIONS		
1000.	230.	410360.		320.	000	PRINTING & DUPLICATING		
1000.	230.	410360.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	230.	410360.		344.	000	TELEPHONE SERVICE		
1000.	230.	410360.		350.	000	PROFESSIONAL SERVICES		
1000.	230.	410360.		360.	000	REPAIR & MAINTENANCE		
1000.	230.	410360.		370.	000	TRAVEL		
1000.	230.	410360.		380.	000	TRAINING		
1000.	230.	410360.		390.	000	OTHER PURCHASED SERVICES		
1000.	230.	410360.		500		FIXED CHARGES		
1000.	230.	410360.		500.	000	FIXED CHARGES		
1000.	230.	410360.		600		DEBT SERVICE		
1000.	230.	410360.		610.	000	PRINCIPAL		
1000.	230.	410360.		700		GRANTS & CONTRIBUTIONS		
1000.	230.	410360.		800		OTHER OBJECTS		
1000.	230.	410360.		820.	000	TRANSFERS TO OTHER FUNDS		
1000.	230.	410360.		900		CAPITAL OUTLAY		
1000.	230.	411853	MCS					
1000.	230.	411853.		300		PURCHASED SERVICES		
1000.	230.	411853.		390.	000	MCS-OTHER PURCHASED SERVICES		
1000.	230.	411853.		700		GRANTS & CONTRIBUTIONS		
1000.	230.	411853.		700.	000	GRANTS & CONTRIBUTIONS		
1000.	230.	419000	GENERAL GOV'T ONETIME EXPENDITURES					
1000.	230.	419000.		100		PERSONAL SERVICES		
1000.	230.	419000.		200		SUPPLIES		
1000.	230.	419000.		210.	000	OFFICE SUPPLIES		
1000.	230.	419000.		300		PURCHASED SERVICES		
1000.	230.	419000.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
		240	FINANCE					
1000.	240.	410510	FINANCIAL SERVICES ADMINISTRATION					
1000.	240.	410510.	100		PERSONAL SERVICES			
1000.	240.	410510.	110. 000		SALARIES AND WAGES			
1000.	240.	410510.	115. 000		SALARIES/HEALTH INSURANCE BENEFIT			
1000.	240.	410510.	120. 000		OVERTIME			
1000.	240.	410510.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	240.	410510.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
1000.	240.	410510.	200		SUPPLIES			
1000.	240.	410510.	210. 000		OFFICE SUPPLIES			
1000.	240.	410510.	220. 000		OPERATING SUPPLIES			
1000.	240.	410510.	230. 000		REPAIR/MAINTENANCE			
1000.	240.	410510.	300		PURCHASED SERVICES			
1000.	240.	410510.	310. 000		COMMUNICATIONS			
1000.	240.	410510.	320. 000		PRINTING & DUPLICATING			
1000.	240.	410510.	330. 000		PUBLICITY SUBSCRIPTIONS & DUES			
1000.	240.	410510.	344. 000		TELEPHONE SERVICE			
1000.	240.	410510.	350. 000		PROFESSIONAL SERVICES			
1000.	240.	410510.	360. 000		REPAIR & MAINTENANCE			
1000.	240.	410510.	370. 000		TRAVEL			
1000.	240.	410510.	380. 000		TRAINING			
1000.	240.	410510.	500		FIXED CHARGES			
		245	CENTRAL SERVICES					
1000.	245.	410810	ADMINISTRATION					
1000.	245.	410810.	100		PERSONAL SERVICES			
1000.	245.	410810.	110. 000		SALARIES AND WAGES			
1000.	245.	410810.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	245.	410810.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
1000.	245.	410810.	200		SUPPLIES			
1000.	245.	410810.	210. 000		OFFICE SUPPLIES			
1000.	245.	410810.	220. 000		OPERATING SUPPLIES			
1000.	245.	410810.	231. 000		GASOLINE			
1000.	245.	410810.	300		PURCHASED SERVICES			
1000.	245.	410810.	310. 000		COMMUNICATIONS			
1000.	245.	410810.	320. 000		PRINTING & DUPLICATING			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

Accounts may be created during the year as needed.

Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	245.	410810.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	245.	410810.		350.	000	PROFESSIONAL SERVICES		
1000.	245.	410810.		370.	000	TRAVEL		
1000.	245.	410810.		380.	000	TRAINING		
1000.	245.	410810.		700		GRANTS & CONTRIBUTIONS		
1000.	245.	419000				GENERAL GOV'T ONETIME EXPENDITURES		
1000.	245.	419000.		300		PURCHASED SERVICES		
	246					FACILITY MAINTENANCE DEPARTMENT		
1000.	246.	411810				ADMINISTRATION		
1000.	246.	411810.		100		PERSONAL SERVICES		
1000.	246.	411810.		110.	000	SALARIES AND WAGES		
1000.	246.	411810.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	246.	411810.		130.	000	OTHER		
1000.	246.	411810.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	246.	411810.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	246.	411810.		200		SUPPLIES		
1000.	246.	411810.		210.	000	OFFICE SUPPLIES		
1000.	246.	411810.		220.	000	OPERATING SUPPLIES		
1000.	246.	411810.		230.	000	REPAIR/MAINTENANCE		
1000.	246.	411810.		231.	000	GASOLINE		
1000.	246.	411810.		300		PURCHASED SERVICES		
1000.	246.	411810.		344.	000	TELEPHONE SERVICE		
1000.	246.	411810.		350.	000	PROFESSIONAL SERVICES		
1000.	246.	411810.		370.	000	TRAVEL		
1000.	246.	411810.		380.	000	TRAINING		
1000.	246.	419000				GENERAL GOV'T ONETIME EXPENDITURES		
1000.	246.	419000.		300		PURCHASED SERVICES		
1000.	246.	419000.		350.	000	PROFESSIONAL SERVICES		
1000.	246.	419000.		900		CAPITAL OUTLAY		
1000.	246.	430220				CITY FACILITY UTILITIES		
1000.	246.	430220.		200		SUPPLIES		
1000.	246.	430220.		300		PURCHASED SERVICES		
1000.	246.	430220.		340.	000	WASTEWATER		
1000.	246.	430220.		341.	000	ELECTRICITY & NATURAL GAS		
1000.	246.	430220.		342.	000	STORM WATER		

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	246.	430220.		343. 000	WATER CHARGES			
1000.	246.	430220.		344. 000	TELEPHONE SERVICE			
1000.	246.	430220.		345. 000	GARBAGE			
1000.	246.	430220.		360. 000	REPAIR & MAINTENANCE			
1000.	246.	431350.			CITY FACILITY MAINTENANCE			
1000.	246.	431350.		100	PERSONAL SERVICES			
1000.	246.	431350.		110. 000	SALARIES AND WAGES			
1000.	246.	431350.		130. 000	OTHER			
1000.	246.	431350.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	246.	431350.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	246.	431350.		200	SUPPLIES			
1000.	246.	431350.		220. 000	OPERATING SUPPLIES			
1000.	246.	431350.		230. 000	REPAIR/MAINTENANCE			
1000.	246.	431350.		300	PURCHASED SERVICES			
1000.	246.	431350.		360. 000	REPAIR & MAINTENANCE			
1000.	246.	431350.		900	CAPITAL OUTLAY			
1000.	246.	460452.			ART MUSEUM			
1000.	246.	460452.		700	GRANTS & CONTRIBUTIONS			
1000.	246.	460452.		700. 000	GRANTS & CONTRIBUTIONS			
	250.				DEVELOPMENT SERVICES			
1000.	250.	411000.			MRTMA			
1000.	250.	411000.		700	GRANTS & CONTRIBUTIONS			
1000.	250.	411000.		700. 000	MISSOULA RAVALI TMA			
1000.	250.	411010.			ADMINISTRATION			
1000.	250.	411010.		100	PERSONAL SERVICES			
1000.	250.	411010.		110. 000	SALARIES AND WAGES			
1000.	250.	411010.		120. 000	OVERTIME/TERMINATION			
1000.	250.	411010.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	250.	411010.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	250.	411010.		200	SUPPLIES			
1000.	250.	411010.		210. 000	OFFICE SUPPLIES			
1000.	250.	411010.		220. 000	ADMIN-OPERATING SUPPLIES			
1000.	250.	411010.		230. 000	REPAIR/MAINTENANCE			
1000.	250.	411010.		231. 000	GASOLINE			
1000.	250.	411010.		300	PURCHASED SERVICES			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	250.	411010.		310.	000	COMMUNICATIONS		
1000.	250.	411010.		320.	000	PRINTING & DUPLICATING		
1000.	250.	411010.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	250.	411010.		344.	000	TELEPHONE SERVICE		
1000.	250.	411010.		350.	000	PROFESSIONAL SERVICES		
1000.	250.	411010.		360.	000	REPAIR & MAINTENANCE		
1000.	250.	411010.		370.	000	TRAVEL		
1000.	250.	411010.		380.	000	TRAINING		
1000.	250.	411030	GRANTS & COMMUNITY PROGRAM CONTRIBUTIONS					
1000.	250.	411030.		300		PURCHASED SERVICES		
1000.	250.	411031	PLANNING SUBSIDY					
1000.	250.	411031.		800		OTHER OBJECTS		
1000.	250.	411031.		820.	000	PLANNING SUBSIDY		
1000.	250.	411050	DEVELOPMENT & PERMIT REVIEWS					
1000.	250.	411050.		100		PERSONAL SERVICES		
1000.	250.	411050.		110.	000	SALARIES AND WAGES		
1000.	250.	411050.		115.	000	HEALTH INSURANCE BENEFIT		
1000.	250.	411050.		130.	000	OTHER		
1000.	250.	411050.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	250.	411050.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	250.	411050.		200		SUPPLIES		
1000.	250.	411050.		210.	000	DEV & PERMIT REVIEW-OFFICE SUPPLIES		
1000.	250.	411050.		220.	000	OPERATING SUPPLIES		
1000.	250.	411050.		230.	000	REPAIR/MAINTENANCE		
1000.	250.	411050.		231.	000	DEV & PERMIT REVIEW-GASOLINE		
1000.	250.	411050.		300		PURCHASED SERVICES		
1000.	250.	411050.		310.	000	COMMUNICATIONS		
1000.	250.	411050.		320.	000	PRINTING & DUPLICATING		
1000.	250.	411050.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	250.	411050.		344.	000	TELEPHONE SERVICE		
1000.	250.	411050.		350.	000	PROFESSIONAL SERVICES		
1000.	250.	411050.		360.	000	REPAIR & MAINTENANCE		
1000.	250.	411050.		370.	000	DEV & PERMIT REVIEW-TRAVEL		
1000.	250.	411050.		380.	000	TRAINING		
1000.	250.	411050.		500		FIXED CHARGES		

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	250.		411071		MOUNTAIN LINE SUBSIDY			
1000.	250.		411071.	700	GRANTS & CONTRIBUTIONS			
1000.	250.		411071.	700. 000	GRANTS & CONTRIBUTIONS			
1000.	250.		411080		MIM MDT			
1000.	250.		411080.	100	PERSONAL SERVICES			
1000.	250.		411080.	800	OTHER OBJECTS			
1000.	250.		411080.	820. 000	MIM & BIKE PED SUBSIDY			
1000.	250.		419000		GENERAL GOV'T ONETIME EXPENDITURES			
1000.	250.		419000.	200	SUPPLIES			
1000.	250.		419000.	210. 000	OFFICE SUPPLIES			
1000.	250.		419000.	220. 000	OPERATING SUPPLIES			
1000.	250.		419000.	300	PURCHASED SERVICES			
1000.	250.		430255		BIKE-PED PROGRAM & TRAILS			
1000.	250.		430255.	800	OTHER OBJECTS			
1000.	250.		430255.	820. 000	TRANSFERS TO BIKE-PED SUBSIDY			
1000.	250.		431400		ENGINEERING			
1000.	250.		431400.	100	PERSONAL SERVICES			
1000.	250.		431400.	110. 000	SALARIES AND WAGES			
1000.	250.		431400.	115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	250.		431400.	140. 000	EMPLOYER CONTRIBUTIONS			
1000.	250.		431400.	141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	250.		431400.	200	SUPPLIES			
1000.	250.		431400.	210. 000	ENGINEERING-OFFICE SUPPLIES			
1000.	250.		431400.	220. 000	OPERATING SUPPLIES			
1000.	250.		431400.	230. 000	REPAIR/MAINTENANCE			
1000.	250.		431400.	231. 000	ENGINEERING-GASOLINE			
1000.	250.		431400.	240. 000	OTHER SUPPLIES			
1000.	250.		431400.	300	PURCHASED SERVICES			
1000.	250.		431400.	310. 000	COMMUNICATIONS			
1000.	250.		431400.	320. 000	PRINTING & DUPLICATING			
1000.	250.		431400.	330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
1000.	250.		431400.	344. 000	TELEPHONE SERVICE			
1000.	250.		431400.	360. 000	ENGINEERING-REPAIR & MAINTENANCE			
1000.	250.		431400.	370. 000	ENGINEERING-TRAVEL			
1000.	250.		431400.	380. 000	TRAINING			

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	250.		439000		PUBLIC WORKS ONETIME EXPENSES			
1000.	250.		439000.	200	SUPPLIES			
1000.	250.		439000.	300	PURCHASED SERVICES			
1000.	250.		439000.	900	CAPITAL OUTLAY			
1000.	250.		439000.	930. 000	IMPROVEMENTS			
1000.	250.		460460		HISTORIC PRESERVATION			
1000.	250.		460460.	800	OTHER OBJECTS			
1000.	250.		460460.	820. 000	HISTORIC PRESERVATION SUBSIDY			
1000.	250.		510110		MERCHANT SERVICES			
1000.	250.		510110.	500	FIXED CHARGES			
	255		HOUSING & COMMUNITY DEVELOPMENT					
1000.	255.		410120		COMMUNITY FORUM/NC LIAISON			
1000.	255.		410120.	300	PURCHASED SERVICES			
1000.	255.		410120.	320. 000	PRINTING & DUPLICATING			
1000.	255.		410120.	700	GRANTS & CONTRIBUTIONS			
1000.	255.		410120.	700. 000	GRANTS & CONTRIBUTIONS			
1000.	255.		410121		NEIGHBORHOOD PROJECT			
1000.	255.		410121.	700	GRANTS & CONTRIBUTIONS			
1000.	255.		410121.	700. 000	GRANTS & CONTRIBUTIONS			
1000.	255.		410124		NEIGHBORHOOD COUNCILS			
1000.	255.		410124.	300	PURCHASED SERVICES			
1000.	255.		410124.	310. 000	COMMUNICATIONS			
1000.	255.		410124.	700	GRANTS & CONTRIBUTIONS			
1000.	255.		410124.	700. 000	GRANTS & CONTRIBUTIONS			
1000.	255.		410125		NEIGHBORHOOD OFFICE			
1000.	255.		410125.	100	PERSONAL SERVICES			
1000.	255.		410125.	110. 000	SALARIES AND WAGES			
1000.	255.		410125.	115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	255.		410125.	140. 000	EMPLOYER CONTRIBUTIONS			
1000.	255.		410125.	141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	255.		410125.	200	SUPPLIES			
1000.	255.		410125.	210. 000	OFFICE SUPPLIES			
1000.	255.		410125.	220. 000	OPERATING SUPPLIES			
1000.	255.		410125.	231. 000	GASOLINE			
1000.	255.		410125.	240. 000	OTHER SUPPLIES			

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	255.	410125.		300		PURCHASED SERVICES		
1000.	255.	410125.		310.	000	COMMUNICATIONS		
1000.	255.	410125.		320.	000	PRINTING & DUPLICATING		
1000.	255.	410125.		350.	000	PROFESSIONAL SERVICES		
1000.	255.	410125.		360.	000	REPAIR & MAINTENANCE		
1000.	255.	410125.		370.	000	TRAVEL		
1000.	255.	410125.		380.	000	TRAINING		
1000.	255.	411231.				ENERGY CONSERVATION		
1000.	255.	411231.		100		PERSONAL SERVICES		
1000.	255.	411231.		110.	000	SALARIES AND WAGES		
1000.	255.	411231.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	255.	411231.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	255.	411231.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	255.	411231.		200		SUPPLIES		
1000.	255.	411231.		210.	000	OFFICE SUPPLIES		
1000.	255.	411231.		220.	000	OPERATING SUPPLIES		
1000.	255.	411231.		231.	000	GASOLINE		
1000.	255.	411231.		300		PURCHASED SERVICES		
1000.	255.	411231.		310.	000	COMMUNICATIONS		
1000.	255.	411231.		320.	000	PRINTING & DUPLICATING		
1000.	255.	411231.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	255.	411231.		350.	000	PROFESSIONAL SERVICES		
1000.	255.	411231.		370.	000	TRAVEL		
1000.	255.	411231.		380.	000	TRAINING		
1000.	255.	411231.		500		FIXED CHARGES		
1000.	255.	411231.		700		GRANTS & CONTRIBUTIONS		
1000.	255.	411231.		700.	000	GRANTS & CONTRIBUTIONS		
1000.	255.	440191.				ECONOMIC DEVELOPMENT		
1000.	255.	440191.		700		GRANTS & CONTRIBUTIONS		
1000.	255.	440191.		700.	000	ECONOMIC PARTNERSHIP CONTRIBUTION		
1000.	255.	450000.				AGING SERVICES		
1000.	255.	450000.		700		GRANTS & CONTRIBUTIONS		

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	255.	450000.		700. 000	GRANTS & CONTRIBUTIONS			
1000.	255.	450131	GENERAL ASSISTANCE					
1000.	255.	450131.		100	PERSONAL SERVICES			
1000.	255.	450131.		110. 000	SALARIES AND WAGES			
1000.	255.	450131.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	255.	450131.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	255.	450131.		200	SUPPLIES			
1000.	255.	450131.		210. 000	OFFICE SUPPLIES			
1000.	255.	450131.		300	PURCHASED SERVICES			
1000.	255.	450131.		320. 000	PRINTING & DUPLICATING			
1000.	255.	450131.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
1000.	255.	450131.		350. 000	PROFESSIONAL SERVICES			
1000.	255.	450131.		370. 000	TRAVEL			
1000.	255.	450131.		380. 000	TRAINING			
1000.	255.	450131.		700	GRANTS & CONTRIBUTIONS			
1000.	255.	450131.		700. 000	REACHING HOME - 10 YR PLAN END HOMLESS			
1000.	255.	450500	EMPLOYMENT OPPORTUNITY SVS					
1000.	255.	450500.		300	PURCHASED SERVICES			
1000.	255.	450500.		350. 000	PROFESSIONAL SERVICES			
1000.	255.	460300	OTHER COMMUNITY EVENTS					
1000.	255.	460300.		700	GRANTS & CONTRIBUTIONS			
1000.	255.	460300.		700. 000	CULTURAL COUNCIL/GRANTS & CONTRIBUTIONS			
1000.	255.	460453	BANDS					
1000.	255.	460453.		700	GRANTS & CONTRIBUTIONS			
1000.	255.	460453.		700. 000	INTL CHORAL FESTIVAL			
1000.	255.	470210	ADMINISTRATION					
1000.	255.	470210.		100	PERSONAL SERVICES			
1000.	255.	470210.		110. 000	SALARIES AND WAGES			
1000.	255.	470210.		120. 000	OVERTIME			
1000.	255.	470210.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	255.	470210.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	255.	470210.		200	SUPPLIES			
1000.	255.	470210.		210. 000	OFFICE SUPPLIES			
1000.	255.	470210.		220. 000	OPERATING SUPPLIES			
1000.	255.	470210.		300	PURCHASED SERVICES			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	255.	470210.		310.	000	COMMUNICATIONS		
1000.	255.	470210.		320.	000	PRINTING & DUPLICATING		
1000.	255.	470210.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	255.	470210.		350.	000	PROFESSIONAL SERVICES		
1000.	255.	470210.		360.	000	REPAIR & MAINTENANCE		
1000.	255.	470210.		370.	000	TRAVEL		
1000.	255.	470210.		380.	000	TRAINING		
1000.	255.	470210.		390.	000	OTHER PURCHASED SERVICES		
1000.	255.	470210.		500		FIXED CHARGES		
1000.	255.	470210.		530.	000	RENT		
1000.	255.	470210.		700		GRANTS & CONTRIBUTIONS		
1000.	255.	470210.		900		CAPITAL OUTLAY		
	270	CITY ATTORNEY						
1000.	270.	410360	ALTERNATIVE DISPUTE RESOLUTION					
1000.	270.	410360.		700		GRANTS & CONTRIBUTIONS		
1000.	270.	410360.		700.	000	ALTERNATIVE DISPUTE RESOLUTION		
1000.	270.	410371	SEXUAL ASSUALT PREVENTION CAMPAIGN					
1000.	270.	410371.		700		GRANTS & CONTRIBUTIONS		
1000.	270.	410371.		700.	000	SEXUAL ASSUAL PREVENTION CAMPAIGN		
1000.	270.	411115	VICTIM SERVICES					
1000.	270.	411115.		100		PERSONAL SERVICES		
1000.	270.	411115.		110.	000	SALARIES AND WAGES		
1000.	270.	411115.		120.	000	OVERTIME		
1000.	270.	411115.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	270.	411115.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	270.	411115.		200		SUPPLIES		
1000.	270.	411115.		210.	000	OFFICE SUPPLIES		
1000.	270.	411115.		220.	000	OPERATING SUPPLIES		
1000.	270.	411115.		300		PURCHASED SERVICES		
1000.	270.	411115.		310.	000	COMMUNICATIONS		
1000.	270.	411115.		320.	000	PRINTING & DUPLICATING		
1000.	270.	411115.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	270.	411115.		350.	000	PROFESSIONAL SERVICES		
1000.	270.	411115.		360.	000	REPAIR & MAINTENANCE		
1000.	270.	411115.		370.	000	TRAVEL		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	270.	411115.		380.	000	TRAINING		
1000.	270.	411115.		900		CAPITAL OUTLAY		
1000.	270.	411120	ADMINISTRATION & CIVIL LAW					
1000.	270.	411120.		100		PERSONAL SERVICES		
1000.	270.	411120.		110.	000	SALARIES AND WAGES		
1000.	270.	411120.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	270.	411120.		120.	000	OVERTIME		
1000.	270.	411120.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	270.	411120.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	270.	411120.		200		SUPPLIES		
1000.	270.	411120.		210.	000	OFFICE SUPPLIES		
1000.	270.	411120.		220.	000	OPERATING SUPPLIES		
1000.	270.	411120.		231.	000	GASOLINE		
1000.	270.	411120.		300		PURCHASED SERVICES		
1000.	270.	411120.		310.	000	COMMUNICATIONS		
1000.	270.	411120.		320.	000	PRINTING & DUPLICATING		
1000.	270.	411120.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	270.	411120.		350.	000	PROFESSIONAL SERVICES		
1000.	270.	411120.		360.	000	REPAIR & MAINTENANCE		
1000.	270.	411120.		370.	000	TRAVEL		
1000.	270.	411120.		380.	000	TRAINING		
1000.	270.	411120.		800		OTHER OBJECTS		
1000.	270.	411120.		900		CAPITAL OUTLAY		
1000.	270.	411125	CRIMINAL LAW					
1000.	270.	411125.		100		PERSONAL SERVICES		
1000.	270.	411125.		110.	000	SALARIES AND WAGES		
1000.	270.	411125.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	270.	411125.		120.	000	OVERTIME		
1000.	270.	411125.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	270.	411125.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	270.	411125.		200		SUPPLIES		
1000.	270.	411125.		210.	000	OFFICE SUPPLIES		
1000.	270.	411125.		220.	000	OPERATING SUPPLIES		
1000.	270.	411125.		231.	000	GASOLINE		
1000.	270.	411125.		300		PURCHASED SERVICES		

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	270.	411125.		310.	000	COMMUNICATIONS		
1000.	270.	411125.		320.	000	PRINTING & DUPLICATING		
1000.	270.	411125.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	270.	411125.		350.	000	PROFESSIONAL SERVICES		
1000.	270.	411125.		360.	000	REPAIR & MAINTENANCE		
1000.	270.	411125.		370.	000	TRAVEL		
1000.	270.	411125.		380.	000	TRAINING		
1000.	270.	411125.		500		FIXED CHARGES		
1000.	270.	411125.		900		CAPITAL OUTLAY		
1000.	270.	419000				GENERAL GOV'T ONETIME EXPENDITURES		
1000.	270.	419000.		300		PURCHASED SERVICES		
1000.	270.	419000.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	270.	419000.		390.	000	OTHER PURCHASED SERVICES		
1000.	270.	419000.		900		CAPITAL OUTLAY		
1000.	270.	419000.		940.	000	MACHINERY & EQUIPMENT		
	290		POLICE					
1000.	290.	420001				PUBLIC SAFETY OPERATING/LIGHT VEHICLES		
1000.	290.	420001.		900		CAPITAL OUTLAY		
1000.	290.	420110				ADMINISTRATION		
1000.	290.	420110.		100		PERSONAL SERVICES		
1000.	290.	420110.		110.	000	SALARIES AND WAGES		
1000.	290.	420110.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	290.	420110.		120.	000	OVERTIME		
1000.	290.	420110.		121.	000	OUTSIDE HIRE OVERTIME		
1000.	290.	420110.		130.	000	OTHER		
1000.	290.	420110.		133.	000	EDUCATION COMPENSATION		
1000.	290.	420110.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	290.	420110.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	290.	420110.		200		SUPPLIES		
1000.	290.	420110.		220.	000	OPERATING SUPPLIES		
1000.	290.	420110.		230.	000	REPAIR/MAINTENANCE		
1000.	290.	420110.		231.	000	GASOLINE		
1000.	290.	420110.		300		PURCHASED SERVICES		
1000.	290.	420110.		310.	000	COMMUNICATIONS		
1000.	290.	420110.		320.	000	PRINTING & DUPLICATING		

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	290.	420110.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	290.	420110.		344.	000	TELEPHONE SERVICE		
1000.	290.	420110.		350.	000	PROFESSIONAL SERVICES		
1000.	290.	420110.		360.	000	REPAIR & MAINTENANCE		
1000.	290.	420110.		392.	000	DONATIONS AND SALES		
1000.	290.	420110.		500		FIXED CHARGES		
1000.	290.	420110.		500.	000	FIXED CHARGES		
1000.	290.	420110.		700		GRANTS & CONTRIBUTIONS		
1000.	290.	420110.		700.	000	GRANTS & CONTRIBUTIONS		
1000.	290.	420110.		800		OTHER OBJECTS		
1000.	290.	420110.		820.	000	TRANSFERS TO LAW ENFORCEMENT BLOCK GRANT		
1000.	290.	420110.		900		CAPITAL OUTLAY		
1000.	290.	420130	PERSONNEL TRAINING					
1000.	290.	420130.		100		PERSONAL SERVICES		
1000.	290.	420130.		110.	000	SALARIES AND WAGES		
1000.	290.	420130.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	290.	420130.		120.	000	OVERTIME		
1000.	290.	420130.		130.	000	OTHER		
1000.	290.	420130.		133.	000	EDUCATION COMPENSATION		
1000.	290.	420130.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	290.	420130.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	290.	420130.		200		SUPPLIES		
1000.	290.	420130.		220.	000	OPERATING SUPPLIES		
1000.	290.	420130.		300		PURCHASED SERVICES		
1000.	290.	420130.		320.	000	PRINTING & DUPLICATING		
1000.	290.	420130.		360.	000	REPAIR & MAINTENANCE		
1000.	290.	420130.		370.	000	TRAVEL		
1000.	290.	420130.		390.	000	OTHER PURCHASED SERVICES		
1000.	290.	420141	CRIMINAL INVESTIGATION					
1000.	290.	420141.		100		PERSONAL SERVICES		
1000.	290.	420141.		110.	000	SALARIES AND WAGES		
1000.	290.	420141.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	290.	420141.		120.	000	OVERTIME		
1000.	290.	420141.		130.	000	OTHER		
1000.	290.	420141.		133.	000	EDUCATION COMPENSATION		

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	290.	420141.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	290.	420141.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	290.	420141.		200		SUPPLIES		
1000.	290.	420141.		220.	000	OPERATING SUPPLIES		
1000.	290.	420141.		230.	000	REPAIR/MAINTENANCE		
1000.	290.	420141.		231.	000	GASOLINE		
1000.	290.	420141.		300		PURCHASED SERVICES		
1000.	290.	420141.		310.	000	COMMUNICATIONS		
1000.	290.	420141.		320.	000	PRINTING & DUPLICATING		
1000.	290.	420141.		350.	000	PROFESSIONAL SERVICES		
1000.	290.	420141.		360.	000	REPAIR & MAINTENANCE		
1000.	290.	420141.		900		CAPITAL OUTLAY		
1000.	290.	420142	NARCOTICS					
1000.	290.	420142.		100		PERSONAL SERVICES		
1000.	290.	420142.		200		SUPPLIES		
1000.	290.	420142.		220.	000	OPERATING SUPPLIES		
1000.	290.	420142.		300		PURCHASED SERVICES		
1000.	290.	420143	REIMBURSABLE SERVICES/COMPLIANCE CHECKS					
1000.	290.	420143.		100		PERSONAL SERVICES		
1000.	290.	420143.		300		PURCHASED SERVICES		
1000.	290.	420150	TRAFFIC POLICING-UNIFORM					
1000.	290.	420150.		100		PERSONAL SERVICES		
1000.	290.	420150.		110.	000	SALARIES AND WAGES		
1000.	290.	420150.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	290.	420150.		120.	000	OVERTIME		
1000.	290.	420150.		122.	000	COURT OVERTIME		
1000.	290.	420150.		130.	000	OTHER		
1000.	290.	420150.		133.	000	EDUCATION COMPENSATION		
1000.	290.	420150.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	290.	420150.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	290.	420150.		200		SUPPLIES		
1000.	290.	420150.		220.	000	OPERATING SUPPLIES		
1000.	290.	420150.		230.	000	REPAIR/MAINTENANCE		
1000.	290.	420150.		231.	000	GASOLINE		
1000.	290.	420150.		300		PURCHASED SERVICES		

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	290.	420150.		320.	000	PRINTING & DUPLICATING		
1000.	290.	420150.		344.	000	TELEPHONE SERVICE		
1000.	290.	420150.		350.	000	PROFESSIONAL SERVICES		
1000.	290.	420150.		360.	000	REPAIR & MAINTENANCE		
1000.	290.	420150.		900		CAPITAL OUTLAY		
1000.	290.	420151.				ACCIDENT INVESTIGATION		
1000.	290.	420151.		100		PERSONAL SERVICES		
1000.	290.	420151.		200		SUPPLIES		
1000.	290.	420151.		300		PURCHASED SERVICES		
1000.	290.	420151.		900		CAPITAL OUTLAY		
1000.	290.	420152.				PLANS UNIT		
1000.	290.	420152.		100		PERSONAL SERVICES		
1000.	290.	420152.		200		SUPPLIES		
1000.	290.	420152.		300		PURCHASED SERVICES		
1000.	290.	420153.				COMMUNITY RESOURCE		
1000.	290.	420153.		100		PERSONAL SERVICES		
1000.	290.	420153.		110.	000	CRO/SALARIES AND WAGES		
1000.	290.	420153.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	290.	420153.		120.	000	OVERTIME		
1000.	290.	420153.		130.	000	OTHER		
1000.	290.	420153.		133.	000	EDUCATION COMPENSATION		
1000.	290.	420153.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	290.	420153.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	290.	420153.		200		SUPPLIES		
1000.	290.	420153.		220.	000	OPERATING SUPPLIES		
1000.	290.	420153.		230.	000	REPAIR/MAINTENANCE		
1000.	290.	420153.		231.	000	GASOLINE		
1000.	290.	420153.		300		PURCHASED SERVICES		
1000.	290.	420153.		320.	000	PRINTING & DUPLICATING		
1000.	290.	420153.		360.	000	REPAIR & MAINTENANCE		
1000.	290.	420153.		900		CAPITAL OUTLAY		
1000.	290.	420154.				ABANDONED VEHICLE PROGRAM		
1000.	290.	420154.		100		PERSONAL SERVICES		
1000.	290.	420154.		110.	000	SALARIES AND WAGES		
1000.	290.	420154.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	290.	420154.		120. 000	OVERTIME			
1000.	290.	420154.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	290.	420154.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	290.	420154.		200	SUPPLIES			
1000.	290.	420154.		220. 000	OPERATING SUPPLIES			
1000.	290.	420154.		300	PURCHASED SERVICES			
1000.	290.	420154.		310. 000	COMMUNICATIONS			
1000.	290.	420154.		320. 000	PRINTING & DUPLICATING			
1000.	290.	420154.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
1000.	290.	420154.		350. 000	PROFESSIONAL SERVICES			
1000.	290.	420154.		350. 011	PROFESSIONAL SERVICES			
1000.	290.	420154.		350. 012	PROFESSIONAL SERVICES			
1000.	290.	420160	COMMUNICATIONS					
1000.	290.	420160.		100	PERSONAL SERVICES			
1000.	290.	420160.		110. 000	SALARIES AND WAGES			
1000.	290.	420160.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	290.	420160.		120. 000	OVERTIME			
1000.	290.	420160.		130. 000	OTHER			
1000.	290.	420160.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	290.	420160.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	290.	420160.		200	SUPPLIES			
1000.	290.	420160.		220. 000	OPERATING SUPPLIES			
1000.	290.	420160.		300	PURCHASED SERVICES			
1000.	290.	420160.		310. 000	COMMUNICATIONS			
1000.	290.	420160.		320. 000	PRINTING & DUPLICATING			
1000.	290.	420170	RECORDS					
1000.	290.	420170.		100	PERSONAL SERVICES			
1000.	290.	420170.		200	SUPPLIES			
1000.	290.	420170.		300	PURCHASED SERVICES			
1000.	290.	420170.		500	FIXED CHARGES			
1000.	290.	420170.		900	CAPITAL OUTLAY			
1000.	290.	420182	EVIDENCE					
1000.	290.	420182.		100	PERSONAL SERVICES			
1000.	290.	420182.		110. 000	SALARIES AND WAGES			
1000.	290.	420182.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	290.	420182.		120. 000	OVERTIME			
1000.	290.	420182.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	290.	420182.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	290.	420182.		200	SUPPLIES			
1000.	290.	420182.		220. 000	OPERATING SUPPLIES			
1000.	290.	420182.		230. 000	REPAIR/MAINTENANCE			
1000.	290.	420182.		231. 000	GASOLINE			
1000.	290.	420182.		300	PURCHASED SERVICES			
1000.	290.	420182.		310. 000	COMMUNICATIONS			
1000.	290.	420182.		320. 000	PRINTING & DUPLICATING			
1000.	290.	420182.		350. 000	PROFESSIONAL SERVICES			
1000.	290.	420182.		360. 000	REPAIR & MAINTENANCE			
1000.	290.	420182.		500	FIXED CHARGES			
1000.	290.	420185			SPECIAL TEAMS			
1000.	290.	420185.		100	PERSONAL SERVICES			
1000.	290.	420185.		200	SUPPLIES			
1000.	290.	420185.		220. 000	OPERATING SUPPLIES			
1000.	290.	420185.		230. 000	REPAIR/MAINTENANCE			
1000.	290.	420185.		231. 000	GASOLINE			
1000.	290.	420185.		300	PURCHASED SERVICES			
1000.	290.	420185.		350. 000	PROFESSIONAL SERVICES			
1000.	290.	420185.		360. 000	REPAIR & MAINTENANCE			
1000.	290.	420291			POLICE LIGHT CORE EQUIPMENT			
1000.	290.	420291.		900	CAPITAL OUTLAY			
1000.	290.	420291.		940. 000	MACHINERY & EQUIPMENT			
1000.	290.	420295			POLICE COMMUNICATION & EQUIP REPLACEMENT			
1000.	290.	420295.		900	CAPITAL OUTLAY			
1000.	290.	420295.		940. 000	MACHINERY & EQUIPMENT			
1000.	290.	429000			PUBLIC SAFETY ONETIME EXPENSES			
1000.	290.	429000.		200	SUPPLIES			
1000.	290.	429000.		220. 000	OPERATING SUPPLIES			
1000.	290.	429000.		300	PURCHASED SERVICES			
1000.	290.	429000.		350. 000	PROFESSIONAL SERVICES			
1000.	290.	429000.		370. 000	TRAVEL			
1000.	290.	429000.		800	OTHER OBJECTS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
		300	FIRE					
1000.	300.	420301	FIRE LIGHT CORE EQUIPMENT					
1000.	300.	420301.	900		CAPITAL OUTLAY			
1000.	300.	420410	ADMINISTRATION					
1000.	300.	420410.	100		PERSONAL SERVICES			
1000.	300.	420410.	110. 000		SALARIES AND WAGES			
1000.	300.	420410.	115. 000		SALARIES/HEALTH INSURANCE BENEFIT			
1000.	300.	420410.	130. 000		OTHER			
1000.	300.	420410.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	300.	420410.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
1000.	300.	420410.	200		SUPPLIES			
1000.	300.	420410.	210. 000		OFFICE SUPPLIES			
1000.	300.	420410.	220. 000		OPERATING SUPPLIES			
1000.	300.	420410.	230. 000		REPAIR/MAINTENANCE			
1000.	300.	420410.	240. 000		OTHER SUPPLIES			
1000.	300.	420410.	300		PURCHASED SERVICES			
1000.	300.	420410.	310. 000		COMMUNICATIONS			
1000.	300.	420410.	320. 000		PRINTING & DUPLICATING			
1000.	300.	420410.	330. 000		PUBLICITY SUBSCRIPTIONS & DUES			
1000.	300.	420410.	350. 000		PROFESSIONAL SERVICES			
1000.	300.	420410.	360. 000		REPAIR & MAINTENANCE			
1000.	300.	420410.	370. 000		TRAVEL			
1000.	300.	420410.	380. 000		TRAINING			
1000.	300.	420410.	700		GRANTS & CONTRIBUTIONS			
1000.	300.	420410.	700. 000		GRANTS & CONTRIBUTIONS			
1000.	300.	420410.	800		OTHER OBJECTS			
1000.	300.	420411	FIRE - OUTSIDE HIRE					
1000.	300.	420411.	100		PERSONAL SERVICES			
1000.	300.	420411.	121. 000		OUTSIDE HIRE OVERTIME			
1000.	300.	420411.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	300.	420413	FIRE - MISC OUTSIDE HIRE					
1000.	300.	420413.	200		SUPPLIES			
1000.	300.	420413.	220. 000		OPERATING SUPPLIES			
1000.	300.	420415	FIRE - LOCKBOX					
1000.	300.	420415.	200		SUPPLIES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	300.	420415.		220.	000	OPERATING SUPPLIES		
1000.	300.	420420	FACILITY					
1000.	300.	420420.		100		PERSONAL SERVICES		
1000.	300.	420420.		200		SUPPLIES		
1000.	300.	420420.		210.	000	OFFICE SUPPLIES		
1000.	300.	420420.		220.	000	OPERATING SUPPLIES		
1000.	300.	420420.		230.	000	REPAIR/MAINTENANCE		
1000.	300.	420420.		300		PURCHASED SERVICES		
1000.	300.	420420.		340.	000	WASTEWATER		
1000.	300.	420420.		341.	000	ELECTRICITY & NATURAL GAS		
1000.	300.	420420.		342.	000	STORM WATER		
1000.	300.	420420.		343.	000	WATER CHARGES		
1000.	300.	420420.		344.	000	TELEPHONE SERVICE		
1000.	300.	420420.		345.	000	GARBAGE		
1000.	300.	420420.		360.	000	REPAIR & MAINTENANCE		
1000.	300.	420420.		500		FIXED CHARGES		
1000.	300.	420420.		530.	000	PROPANE TANK RENTAL		
1000.	300.	420421	FIRE STATIONS IMPROVEMENTS					
1000.	300.	420421.		900		CAPITAL OUTLAY		
1000.	300.	420430	PERSONNEL TRAINING					
1000.	300.	420430.		100		PERSONAL SERVICES		
1000.	300.	420430.		110.	000	SALARIES AND WAGES		
1000.	300.	420430.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	300.	420430.		120.	000	OVERTIME		
1000.	300.	420430.		130.	000	OTHER		
1000.	300.	420430.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	300.	420430.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	300.	420430.		200		SUPPLIES		
1000.	300.	420430.		210.	000	OFFICE SUPPLIES		
1000.	300.	420430.		220.	000	OPERATING SUPPLIES		
1000.	300.	420430.		230.	000	REPAIR/MAINTENANCE		
1000.	300.	420430.		300		PURCHASED SERVICES		
1000.	300.	420430.		320.	000	PRINTING & DUPLICATING		
1000.	300.	420430.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	300.	420430.		370.	000	TRAVEL		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	300.	420430.		380.	000	TRAINING		
1000.	300.	420440			FIRE PREVENTION			
1000.	300.	420440.		100		PERSONAL SERVICES		
1000.	300.	420440.		110.	000	SALARIES AND WAGES		
1000.	300.	420440.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	300.	420440.		120.	000	OVERTIME		
1000.	300.	420440.		130.	000	OTHER		
1000.	300.	420440.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	300.	420440.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	300.	420440.		200		SUPPLIES		
1000.	300.	420440.		210.	000	OFFICE SUPPLIES		
1000.	300.	420440.		220.	000	OPERATING SUPPLIES		
1000.	300.	420440.		230.	000	REPAIR/MAINTENANCE		
1000.	300.	420440.		300		PURCHASED SERVICES		
1000.	300.	420440.		320.	000	PRINTING & DUPLICATING		
1000.	300.	420440.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	300.	420440.		360.	000	REPAIR & MAINTENANCE		
1000.	300.	420440.		370.	000	TRAVEL		
1000.	300.	420440.		380.	000	TRAINING		
1000.	300.	420450			FIRE GRANTS			
1000.	300.	420450.		300		PURCHASED SERVICES		
1000.	300.	420455			EMS			
1000.	300.	420455.		100		PERSONAL SERVICES		
1000.	300.	420455.		110.	000	SALARIES AND WAGES		
1000.	300.	420455.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	300.	420455.		120.	000	OVERTIME		
1000.	300.	420455.		130.	000	OTHER		
1000.	300.	420455.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	300.	420455.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	300.	420455.		200		SUPPLIES		
1000.	300.	420455.		220.	000	OPERATING SUPPLIES		
1000.	300.	420455.		230.	000	REPAIR/MAINTENANCE		
1000.	300.	420455.		300		PURCHASED SERVICES		
1000.	300.	420455.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	300.	420455.		350.	000	PROFESSIONAL SERVICES		

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	300.	420455.		360.	000	REPAIR & MAINTENANCE		
1000.	300.	420455.		370.	000	TRAVEL		
1000.	300.	420455.		380.	000	TRAINING		
1000.	300.	420455.		390.	000	OTHER PURCHASED SERVICES		
1000.	300.	420460.				OPERATIONS		
1000.	300.	420460.		100		PERSONAL SERVICES		
1000.	300.	420460.		110.	000	SALARIES AND WAGES		
1000.	300.	420460.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	300.	420460.		120.	000	OVERTIME		
1000.	300.	420460.		121.	000	OUTSIDE HIRE OVERTIME		
1000.	300.	420460.		130.	000	OTHER		
1000.	300.	420460.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	300.	420460.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	300.	420460.		200		SUPPLIES		
1000.	300.	420460.		220.	000	OPERATING SUPPLIES		
1000.	300.	420460.		230.	000	REPAIR/MAINTENANCE		
1000.	300.	420460.		231.	000	GASOLINE		
1000.	300.	420460.		300		PURCHASED SERVICES		
1000.	300.	420460.		320.	000	PRINTING & DUPLICATING		
1000.	300.	420460.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	300.	420460.		350.	000	PROFESSIONAL SERVICES		
1000.	300.	420460.		360.	000	REPAIR & MAINTENANCE		
1000.	300.	420460.		370.	000	TRAVEL		
1000.	300.	420460.		380.	000	TRAINING		
1000.	300.	420460.		390.	000	OTHER PURCHASED SERVICES		
1000.	300.	420460.		900		CAPITAL OUTLAY		
1000.	300.	420490.				MAINTENANCE		
1000.	300.	420490.		100		PERSONAL SERVICES		
1000.	300.	420490.		110.	000	SALARIES AND WAGES		
1000.	300.	420490.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	300.	420490.		120.	000	OVERTIME		
1000.	300.	420490.		130.	000	OTHER		
1000.	300.	420490.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	300.	420490.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	300.	420490.		200		SUPPLIES		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	300.	420490.		210. 000	OFFICE SUPPLIES			
1000.	300.	420490.		230. 000	REPAIR/MAINTENANCE			
1000.	300.	420490.		300	PURCHASED SERVICES			
1000.	300.	420490.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
1000.	300.	420490.		360. 000	REPAIR & MAINTENANCE			
1000.	300.	420490.		370. 000	TRAVEL			
1000.	300.	420490.		380. 000	TRAINING			
1000.	300.	429000.			PUBLIC SAFETY ONETIME EXPENSES			
1000.	300.	429000.		200	SUPPLIES			
1000.	300.	429000.		220. 000	OPERATING SUPPLIES			
1000.	300.	429000.		300	PURCHASED SERVICES			
1000.	300.	429000.		900	CAPITAL OUTLAY			
	321.				FLEET MAINTENANCE			
1000.	321.	411810.			ADMINISTRATION			
1000.	321.	411810.		100	PERSONAL SERVICES			
1000.	321.	431310.			ADMINISTRATION			
1000.	321.	431310.		100	PERSONAL SERVICES			
1000.	321.	431310.		110. 000	SALARIES AND WAGES			
1000.	321.	431310.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	321.	431310.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	321.	431310.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	321.	431310.		200	SUPPLIES			
1000.	321.	431310.		210. 000	OFFICE SUPPLIES			
1000.	321.	431310.		220. 000	OPERATING SUPPLIES			
1000.	321.	431310.		300	PURCHASED SERVICES			
1000.	321.	431310.		310. 000	COMMUNICATIONS			
1000.	321.	431310.		320. 000	PRINTING & DUPLICATING			
1000.	321.	431310.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
1000.	321.	431310.		344. 000	TELEPHONE SERVICE			
1000.	321.	431310.		800	OTHER OBJECTS			
1000.	321.	431330.			EQUIPMENT MAINTENANCE			
1000.	321.	431330.		100	PERSONAL SERVICES			
1000.	321.	431330.		110. 000	SALARIES AND WAGES			
1000.	321.	431330.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	321.	431330.		120. 000	OVERTIME			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	321.	431330.		130.	000	OTHER		
1000.	321.	431330.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	321.	431330.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	321.	431330.		200		SUPPLIES		
1000.	321.	431330.		220.	000	OPERATING SUPPLIES		
1000.	321.	431330.		230.	000	REPAIR/MAINTENANCE		
1000.	321.	431330.		231.	000	GASOLINE		
1000.	321.	431330.		240.	000	OTHER SUPPLIES		
1000.	321.	431330.		300		PURCHASED SERVICES		
1000.	321.	431330.		320.	000	PRINTING & DUPLICATING		
1000.	321.	431330.		350.	000	PROFESSIONAL SERVICES		
1000.	321.	431330.		360.	000	REPAIR & MAINTENANCE		
1000.	321.	431330.		370.	000	TRAVEL		
1000.	321.	431330.		380.	000	TRAINING		
1000.	321.	431330.		900		CAPITAL OUTLAY		
	340	CEMETERY						
1000.	340.	430910	ADMINISTRATION					
1000.	340.	430910.		100		PERSONAL SERVICES		
1000.	340.	430910.		110.	000	SALARIES AND WAGES		
1000.	340.	430910.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
1000.	340.	430910.		120.	000	OVERTIME		
1000.	340.	430910.		140.	000	EMPLOYER CONTRIBUTIONS		
1000.	340.	430910.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1000.	340.	430910.		200		SUPPLIES		
1000.	340.	430910.		210.	000	OFFICE SUPPLIES		
1000.	340.	430910.		300		PURCHASED SERVICES		
1000.	340.	430910.		310.	000	COMMUNICATIONS		
1000.	340.	430910.		320.	000	PRINTING & DUPLICATING		
1000.	340.	430910.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1000.	340.	430910.		344.	000	TELEPHONE SERVICE		
1000.	340.	430910.		350.	000	PROFESSIONAL SERVICES		
1000.	340.	430910.		370.	000	TRAVEL		
1000.	340.	430910.		380.	000	TRAINING		
1000.	340.	430910.		800		OTHER OBJECTS		
1000.	340.	430910.		900		CAPITAL OUTLAY		

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	340.	430920	FACILITIES					
1000.	340.	430920.	100		PERSONAL SERVICES			
1000.	340.	430920.	110. 000		SALARIES AND WAGES			
1000.	340.	430920.	115. 000		SALARIES/HEALTH INSURANCE BENEFIT			
1000.	340.	430920.	120. 000		OVERTIME			
1000.	340.	430920.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	340.	430920.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
1000.	340.	430920.	200		SUPPLIES			
1000.	340.	430920.	220. 000		OPERATING SUPPLIES			
1000.	340.	430920.	230. 000		REPAIR/MAINTENANCE			
1000.	340.	430920.	300		PURCHASED SERVICES			
1000.	340.	430920.	341. 000		ELECTRICITY & NATURAL GAS			
1000.	340.	430920.	343. 000		WATER CHARGES			
1000.	340.	430920.	345. 000		GARBAGE			
1000.	340.	430920.	350. 000		PROFESSIONAL SERVICES			
1000.	340.	430920.	360. 000		REPAIR & MAINTENANCE			
1000.	340.	430920.	400		BUILDING MATERIALS			
1000.	340.	430920.	900		CAPITAL OUTLAY			
1000.	340.	430930	GROUND MAINTENANCE					
1000.	340.	430930.	100		PERSONAL SERVICES			
1000.	340.	430930.	110. 000		SALARIES AND WAGES			
1000.	340.	430930.	115. 000		SALARIES/HEALTH INSURANCE BENEFIT			
1000.	340.	430930.	120. 000		OVERTIME			
1000.	340.	430930.	140. 000		EMPLOYER CONTRIBUTIONS			
1000.	340.	430930.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
1000.	340.	430930.	200		SUPPLIES			
1000.	340.	430930.	220. 000		OPERATING SUPPLIES			
1000.	340.	430930.	230. 000		REPAIR/MAINTENANCE			
1000.	340.	430930.	231. 000		GASOLINE			
1000.	340.	430930.	300		PURCHASED SERVICES			
1000.	340.	430930.	341. 000		ELECTRICITY & NATURAL GAS			
1000.	340.	430930.	345. 000		GARBAGE			
1000.	340.	430930.	350. 000		PROFESSIONAL SERVICES			
1000.	340.	430930.	360. 000		REPAIR & MAINTENANCE			
1000.	340.	430930.	380. 000		TRAINING			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	340.	430930.		400	BUILDING MATERIALS			
1000.	340.	430930.		500	FIXED CHARGES			
1000.	340.	430930.		530. 000	RENT			
1000.	340.	430930.		700	GRANTS & CONTRIBUTIONS			
1000.	340.	430930.		900	CAPITAL OUTLAY			
1000.	340.	430940	BURIALS					
1000.	340.	430940.		100	PERSONAL SERVICES			
1000.	340.	430940.		110. 000	SALARIES AND WAGES			
1000.	340.	430940.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
1000.	340.	430940.		120. 000	OVERTIME			
1000.	340.	430940.		140. 000	EMPLOYER CONTRIBUTIONS			
1000.	340.	430940.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1000.	340.	430940.		200	SUPPLIES			
1000.	340.	430940.		220. 000	OPERATING SUPPLIES			
1000.	340.	430940.		250. 000	SUPPLIES FOR RESALE			
1000.	340.	430940.		300	PURCHASED SERVICES			
1000.	340.	430940.		400	BUILDING MATERIALS			
1000.	340.	430940.		800	OTHER OBJECTS			
1000.	340.	430940.		900	CAPITAL OUTLAY			
1000.	340.	439000	PUBLIC WORKS ONETIME EXPENSES					
1000.	340.	439000.		300	PURCHASED SERVICES			
	390	NON-DEPARTMENTAL						
1000.	390.	410000	GENERAL GOVERNMENT					
1000.	390.	410000.		200	SUPPLIES			
1000.	390.	410550	ACCOUNTING					
1000.	390.	410550.		500	FIXED CHARGES			
1000.	390.	410550.		500. 000	FIXED CHARGES			
1000.	390.	410551	PAYROLL SERVICES					
1000.	390.	410551.		100	PERSONAL SERVICES			
1000.	390.	410553	RESERVE FOR SKILL COMP BASE PAY (SCBP)					
1000.	390.	410553.		100	PERSONAL SERVICES			
1000.	390.	410553.		110. 000	SALARIES AND WAGES			
1000.	390.	410554	RESERVE FOR SALARY INCREASE					
1000.	390.	410554.		100	PERSONAL SERVICES			
1000.	390.	410554.		110. 000	SALARIES AND WAGES			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	390.	410554.		140.	000 EMPLOYER CONTRIBUTIONS			
1000.	390.	410555			TERMINATION PAY			
1000.	390.	410555.		100	PERSONAL SERVICES			
1000.	390.	410555.		120.	000 TERMINATION PAY			
1000.	390.	411860			SPECIAL IMPROVEMENT ASSESSMENTS			
1000.	390.	411860.		500	FIXED CHARGES			
1000.	390.	411860.		500.	000 SID ASSESSMENTS-FIXED CHARGES			
1000.	390.	419000			GENERAL GOV'T ONETIME EXPENDITURES			
1000.	390.	419000.		300	PURCHASED SERVICES			
1000.	390.	419000.		350.	000 PROFESSIONAL SERVICES			
1000.	390.	419000.		800	OTHER OBJECTS			
1000.	390.	420500			PROTECTIVE INSPECTIONS			
1000.	390.	420500.		500	FIXED CHARGES			
1000.	390.	420500.		500.	000 BLDG DEPT REIMB FOR GENERAL FUND TIME			
1000.	390.	440190			HEALTH DEPT CONTRIBUTIONS			
1000.	390.	440190.		700	GRANTS & CONTRIBUTIONS			
1000.	390.	440190.		700.	000 HEALTH DEPT CONTRIBUTIONS			
1000.	390.	440600			ANIMAL CONTROL SERVICES			
1000.	390.	440600.		700	GRANTS & CONTRIBUTIONS			
1000.	390.	440600.		700.	000 ANIMAL CONTROL TRANSFER			
1000.	390.	490500			DEBT PAYMENTS			
1000.	390.	490500.		600	DEBT SERVICE			
1000.	390.	490504			OPERATING EQUIPMENT DEBT SERVICE			
1000.	390.	490504.		600	DEBT SERVICE			
1000.	390.	490504.		610.	000 OPERATING EQUIP DEBT SVS-PRINCIPAL			
1000.	390.	490504.		620.	000 OPERATING EQUIP DEBT SVS-INTEREST			
1000.	390.	490505			ACCELA LOAN DEBT SERVICE			
1000.	390.	490505.		600	DEBT SERVICE			
1000.	390.	490505.		610.	000 ACCELA/PRINCIPAL			
1000.	390.	490505.		620.	000 INTEREST / SERVICE FEES			
1000.	390.	510110			MERCHANT SERVICES			
1000.	390.	510110.		500	FIXED CHARGES			
1000.	390.	510110.		500.	000 FIXED CHARGES			
1000.	390.	510250			REIMBURSABLE LOSSES			
1000.	390.	510250.		200	SUPPLIES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	390.	510250.		230.	000	REIMBURSEABLE LOSSES-REPAIR/MAINTENANCE		
1000.	390.	510250.		300		PURCHASED SERVICES		
1000.	390.	510300	CONTINGENCY					
1000.	390.	510300.		300		PURCHASED SERVICES		
1000.	390.	510300.		500		FIXED CHARGES		
1000.	390.	510300.		800		OTHER OBJECTS		
1000.	390.	510300.		845.	000	CONTINGENCY		
1000.	390.	510301	EMERGENCY RESPONSE OVERTIME					
1000.	390.	510301.		800		OTHER OBJECTS		
1000.	390.	510301.		845.	000	EMERGENCY RESPONSE		
1000.	390.	510303	VEHICLE TRANSFERS					
1000.	390.	510303.		900		CAPITAL OUTLAY		
1000.	390.	510304	RESERVE-INSURANCE PREMIUM SAVINGS					
1000.	390.	510304.		500		FIXED CHARGES		
1000.	390.	510305	BASELINE CUTS/CONTINGENCY					
1000.	390.	510305.		300		PURCHASED SERVICES		
1000.	390.	510305.		800		OTHER OBJECTS		
1000.	390.	510311	BASELINE CUTS					
1000.	390.	510311.		800		OTHER OBJECTS		
1000.	390.	510330	COMPREHENSIVE LIABILITY INSURANCE					
1000.	390.	510330.		300		PURCHASED SERVICES		
1000.	390.	510330.		500		FIXED CHARGES		
1000.	390.	510330.		500.	000	COMPREHENSIVE INSURANCE-FIXED		
1000.	390.	521000	INTERFUND OPERATING TRANSFERS					
1000.	390.	521000.		800		OTHER OBJECTS		
1000.	390.	521001	TRANSFER TO CIP					
1000.	390.	521001.		500		FIXED CHARGES		
1000.	390.	521001.		500.	000	FIXED CHARGES		
1000.	390.	521001.		800		OTHER OBJECTS		
1000.	390.	521001.		820.	000	TRANSFERS TO CIP		
1000.	390.	521006	HEALTH INSURANCE TRANSFER					
1000.	390.	521006.		800		OTHER OBJECTS		
1000.	390.	521006.		820.	000	HEALTH INSURANCE TRANSFER		
1000.	390.	521008	TRANSFERS TO PARK DISTRICT 1					
1000.	390.	521008.		800		OTHER OBJECTS		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1000.	390.	521008.		820.	000	TRANSFERS TO OTHER FUNDS		
1211	PARK ACQUISITION & DEVELOPMENT							
	370	PARKS & RECREATION						
1211.	370.	460433	PARK AREAS					
1211.	370.	460433.		200		SUPPLIES		
1211.	370.	460433.		300		PURCHASED SERVICES		
1211.	370.	460510	PARK ACQUISITION & DEV					
1211.	370.	460510.		200		SUPPLIES		
1211.	370.	460510.		220.	000	OPERATING SUPPLIES		
1211.	370.	460510.		300		PURCHASED SERVICES		
1211.	370.	460510.		350.	000	PROFESSIONAL SERVICES		
1211.	370.	460510.		390.	000	OTHER PURCHASED SERVICES		
1211.	370.	460510.		800		OTHER OBJECTS		
1211.	370.	460510.		900		CAPITAL OUTLAY		
1211.	370.	460510.		930.	000	IMPROVEMENTS		
1211.	370.	460510.		940.	000	MACHINERY & EQUIPMENT		
1211.	370.	510110	MERCHANT SERVICES					
1211.	370.	510110.		500		FIXED CHARGES		
1212	PARK ENTERPRISE FUND							
	370	PARKS & RECREATION						
1212.	370.	460433	PARK AREAS					
1212.	370.	460433.		200		SUPPLIES		
1212.	370.	460433.		300		PURCHASED SERVICES		
1212.	370.	460443	TRAINING					
1212.	370.	460443.		200		SUPPLIES		
1212.	370.	460510	PARK ACQUISITION & DEV					
1212.	370.	460510.		200		SUPPLIES		
1212.	370.	460511	PARK ENTERPRISE					
1212.	370.	460511.		200		SUPPLIES		
1212.	370.	460511.		220.	000	OPERATING SUPPLIES		
1212.	370.	460511.		230.	000	REPAIR/MAINTENANCE		
1212.	370.	460511.		300		PURCHASED SERVICES		
1212.	370.	460511.		350.	000	PROFESSIONAL SERVICES		
1212.	370.	460511.		390.	000	OTHER PURCHASED SERVICES		
1212.	370.	460511.		800		OTHER OBJECTS		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1212.	370.	460511.		900				CAPITAL OUTLAY
1212.	370.	460511.		930.	000			IMPROVEMENTS
1212.	370.	460511.		940.	000			MACHINERY & EQUIPMENT
1212.	370.		510110		MERCHANT SERVICES			
1212.	370.	510110.		500				FIXED CHARGES
1216	PARKS & REC TRAILS, DEV							
	370		PARKS & RECREATION					
1216.	370.		460411		IMPROVEMENTS & ACQUISITIONS			
1216.	370.	460411.		100				PERSONAL SERVICES
1216.	370.	460411.		200				SUPPLIES
1216.	370.	460411.		300				PURCHASED SERVICES
1216.	370.	460411.		350.	000			PROFESSIONAL SERVICES
1216.	370.	460411.		800				OTHER OBJECTS
1216.	370.	460411.		900				CAPITAL OUTLAY
1216.	370.	460411.		930.	000			IMPROVEMENTS
1216.	370.	460411.		930.	181			SYRINGA PARK
1216.	370.		460439		URBAN FORESTRY \ GREENWAY & HORTICULTURE			
1216.	370.	460439.		200				SUPPLIES
1216.	370.	460439.		220.	000			OPERATING SUPPLIES
1216.	370.	460439.		230.	000			REPAIR/MAINTENANCE
1216.	370.	460439.		300				PURCHASED SERVICES
1216.	370.	460439.		350.	000			PROFESSIONAL SERVICES
1216.	370.	460439.		900				CAPITAL OUTLAY
1216.	370.	460439.		930.	000			IMPROVEMENTS
1216.	370.		460441		PARKS & RECREATION MISCELLANEOUS			
1216.	370.	460441.		100				PERSONAL SERVICES
1216.	370.	460441.		200				SUPPLIES
1216.	370.	460441.		220.	000			OPERATING SUPPLIES
1216.	370.	460441.		230.	000			REPAIR/MAINTENANCE
1216.	370.	460441.		240.	000			OTHER SUPPLIES
1216.	370.	460441.		300				PURCHASED SERVICES
1216.	370.	460441.		350.	000			PROFESSIONAL SERVICES
1216.	370.	460441.		360.	000			REPAIR & MAINTENANCE
1216.	370.	460441.		390.	000			OTHER PURCHASED SERVICES
1216.	370.	460441.		800				OTHER OBJECTS

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1216.	370.	460441.		900				CAPITAL OUTLAY
1216.	370.	460441.		930.	000			IMPROVEMENTS
1216.	370.			460470	RECREATION MORE PROGRAM			
1216.	370.	460470.		100				PERSONAL SERVICES
1216.	370.	460470.		200				SUPPLIES
1216.	370.	460470.		220.	000			MORE/OPERATING SUPPLIES
1216.	370.	460470.		230.	000			MORE/REPAI & MAINTENANCE
1216.	370.	460470.		300				PURCHASED SERVICES
1216.	370.	460470.		350.	000			MORE/PROFESSIONAL SERVICES
1216.	370.	460470.		390.	000			OTHER PURCHASED SERVICES
1216.	370.	460470.		800				OTHER OBJECTS
1216.	370.			460471	SPORTS & WELLNESS			
1216.	370.	460471.		100				PERSONAL SERVICES
1216.	370.	460471.		200				SUPPLIES
1216.	370.	460471.		220.	000			REC ADULT/OPERATING SUPPLIES
1216.	370.	460471.		300				PURCHASED SERVICES
1216.	370.	460471.		800				OTHER OBJECTS
1216.	370.	460471.		900				CAPITAL OUTLAY
1216.	370.			460473	RECREATION SPECIAL EVENTS			
1216.	370.	460473.		100				PERSONAL SERVICES
1216.	370.	460473.		200				SUPPLIES
1216.	370.	460473.		220.	000			OPERATING SUPPLIES
1216.	370.	460473.		230.	000			REPAIR/MAINTENANCE
1216.	370.	460473.		300				PURCHASED SERVICES
1216.	370.	460473.		350.	000			PROFESSIONAL SERVICES
1216.	370.	460473.		390.	000			OTHER PURCHASED SERVICES
1216.	370.	460473.		700				GRANTS & CONTRIBUTIONS
1216.	370.	460473.		800				OTHER OBJECTS
1216.	370.	460473.		900				CAPITAL OUTLAY
1216.	370.			460476	SCHOLARSHIP			
1216.	370.	460476.		100				PERSONAL SERVICES
1216.	370.	460476.		200				SUPPLIES
1216.	370.	460476.		300				PURCHASED SERVICES
1216.	370.	460476.		800				OTHER OBJECTS
1216.	370.	460476.		845.	000			CONTINGENCY

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1216.	370.	460476.		900				CAPITAL OUTLAY
1216.	370.	460484.			CONSERVATION LANDS			
1216.	370.	460484.		100				PERSONAL SERVICES
1216.	370.	460484.		200				SUPPLIES
1216.	370.	460484.		220.	000			OPERATING SUPPLIES
1216.	370.	460484.		230.	000			REPAIR/MAINTENANCE
1216.	370.	460484.		300				PURCHASED SERVICES
1216.	370.	460484.		350.	000			PROFESSIONAL SERVICES
1216.	370.	460484.		370.	000			TRAVEL
1216.	370.	460484.		380.	000			TRAINING
1216.	370.	460484.		800				OTHER OBJECTS
1216.	370.	460484.		900				CAPITAL OUTLAY
1216.	370.	460484.		930.	000			IMPROVEMENTS
1216.	370.	460500.			PARKS MAINTENANCE CONTRACTS			
1216.	370.	460500.		200				SUPPLIES
1216.	370.	460500.		220.	000			OPERATING SUPPLIES
1216.	370.	460500.		300				PURCHASED SERVICES
1216.	370.	460500.		350.	000			PROFESSIONAL SERVICES
1216.	370.	460501.			DEVELOPED PARKS			
1216.	370.	460501.		100				PERSONAL SERVICES
1216.	370.	460501.		200				SUPPLIES
1216.	370.	460501.		220.	000			OPERATING SUPPLIES
1216.	370.	460501.		300				PURCHASED SERVICES
1216.	370.	460501.		350.	000			PROFESSIONAL SERVICES
1216.	370.	460501.		800				OTHER OBJECTS
1216.	370.	460501.		900				CAPITAL OUTLAY
1216.	370.	460501.		920.	000			BUILDINGS
1216.	370.	460501.		930.	000			IMPROVEMENTS
1217					PARKS CITY LIFE GYM LEASE			
	370				PARKS & RECREATION			
1217.	370.	460440.			CITY LIFE GYM LEASE			
1217.	370.	460440.		100				PERSONAL SERVICES
1217.	370.	460440.		200				SUPPLIES
1217.	370.	460440.		220.	000			OPERATING SUPPLIES
1217.	370.	460440.		230.	000			REPAIR/MAINTENANCE

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1217.	370.	460440.		300				PURCHASED SERVICES
1217.	370.	460440.		320.	000			PRINTING & DUPLICATING
1217.	370.	460440.		330.	000			PUBLICITY SUBSCRIPTIONS & DUES
1217.	370.	460440.		350.	000			PROFESSIONAL SERVICES
1217.	370.	460440.		500				FIXED CHARGES
1217.	370.	460440.		500.	000			LEASE/FIXED CHARGES
1217.	370.	460440.		530.	000			RENT
1217.	370.	460440.		900				CAPITAL OUTLAY
1217.	370.		510110		MERCHANT SERVICES			
1217.	370.	510110.		500				FIXED CHARGES
1218	ALL ABILITIES PLAYGROUND							
	370	PARKS & RECREATION						
1218.	370.		460444		PLAYGROUNDS			
1218.	370.	460444.		300				PURCHASED SERVICES
1218.	370.	460444.		900				CAPITAL OUTLAY
1218.	370.		510110		MERCHANT SERVICES			
1218.	370.	510110.		500				FIXED CHARGES
1219	FT MISSOULA REGIONAL PARK							
	370	PARKS & RECREATION						
1219.	370.		460401		CONSTRUCTION			
1219.	370.	460401.		100				PERSONAL SERVICES
1219.	370.	460401.		141.	000			STATE RETIREMENT CONTRIBUTIONS
1219.	370.	460401.		900				CAPITAL OUTLAY
1219.	370.	460401.		930.	000			IMPROVEMENTS
1219.	370.		460441		RECREATION			
1219.	370.	460441.		100				PERSONAL SERVICES
1219.	370.	460441.		110.	000			SALARIES AND WAGES
1219.	370.	460441.		120.	000			OVERTIME
1219.	370.	460441.		140.	000			EMPLOYER CONTRIBUTIONS
1219.	370.	460441.		141.	000			STATE RETIREMENT CONTRIBUTIONS
1219.	370.	460441.		200				SUPPLIES
1219.	370.	460441.		210.	000			OFFICE SUPPLIES
1219.	370.	460441.		220.	000			OPERATING SUPPLIES
1219.	370.	460441.		300				PURCHASED SERVICES
1219.	370.	460441.		310.	000			COMMUNICATIONS

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1219.	370.	460441.		320.	000	PRINTING & DUPLICATING		
1219.	370.	460441.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
1219.	370.	460441.		340.	000	WASTEWATER		
1219.	370.	460441.		341.	000	ELECTRICITY & NATURAL GAS		
1219.	370.	460441.		343.	000	WATER CHARGES		
1219.	370.	460441.		344.	000	TELEPHONE SERVICE		
1219.	370.	460441.		345.	000	GARBAGE		
1219.	370.	460441.		350.	000	PROFESSIONAL SERVICES		
1219.	370.	460441.		380.	000	TRAINING		
1219.	370.	460441.		500		FIXED CHARGES		
1219.	370.	460441.		500.	000	FIXED CHARGES		
1219.	370.	460441.		900		CAPITAL OUTLAY		
1219.	370.	460441.		930.	000	IMPROVEMENTS		
1219.	370.	460473	RECREATION			SPECIAL EVENTS		
1219.	370.	460473.		100		PERSONAL SERVICES		
1219.	370.	460473.		110.	000	SALARIES AND WAGES		
1219.	370.	460473.		140.	000	EMPLOYER CONTRIBUTIONS		
1219.	370.	460473.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1219.	370.	460473.		200		SUPPLIES		
1219.	370.	460473.		220.	000	OPERATING SUPPLIES		
1219.	370.	460473.		300		PURCHASED SERVICES		
1219.	370.	460473.		350.	000	PROFESSIONAL SERVICES		
1219.	370.	460473.		390.	000	OTHER PURCHASED SERVICES		
1219.	370.	460477	CONCESSIONS					
1219.	370.	460477.		100		PERSONAL SERVICES		
1219.	370.	460477.		110.	000	SALARIES AND WAGES		
1219.	370.	460477.		140.	000	EMPLOYER CONTRIBUTIONS		
1219.	370.	460477.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
1219.	370.	460477.		200		SUPPLIES		
1219.	370.	460477.		220.	000	OPERATING SUPPLIES		
1219.	370.	460477.		300		PURCHASED SERVICES		
1219.	370.	460477.		350.	000	PROFESSIONAL SERVICES		
1219.	370.	460477.		390.	000	OTHER PURCHASED SERVICES		
1219.	370.	460554	CULTURE & RECREATION			SALARY RESERVE		
1219.	370.	460554.		100		PERSONAL SERVICES		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1219.	370.	460554.		110. 000	SALARIES AND WAGES			
1219.	370.	460554.		140. 000	EMPLOYER CONTRIBUTIONS			
1219.	370.	490504	DEBT SERVICE					
1219.	370.	490504.		600	DEBT SERVICE			
1219.	370.	490504.		610. 000	PRINCIPAL			
1219.	370.	490504.		620. 000	INTEREST / SERVICE FEES			
1219.	370.	510110	MERCHANT SERVICES					
1219.	370.	510110.		500	FIXED CHARGES			
1219.	370.	521008	TRANSFERS TO PARK DISTRICT 1					
1219.	370.	521008.		800	OTHER OBJECTS			
1221	FMRP - MAINTENANCE							
	370	PARKS & RECREATION						
1221.	370.	460503	SPORTS FACILITIES MAINTENANCE					
1221.	370.	460503.		100	PERSONAL SERVICES			
1221.	370.	460503.		110. 000	SALARIES AND WAGES			
1221.	370.	460503.		120. 000	OVERTIME			
1221.	370.	460503.		140. 000	EMPLOYER CONTRIBUTIONS			
1221.	370.	460503.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
1221.	370.	460503.		200	SUPPLIES			
1221.	370.	460503.		220. 000	OPERATING SUPPLIES			
1221.	370.	460503.		230. 000	REPAIR/MAINTENANCE			
1221.	370.	460503.		231. 000	GASOLINE			
1221.	370.	460503.		235. 000	VEHICLE REPAIR/MAINTENANCE			
1221.	370.	460503.		300	PURCHASED SERVICES			
1221.	370.	460503.		340. 000	WASTEWATER			
1221.	370.	460503.		341. 000	ELECTRICITY & NATURAL GAS			
1221.	370.	460503.		342. 000	STORM WATER			
1221.	370.	460503.		343. 000	WATER CHARGES			
1221.	370.	460503.		344. 000	TELEPHONE SERVICE			
1221.	370.	460503.		345. 000	GARBAGE			
1221.	370.	460503.		350. 000	PROFESSIONAL SERVICES			
1221.	370.	460503.		360. 000	REPAIR & MAINTENANCE			
1221.	370.	460503.		900	CAPITAL OUTLAY			
1221.	370.	460503.		940. 000	MACHINERY & EQUIPMENT			
1221.	370.	460520	CAPITAL MAINTENANCE & IMPROVEMENTS					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1221.	370.	460520.		900	CAPITAL OUTLAY			
1221.	370.	460554.		100	PERSONAL SERVICES			
1221.	370.	460554.		110. 000	SALARIES AND WAGES			
1221.	370.	460554.		140. 000	EMPLOYER CONTRIBUTIONS			
1225 ALL HAZARDS FUND								
	300	FIRE						
1225.	300.	420460.		100	PERSONAL SERVICES			
1225.	300.	420460.		121. 000	OUTSIDE HIRE OVERTIME			
1225.	300.	420460.		140. 000	EMPLOYER CONTRIBUTIONS			
1225.	300.	420460.		200	SUPPLIES			
1225.	300.	420460.		220. 000	OPERATING SUPPLIES			
1225.	300.	420460.		300	PURCHASED SERVICES			
1225.	300.	420460.		360. 000	REPAIR & MAINTENANCE			
1225.	300.	429000.		200	SUPPLIES			
1225.	300.	429000.		220. 000	OPERATING SUPPLIES			
1225.	300.	429000.		900	CAPITAL OUTLAY			
1225.	300.	429000.		940. 000	MACHINERY & EQUIPMENT			
1241 NICHE FUND								
	340	CEMETERY						
1241.	340.	430920.		900	CAPITAL OUTLAY			
1241.	340.	430921.		900	CAPITAL OUTLAY			
1241.	340.	430930.		500	FIXED CHARGES			
1241.	340.	430930.		500. 000	FIXED CHARGES			
1241.	340.	430930.		800	OTHER OBJECTS			
1241.	340.	430930.		845. 000	CONTINGENCY			
1241.	340.	430930.		900	CAPITAL OUTLAY			
1241.	340.	439000.		900	CAPITAL OUTLAY			
1241.	340.	439000.		930. 000	IMPROVEMENTS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1241.	340.		510110		MERCHANT SERVICES			
1241.	340.		510110.	500	FIXED CHARGES			
1242	CEMETERY CAPITAL RESERVE FUND							
	340	CEMETERY						
1242.	340.		430920		FACILITIES			
1242.	340.		430920.	800	OTHER OBJECTS			
1242.	340.		430920.	845. 000	CONTINGENCY			
1242.	340.		430920.	900	CAPITAL OUTLAY			
1242.	340.		430930		GROUNDS MAINTENANCE			
1242.	340.		430930.	300	PURCHASED SERVICES			
1242.	340.		430930.	900	CAPITAL OUTLAY			
1242.	340.		430930.	930. 000	IMPROVEMENTS			
1242.	340.		430930.	940. 000	MACHINERY & EQUIPMENT			
1242.	340.		439000		PUBLIC WORKS ONETIME EXPENSES			
1242.	340.		439000.	200	SUPPLIES			
1242.	340.		439000.	220. 000	OPERATING SUPPLIES			
1242.	340.		439000.	900	CAPITAL OUTLAY			
1242.	340.		439000.	930. 000	IMPROVEMENTS			
1242.	340.		510110		MERCHANT SERVICES			
1242.	340.		510110.	500	FIXED CHARGES			
1243	CEMETERY MEMORIAL FUND							
	340	CEMETERY						
1243.	340.		430921		CEMETERY MEMORIAL			
1243.	340.		430921.	900	CAPITAL OUTLAY			
1243.	340.		430930		GROUNDS MAINTENANCE			
1243.	340.		430930.	800	OTHER OBJECTS			
1243.	340.		430930.	845. 000	CONTINGENCY			
1243.	340.		430930.	900	CAPITAL OUTLAY			
1243.	340.		439000		PUBLIC WORKS ONETIME EXPENSES			
1243.	340.		439000.	900	CAPITAL OUTLAY			
1243.	340.		439000.	930. 000	IMPROVEMENTS			
1243.	340.		510110		MERCHANT SERVICES			
1243.	340.		510110.	500	FIXED CHARGES			
1251	JOHNSON ST PROPERTY RENTAL							
	246	FACILITY MAINTENANCE DEPARTMENT						

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
1251.	246.		430220		CITY FACILITY UTILITIES			
1251.	246.	430220.		200	SUPPLIES			
1251.	246.	430220.		300	PURCHASED SERVICES			
1251.	246.	430220.		340. 000	WASTEWATER			
1251.	246.	430220.		341. 000	ELECTRICITY & NATURAL GAS			
1251.	246.	430220.		342. 000	STORM WATER			
1251.	246.	430220.		343. 000	WATER CHARGES			
1251.	246.		431350		CITY FACILITY MAINTENANCE			
1251.	246.	431350.		200	SUPPLIES			
1251.	246.	431350.		300	PURCHASED SERVICES			
1251.	246.	431350.		360. 000	REPAIR & MAINTENANCE			
1251.	246.	431350.		500	FIXED CHARGES			
1265	TITLE 1 PROJECTS FUND							
	240	FINANCE						
1265.	240.		411850		ECONOMIC DEVELOPMENT			
1265.	240.	411850.		500	FIXED CHARGES			
1265.	240.	411850.		700	GRANTS & CONTRIBUTIONS			
1265.	240.	411850.		700. 000	GRANTS & CONTRIBUTIONS			
1265.	240.	411850.		800	OTHER OBJECTS			
1265.	240.		470343		MISSOULA HOUSING CORPORATION			
1265.	240.	470343.		700	GRANTS & CONTRIBUTIONS			
1265.	240.		510110		MERCHANT SERVICES			
1265.	240.	510110.		500	FIXED CHARGES			
1396	PROGRAM INCOME REVOLVING LOAN PROGRAM							
	390	NON-DEPARTMENTAL						
1396.	390.		470200		HOUSING REHAB			
1396.	390.	470200.		700	GRANTS & CONTRIBUTIONS			
1396.	390.	470200.		700. 000	RENTAL REHAB GRANTS			
1396.	390.		470401		WORD GRANT			
1396.	390.	470401.		300	PURCHASED SERVICES			
1396.	390.	470401.		800	OTHER OBJECTS			
1396.	390.	470401.		820. 000	TRANSFERS TO OTHER FUNDS			
1396.	390.		510110		MERCHANT SERVICES			
1396.	390.	510110.		500	FIXED CHARGES			
1397	STATE HOME PROGRAM INCOME							

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
		390	NON-DEPARTMENTAL					
1397.	390.	470200	HOUSING REHAB					
1397.	390.	470200.		300	PURCHASED SERVICES			
1397.	390.	470200.		700	GRANTS & CONTRIBUTIONS			
1397.	390.	510110	MERCHANT SERVICES					
1397.	390.	510110.		500	FIXED CHARGES			
		2250	PLANNING FUND					
		250	DEVELOPMENT SERVICES					
2250.	250.	410554	RESERVE FOR SALARY INCREASE					
2250.	250.	410554.		100	PERSONAL SERVICES			
2250.	250.	410554.		110. 000	SALARIES AND WAGES			
2250.	250.	410554.		140. 000	EMPLOYER CONTRIBUTIONS			
2250.	250.	411030	PLANNING					
2250.	250.	411030.		100	PERSONAL SERVICES			
2250.	250.	411030.		110. 000	SALARIES AND WAGES			
2250.	250.	411030.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2250.	250.	411030.		120. 000	OVERTIME			
2250.	250.	411030.		130. 000	OTHER			
2250.	250.	411030.		140. 000	EMPLOYER CONTRIBUTIONS			
2250.	250.	411030.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2250.	250.	411030.		200	SUPPLIES			
2250.	250.	411030.		210. 000	OFFICE SUPPLIES			
2250.	250.	411030.		220. 000	OPERATING SUPPLIES			
2250.	250.	411030.		231. 000	GASOLINE			
2250.	250.	411030.		300	PURCHASED SERVICES			
2250.	250.	411030.		310. 000	COMMUNICATIONS			
2250.	250.	411030.		320. 000	PRINTING & DUPLICATING			
2250.	250.	411030.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2250.	250.	411030.		350. 000	PROFESSIONAL SERVICES			
2250.	250.	411030.		370. 000	TRAVEL			
2250.	250.	411030.		380. 000	TRAINING			
2250.	250.	411030.		500	FIXED CHARGES			
2250.	250.	411030.		500. 000	FIXED CHARGES			
2250.	250.	411030.		700	GRANTS & CONTRIBUTIONS			
2250.	250.	411030.		800	OTHER OBJECTS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2250.	250.		411050		DEVELOPMENT & PERMIT REVIEWS			
2250.	250.		411050.	200	SUPPLIES			
2250.	250.		419000		GENERAL GOV'T ONETIME EXPENDITURES			
2250.	250.		419000.	200	SUPPLIES			
2250.	250.		419000.	300	PURCHASED SERVICES			
2250.	250.		419000.	350.	000	PROFESSIONAL SERVICES		
2250.	250.		430255		BIKE-PED PROGRAM & TRAILS			
2250.	250.		430255.	300	PURCHASED SERVICES			
2250.	250.		460460		HISTORIC PRESERVATION			
2250.	250.		460460.	100	PERSONAL SERVICES			
2250.	250.		460460.	110.	000	SALARIES AND WAGES		
2250.	250.		460460.	140.	000	EMPLOYER CONTRIBUTIONS		
2250.	250.		460460.	141.	000	STATE RETIREMENT CONTRIBUTIONS		
2250.	250.		460460.	200	SUPPLIES			
2250.	250.		460460.	210.	000	OFFICE SUPPLIES		
2250.	250.		460460.	220.	000	OPERATING SUPPLIES		
2250.	250.		460460.	231.	000	GASOLINE		
2250.	250.		460460.	300	PURCHASED SERVICES			
2250.	250.		460460.	310.	000	COMMUNICATIONS		
2250.	250.		460460.	320.	000	PRINTING & DUPLICATING		
2250.	250.		460460.	330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
2250.	250.		460460.	350.	000	PROFESSIONAL SERVICES		
2250.	250.		460460.	370.	000	TRAVEL		
2250.	250.		460460.	380.	000	TRAINING		
2250.	250.		510110		MERCHANT SERVICES			
2250.	250.		510110.	500	FIXED CHARGES			
2250.	250.		510306		SALARY RESERVE			
2250.	250.		510306.	100	PERSONAL SERVICES			
2250.	250.		521000		INTERFUND OPERATING TRANSFERS			
2250.	250.		521000.	800	OTHER OBJECTS			
2260					DISASTER RECOVERY			
			390		NON-DEPARTMENTAL			
2260.	390.		460432		PARK ADMIN			
2260.	390.		460432.	900	CAPITAL OUTLAY			
2260.	390.		460434		GREENWAYS & HORTICULTURE			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2260.	390.	460434.		900				CAPITAL OUTLAY
2260.	390.	460434.		930.	202			TOWER STREET TRAIL RESTORATION
2310 PUBLIC SAFETY INFORMATION SYSTEMS								
		224	INFORMATION TECHNOLOGIES					
2310.	224.		420510	ADMINISTRATION				
2310.	224.	420510.		200				SUPPLIES
2310.	224.	420510.		300				PURCHASED SERVICES
2310.	224.	420510.		800				OTHER OBJECTS
2310.	224.	420510.		900				CAPITAL OUTLAY
2310.	224.		510110	MERCHANT SERVICES				
2310.	224.	510110.		500				FIXED CHARGES
2321 IMPACT FEE FUND								
		390	NON-DEPARTMENTAL					
2321.	390.		410100	COMMUNITY SERVICE IMPACT FEES				
2321.	390.	410100.		800				OTHER OBJECTS
2321.	390.	410100.		900				CAPITAL OUTLAY
2321.	390.		410361	IMPACT FEE STUDY				
2321.	390.	410361.		300				PURCHASED SERVICES
2321.	390.		420100	LAW ENFORCEMENT IMPACT FEES				
2321.	390.	420100.		900				CAPITAL OUTLAY
2321.	390.		420400	FIRE IMPACT FEES				
2321.	390.	420400.		800				OTHER OBJECTS
2321.	390.	420400.		900				CAPITAL OUTLAY
2321.	390.		430230	TRANSPORTATION IMPACT FEE				
2321.	390.	430230.		800				OTHER OBJECTS
2321.	390.	430230.		820.	000			TRANSFERS TO OTHER FUNDS
2321.	390.	430230.		900				CAPITAL OUTLAY
2321.	390.		460400	CULTURE & RECREATION IMPACT FEE				
2321.	390.	460400.		300				PURCHASED SERVICES
2321.	390.	460400.		350.	000			PROFESSIONAL SERVICES
2321.	390.	460400.		900				CAPITAL OUTLAY
2321.	390.		510000	Un-Allocated IFAC Approved Appropriation				
2321.	390.	510000.		800				OTHER OBJECTS
2365 PUBLIC ART FUND								
		220	MAYOR					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2365.	220.		460451 ADMINISTRATION					
2365.	220.	460451.		200	SUPPLIES			
2365.	220.	460451.		300	PURCHASED SERVICES			
2365.	220.	460451.		390. 000	OTHER PURCHASED SERVICES			
2365.	220.		460457 PUBLIC ART					
2365.	220.	460457.		300	PURCHASED SERVICES			
2365.	220.	460457.		350. 000	PROFESSIONAL SERVICES			
2365.	220.	460457.		900	CAPITAL OUTLAY			
2365.	220.		460459 MAINTENANCE					
2365.	220.	460459.		200	SUPPLIES			
2365.	220.	460459.		300	PURCHASED SERVICES			
2365.	220.	460459.		900	CAPITAL OUTLAY			
2365.	220.	460459.		930. 000	IMPROVEMENTS			
2371 EMPLOYEE HEALTH INSURANCE LEVY FUND								
		390	NON-DEPARTMENTAL					
2371.	390.		510110 MERCHANT SERVICES					
2371.	390.	510110.		500	FIXED CHARGES			
2371.	390.		521000 INTERFUND OPERATING TRANSFERS					
2371.	390.	521000.		800	OTHER OBJECTS			
2372 PERMISSIVE MEDICAL LEVY								
		390	NON-DEPARTMENTAL					
2372.	390.		510110 MERCHANT SERVICES					
2372.	390.	510110.		500	FIXED CHARGES			
2372.	390.		521000 INTERFUND OPERATING TRANSFERS					
2372.	390.	521000.		800	OTHER OBJECTS			
2372.	390.	521000.		820. 000	TRANSFERS TO OTHER FUNDS			
2384 OPEN SPACE MILL LEVY								
		370	PARKS & RECREATION					
2384.	370.		460484 CONSERVATION LANDS MGMT					
2384.	370.	460484.		800	OTHER OBJECTS			
2384.	370.	460484.		820. 000	TRANSFERS TO OTHER FUNDS			
		390	NON-DEPARTMENTAL					
2384.	390.		510110 MERCHANT SERVICES					
2384.	390.	510110.		500	FIXED CHARGES			
2384.	390.		521000 INTERFUND OPERATING TRANSFERS					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2384.	390.	521000.		800				OTHER OBJECTS
2389 CABLE TELEVISION FRANCHISE FUND								
	390		NON-DEPARTMENTAL					
2389.	390.		411810		CABLE TV FRANCHISE			
2389.	390.	411810.		300				PURCHASED SERVICES
2389.	390.	411810.		350.	000			PROFESSIONAL SERVICES
2389.	390.	411810.		370.	000			TRAVEL
2389.	390.	411810.		700				GRANTS & CONTRIBUTIONS
2389.	390.	411810.		700.	000			GRANTS & CONTRIBUTIONS
2389.	390.	411810.		800				OTHER OBJECTS
2389.	390.	411810.		820.	000			TRANSFERS TO OTHER FUNDS
2389.	390.	411810.		900				CAPITAL OUTLAY
2389.	390.	411810.		940.	000			MACHINERY & EQUIPMENT
2389.	390.		510110		MERCHANT SERVICES			
2389.	390.	510110.		500				FIXED CHARGES
2390 DRUG FORFEITURE FUND								
	290		POLICE					
2390.	290.		420142		NARCOTICS			
2390.	290.	420142.		100				PERSONAL SERVICES
2390.	290.	420142.		200				SUPPLIES
2390.	290.	420142.		210.	000			OFFICE SUPPLIES
2390.	290.	420142.		220.	000			OPERATING SUPPLIES
2390.	290.	420142.		230.	000			REPAIR/MAINTENANCE
2390.	290.	420142.		300				PURCHASED SERVICES
2390.	290.	420142.		360.	000			REPAIR & MAINTENANCE
2390.	290.	420142.		370.	000			TRAVEL
2390.	290.	420142.		380.	000			TRAINING
2390.	290.	420142.		500				FIXED CHARGES
2390.	290.	420142.		500.	000			FIXED CHARGES
2390.	290.	420142.		700				GRANTS & CONTRIBUTIONS
2390.	290.	420142.		800				OTHER OBJECTS
2390.	290.	420142.		900				CAPITAL OUTLAY
2390.	290.	420142.		940.	000			MACHINERY & EQUIPMENT
2390.	290.		510110		MERCHANT SERVICES			
2390.	290.	510110.		500				FIXED CHARGES

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2394	BUILDING INSPECTION FUND							
		310	BUILDING INSPECTION					
2394.	310.	420500	PROTECTIVE INSPECTIONS					
2394.	310.	420500.	100		PERSONAL SERVICES			
2394.	310.	420500.	110. 000		SALARIES AND WAGES			
2394.	310.	420500.	115. 000		SALARIES/HEALTH INSURANCE BENEFIT			
2394.	310.	420500.	140. 000		EMPLOYER CONTRIBUTIONS			
2394.	310.	420500.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
2394.	310.	420500.	200		SUPPLIES			
2394.	310.	420500.	210. 000		OFFICE SUPPLIES			
2394.	310.	420500.	220. 000		OPERATING SUPPLIES			
2394.	310.	420500.	230. 000		REPAIR/MAINTENANCE			
2394.	310.	420500.	231. 000		GASOLINE			
2394.	310.	420500.	300		PURCHASED SERVICES			
2394.	310.	420500.	310. 000		COMMUNICATIONS			
2394.	310.	420500.	320. 000		PRINTING & DUPLICATING			
2394.	310.	420500.	330. 000		PUBLICITY SUBSCRIPTIONS & DUES			
2394.	310.	420500.	344. 000		TELEPHONE SERVICE			
2394.	310.	420500.	350. 000		PROFESSIONAL SERVICES			
2394.	310.	420500.	360. 000		REPAIR & MAINTENANCE			
2394.	310.	420500.	370. 000		TRAVEL			
2394.	310.	420500.	380. 000		TRAINING			
2394.	310.	420500.	500		FIXED CHARGES			
2394.	310.	420500.	500. 000		FIXED CHARGES			
2394.	310.	420500.	530. 000		RENT			
2394.	310.	420500.	600		DEBT SERVICE			
2394.	310.	420500.	610. 000		PRINCIPAL			
2394.	310.	420500.	620. 000		INTEREST / SERVICE FEES			
2394.	310.	420500.	800		OTHER OBJECTS			
2394.	310.	420500.	900		CAPITAL OUTLAY			
2394.	310.	420500.	940. 000		MACHINERY & EQUIPMENT			
2394.	310.	420554	PUBLIC SAFETY SALARY RESERVE					
2394.	310.	420554.	100		PERSONAL SERVICES			
2394.	310.	420554.	110. 000		SALARIES AND WAGES			
2394.	310.	420554.	140. 000		EMPLOYER CONTRIBUTIONS			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2394.	310.		429000		PUBLIC SAFETY ONETIME EXPENSES			
2394.	310.	429000.		200	SUPPLIES			
2394.	310.	429000.		220. 000	OPERATING SUPPLIES			
2394.	310.	429000.		900	CAPITAL OUTLAY			
2394.	310.	429000.		940. 000	MACHINERY & EQUIPMENT			
2394.	310.		510110		MERCHANT SERVICES			
2394.	310.	510110.		500	FIXED CHARGES			
2394.	310.	510110.		500. 000	FIXED CHARGES			
2394.	310.		510306		SALARY RESERVE			
2394.	310.	510306.		100	PERSONAL SERVICES			
2395	CITY GRANTS & PROGRAM INCOME FUND							
		390	NON-DEPARTMENTAL					
2395.	390.		470200		HOUSING REHAB			
2395.	390.	470200.		700	GRANTS & CONTRIBUTIONS			
2395.	390.	470200.		800	OTHER OBJECTS			
2395.	390.		470210		ADMINISTRATION			
2395.	390.	470210.		300	PURCHASED SERVICES			
2395.	390.	470210.		700	GRANTS & CONTRIBUTIONS			
2395.	390.	470210.		800	OTHER OBJECTS			
2395.	390.		470220		PROPERTY ACQUISITION			
2395.	390.	470220.		300	PURCHASED SERVICES			
2395.	390.		470300		ECONOMIC DEVELOPMENT			
2395.	390.	470300.		700	GRANTS & CONTRIBUTIONS			
2395.	390.		510110		MERCHANT SERVICES			
2395.	390.	510110.		500	FIXED CHARGES			
2399	DANGEROUS BUILDING DEMOLITION & REPAIR F							
		310	BUILDING INSPECTION					
2399.	310.		420510		ADMINISTRATION			
2399.	310.	420510.		800	OTHER OBJECTS			
2399.	310.	420510.		845. 000	CONTINGENCY			
2399.	310.		510110		MERCHANT SERVICES			
2399.	310.	510110.		500	FIXED CHARGES			
2400	STREET LIGHTING ASSESSMENTS FUND							
		280	PUBLIC WORKS ADMINISTRATION					
2400.	280.		430263		STREET LIGHTING			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2400.	280.	430263.		300	PURCHASED SERVICES			
2400.	280.	430263.		341. 000	ELECTRICITY & NATURAL GAS			
2400.	280.	430263.		350. 000	PROFESSIONAL SERVICES			
2400.	280.	510110			MERCHANT SERVICES			
2400.	280.	510110.		500	FIXED CHARGES			
2500 STREET MAINTENANCE ASSESSMENT FUND								
	390		NON-DEPARTMENTAL					
2500.	390.	510110			MERCHANT SERVICES			
2500.	390.	510110.		500	FIXED CHARGES			
2500.	390.	521000			INTERFUND OPERATING TRANSFERS			
2500.	390.	521000.		300	PURCHASED SERVICES			
2500.	390.	521000.		345. 000	GARBAGE			
2500.	390.	521000.		800	OTHER OBJECTS			
2500.	390.	521000.		820. 000	TRANSFERS TO OTHER FUNDS			
2512 ROAD DISTRICT #1								
	280		PUBLIC WORKS ADMINISTRATION					
2512.	280.	430001			CIP CITY HALL ELEVATOR/CYLINDER			
2512.	280.	430001.		900	CAPITAL OUTLAY			
2512.	280.	430100			PUBLIC WORKS ADMINISTRATION			
2512.	280.	430100.		100	PERSONAL SERVICES			
2512.	280.	430100.		110. 000	SALARIES AND WAGES			
2512.	280.	430100.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2512.	280.	430100.		130. 000	OTHER			
2512.	280.	430100.		140. 000	EMPLOYER CONTRIBUTIONS			
2512.	280.	430100.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2512.	280.	430100.		200	SUPPLIES			
2512.	280.	430100.		210. 000	OFFICE SUPPLIES			
2512.	280.	430100.		220. 000	OPERATING SUPPLIES			
2512.	280.	430100.		230. 000	REPAIR/MAINTENANCE			
2512.	280.	430100.		231. 000	GASOLINE			
2512.	280.	430100.		300	PURCHASED SERVICES			
2512.	280.	430100.		310. 000	COMMUNICATIONS			
2512.	280.	430100.		320. 000	PRINTING & DUPLICATING			
2512.	280.	430100.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2512.	280.	430100.		344. 000	TELEPHONE SERVICE			

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2512.	280.	430100.		360. 000	REPAIR & MAINTENANCE			
2512.	280.	430100.		370. 000	TRAVEL			
2512.	280.	430100.		380. 000	TRAINING			
2512.	280.	430100.		500	FIXED CHARGES			
2512.	280.	430100.		500. 000	FIXED CHARGES			
2512.	280.	430100.		800	OTHER OBJECTS			
2512.	280.	430250			REIMBURSABLE SERVICES			
2512.	280.	430250.		200	SUPPLIES			
2512.	280.	430250.		230. 000	REPAIR/MAINTENANCE			
2512.	280.	430250.		300	PURCHASED SERVICES			
2512.	280.	430250.		360. 000	REPAIR & MAINTENANCE			
2512.	280.	430263			STREET LIGHTING			
2512.	280.	430263.		200	SUPPLIES			
2512.	280.	430263.		220. 000	OPERATING SUPPLIES			
2512.	280.	430263.		230. 000	REPAIR/MAINTENANCE			
2512.	280.	430263.		300	PURCHASED SERVICES			
2512.	280.	430263.		341. 000	ELECTRICITY & NATURAL GAS			
2512.	280.	430264			TRAFFIC SIGNAL MAINTENANCE			
2512.	280.	430264.		100	PERSONAL SERVICES			
2512.	280.	430264.		110. 000	SALARIES AND WAGES			
2512.	280.	430264.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2512.	280.	430264.		120. 000	OVERTIME			
2512.	280.	430264.		130. 000	OTHER			
2512.	280.	430264.		140. 000	EMPLOYER CONTRIBUTIONS			
2512.	280.	430264.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2512.	280.	430264.		200	SUPPLIES			
2512.	280.	430264.		210. 000	OFFICE SUPPLIES			
2512.	280.	430264.		220. 000	OPERATING SUPPLIES			
2512.	280.	430264.		230. 000	REPAIR/MAINTENANCE			
2512.	280.	430264.		231. 000	GASOLINE			
2512.	280.	430264.		240. 000	OTHER SUPPLIES			
2512.	280.	430264.		300	PURCHASED SERVICES			
2512.	280.	430264.		341. 000	ELECTRICITY & NATURAL GAS			
2512.	280.	430264.		350. 000	PROFESSIONAL SERVICES			
2512.	280.	430264.		360. 000	REPAIR & MAINTENANCE			

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2512.	280.	430264.		370. 000	TRAVEL			
2512.	280.	430264.		380. 000	TRAINING			
2512.	280.	430265			SIGNING & STRIPING			
2512.	280.	430265.		100	PERSONAL SERVICES			
2512.	280.	430265.		110. 000	SALARIES AND WAGES			
2512.	280.	430265.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2512.	280.	430265.		120. 000	OVERTIME			
2512.	280.	430265.		130. 000	OTHER			
2512.	280.	430265.		140. 000	EMPLOYER CONTRIBUTIONS			
2512.	280.	430265.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2512.	280.	430265.		200	SUPPLIES			
2512.	280.	430265.		210. 000	OFFICE SUPPLIES			
2512.	280.	430265.		220. 000	OPERATING SUPPLIES			
2512.	280.	430265.		230. 000	REPAIR/MAINTENANCE			
2512.	280.	430265.		231. 000	GASOLINE			
2512.	280.	430265.		240. 000	OTHER SUPPLIES			
2512.	280.	430265.		300	PURCHASED SERVICES			
2512.	280.	430265.		344. 000	TELEPHONE SERVICE			
2512.	280.	430265.		345. 000	GARBAGE			
2512.	280.	430265.		350. 000	PROFESSIONAL SERVICES			
2512.	280.	430265.		360. 000	REPAIR & MAINTENANCE			
2512.	280.	430265.		370. 000	TRAVEL			
2512.	280.	430265.		380. 000	TRAINING			
2512.	280.	430270			COMMUNICATIONS MAINTENANCE			
2512.	280.	430270.		100	PERSONAL SERVICES			
2512.	280.	430270.		110. 000	SALARIES AND WAGES			
2512.	280.	430270.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2512.	280.	430270.		120. 000	OVERTIME			
2512.	280.	430270.		130. 000	OTHER			
2512.	280.	430270.		140. 000	EMPLOYER CONTRIBUTIONS			
2512.	280.	430270.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2512.	280.	430270.		200	SUPPLIES			
2512.	280.	430270.		220. 000	OPERATING SUPPLIES			
2512.	280.	430270.		230. 000	REPAIR/MAINTENANCE			
2512.	280.	430270.		231. 000	GASOLINE			

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2512.	280.	430270.		300				PURCHASED SERVICES
2512.	280.	430270.		330. 000				PUBLICITY SUBSCRIPTIONS & DUES
2512.	280.	430270.		341. 000				ELECTRICITY & NATURAL GAS
2512.	280.	430270.		344. 000				TELEPHONE SERVICE
2512.	280.	430270.		350. 000				PROFESSIONAL SERVICES
2512.	280.	430270.		360. 000				REPAIR & MAINTENANCE
2512.	280.		430554		PUBLIC WORKS SALARY RESERVE			
2512.	280.	430554.		100				PERSONAL SERVICES
2512.	280.	430554.		110. 000				SALARIES AND WAGES
2512.	280.	430554.		140. 000				EMPLOYER CONTRIBUTIONS
2512.	280.		439000		PUBLIC WORKS ONETIME EXPENSES			
2512.	280.	439000.		200				SUPPLIES
2512.	280.	439000.		210. 000				OFFICE SUPPLIES
2512.	280.	439000.		300				PURCHASED SERVICES
2512.	280.	439000.		350. 000				PROFESSIONAL SERVICES
2512.	280.		490504		DEBT SERVICE			
2512.	280.	490504.		600				DEBT SERVICE
2512.	280.	490504.		610. 000				PRINCIPAL
2512.	280.	490504.		620. 000				INTEREST / SERVICE FEES
		320	STREET MAINTENANCE					
2512.	320.		430100		PUBLIC WORKS ADMINISTRATION			
2512.	320.	430100.		100				PERSONAL SERVICES
2512.	320.	430100.		141. 000				STATE RETIREMENT CONTRIBUTIONS
2512.	320.		430210		ADMINISTRATION			
2512.	320.	430210.		200				SUPPLIES
2512.	320.	430210.		210. 000				OFFICE SUPPLIES
2512.	320.	430210.		220. 000				OPERATING SUPPLIES
2512.	320.	430210.		300				PURCHASED SERVICES
2512.	320.	430210.		320. 000				PRINTING & DUPLICATING
2512.	320.	430210.		330. 000				PUBLICITY SUBSCRIPTIONS & DUES
2512.	320.	430210.		343. 000				WATER CHARGES
2512.	320.	430210.		344. 000				TELEPHONE SERVICE
2512.	320.	430210.		350. 000				PROFESSIONAL SERVICES
2512.	320.	430210.		370. 000				TRAVEL
2512.	320.	430210.		380. 000				TRAINING

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2512.	320.	430210.		500		FIXED CHARGES		
2512.	320.	430210.		500. 000		FIXED CHARGES		
2512.	320.	430230			STREET RESTORATION			
2512.	320.	430230.		100		PERSONAL SERVICES		
2512.	320.	430230.		110. 000		SALARIES AND WAGES		
2512.	320.	430230.		115. 000		SALARIES/HEALTH INSURANCE BENEFIT		
2512.	320.	430230.		120. 000		OVERTIME		
2512.	320.	430230.		130. 000		OTHER		
2512.	320.	430230.		140. 000		EMPLOYER CONTRIBUTIONS		
2512.	320.	430230.		141. 000		STATE RETIREMENT CONTRIBUTIONS		
2512.	320.	430230.		200		SUPPLIES		
2512.	320.	430230.		230. 000		STREET RESTORATION/MAINT & REPAIR		
2512.	320.	430230.		231. 000		GASOLINE		
2512.	320.	430230.		300		PURCHASED SERVICES		
2512.	320.	430230.		345. 000		GARBAGE		
2512.	320.	430230.		400		BUILDING MATERIALS		
2512.	320.	430230.		400. 000		BUILDING MATERIALS		
2512.	320.	430230.		500		FIXED CHARGES		
2512.	320.	430230.		500. 000		FIXED CHARGES		
2512.	320.	430230.		800		OTHER OBJECTS		
2512.	320.	430230.		900		CAPITAL OUTLAY		
2512.	320.	430231			ENGINEERING			
2512.	320.	430231.		900		CAPITAL OUTLAY		
2512.	320.	430231.		930. 000		IMPROVEMENTS		
2512.	320.	430239			MDT/ MRA ROW IMPROVEMENTS			
2512.	320.	430239.		900		CAPITAL OUTLAY		
2512.	320.	430239.		930. 000		IMPROVEMENTS		
2512.	320.	430240			STREET MAINTENANCE			
2512.	320.	430240.		200		SUPPLIES		
2512.	320.	430241			BaRSSA (Gas Tax)			
2512.	320.	430241.		900		CAPITAL OUTLAY		
2512.	320.	430241.		930. 000		IMPROVEMENTS		
2512.	320.	430251			ICE & SNOW REMOVAL			
2512.	320.	430251.		100		PERSONAL SERVICES		
2512.	320.	430251.		110. 000		SALARIES AND WAGES		

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2512.	320.	430251.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
2512.	320.	430251.		120.	000	OVERTIME		
2512.	320.	430251.		130.	000	OTHER		
2512.	320.	430251.		140.	000	EMPLOYER CONTRIBUTIONS		
2512.	320.	430251.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
2512.	320.	430251.		200		SUPPLIES		
2512.	320.	430251.		220.	000	OPERATING SUPPLIES		
2512.	320.	430251.		230.	000	SNOW/ICE CTRL REPAIR & MAINT		
2512.	320.	430251.		231.	000	GASOLINE		
2512.	320.	430251.		300		PURCHASED SERVICES		
2512.	320.	430251.		360.	000	REPAIR & MAINTENANCE		
2512.	320.	430251.		500		FIXED CHARGES		
2512.	320.	430251.		500.	000	FIXED CHARGES		
2512.	320.	430252	STREET CLEANING					
2512.	320.	430252.		100		PERSONAL SERVICES		
2512.	320.	430252.		110.	000	SALARIES AND WAGES		
2512.	320.	430252.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
2512.	320.	430252.		120.	000	OVERTIME		
2512.	320.	430252.		130.	000	OTHER		
2512.	320.	430252.		140.	000	EMPLOYER CONTRIBUTIONS		
2512.	320.	430252.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
2512.	320.	430252.		200		SUPPLIES		
2512.	320.	430252.		220.	000	STREET CLEANING/OPERATING SUPPLIES		
2512.	320.	430252.		230.	000	STREET CLEANING/REPAIR & MAINT		
2512.	320.	430252.		231.	000	GASOLINE		
2512.	320.	430252.		300		PURCHASED SERVICES		
2512.	320.	430252.		360.	000	REPAIR & MAINTENANCE		
2512.	320.	430252.		500		FIXED CHARGES		
2512.	320.	430252.		500.	000	FIXED CHARGES		
2512.	320.	430270	COMMUNICATIONS MAINTENANCE					
2512.	320.	430270.		900		CAPITAL OUTLAY		
2512.	320.	431200	FLOOD CONTROL					
2512.	320.	431200.		400		BUILDING MATERIALS		
2512.	320.	431200.		400.	000	BUILDING MATERIALS		
2512.	320.	439000	PUBLIC WORKS ONETIME EXPENSES					

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2512.	320.	439000.		800				OTHER OBJECTS
2512.	320.	490504.			DEBT SERVICE			
2512.	320.	490504.		600				DEBT SERVICE
2512.	320.	490504.		610. 000				PRINCIPAL
2512.	320.	490504.		620. 000				INTEREST / SERVICE FEES
		390	NON-DEPARTMENTAL					
2512.	390.	510200			JUDGMENT & LOSSES			
2512.	390.	510200.		500				FIXED CHARGES
2513	PARK DISTRICT #1							
		370	PARKS & RECREATION					
2513.	370.	460400			PARKS ASSET MANAGEMENT			
2513.	370.	460400.		300				PURCHASED SERVICES
2513.	370.	460400.		350. 000				RENOVATE REPLACE IMPROVE
2513.	370.	460400.		900				CAPITAL OUTLAY
2513.	370.	460400.		930. 000				RENOVATE REPLACE IMPROVE
2513.	370.	460400.		940. 000				MACHINERY & EQUIPMENT
2513.	370.	460410			PARKS & RECREATION ADMINISTRATION			
2513.	370.	460410.		100				PERSONAL SERVICES
2513.	370.	460410.		110. 000				SALARIES AND WAGES
2513.	370.	460410.		115. 000				SALARIES/HEALTH INSURANCE BENEFIT
2513.	370.	460410.		120. 000				OVERTIME
2513.	370.	460410.		130. 000				OTHER
2513.	370.	460410.		140. 000				EMPLOYER CONTRIBUTIONS
2513.	370.	460410.		141. 000				STATE RETIREMENT CONTRIBUTIONS
2513.	370.	460410.		200				SUPPLIES
2513.	370.	460410.		210. 000				OFFICE SUPPLIES
2513.	370.	460410.		220. 000				OPERATING SUPPLIES
2513.	370.	460410.		300				PURCHASED SERVICES
2513.	370.	460410.		310. 000				COMMUNICATIONS
2513.	370.	460410.		320. 000				PRINTING & DUPLICATING
2513.	370.	460410.		330. 000				PUBLICITY SUBSCRIPTIONS & DUES
2513.	370.	460410.		341. 000				ELECTRICITY & NATURAL GAS
2513.	370.	460410.		343. 000				WATER CHARGES
2513.	370.	460410.		344. 000				TELEPHONE SERVICE
2513.	370.	460410.		350. 000				PROFESSIONAL SERVICES

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	460410.		370. 000	TRAVEL			
2513.	370.	460410.		380. 000	TRAINING			
2513.	370.	460411	NMT ADMIN					
2513.	370.	460411.		100	PERSONAL SERVICES			
2513.	370.	460411.		110. 000	SALARIES AND WAGES			
2513.	370.	460411.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460411.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460411.		200	SUPPLIES			
2513.	370.	460411.		210. 000	OFFICE SUPPLIES			
2513.	370.	460411.		220. 000	OPERATING SUPPLIES			
2513.	370.	460411.		300	PURCHASED SERVICES			
2513.	370.	460411.		310. 000	COMMUNICATIONS			
2513.	370.	460411.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460411.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460411.		344. 000	TELEPHONE SERVICE			
2513.	370.	460411.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460411.		370. 000	TRAVEL			
2513.	370.	460411.		380. 000	TRAINING			
2513.	370.	460411.		390. 000	OTHER PURCHASED SERVICES			
2513.	370.	460411.		900	CAPITAL OUTLAY			
2513.	370.	460432	PARK ADMIN					
2513.	370.	460432.		200	SUPPLIES			
2513.	370.	460432.		210. 000	OFFICE SUPPLIES			
2513.	370.	460432.		220. 000	OPERATING SUPPLIES			
2513.	370.	460432.		300	PURCHASED SERVICES			
2513.	370.	460432.		310. 000	COMMUNICATIONS			
2513.	370.	460432.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460432.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460432.		340. 000	WASTEWATER			
2513.	370.	460432.		344. 000	TELEPHONE SERVICE			
2513.	370.	460432.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460432.		380. 000	TRAINING			
2513.	370.	460432.		500	FIXED CHARGES			
2513.	370.	460432.		500. 000	FIXED CHARGES			
2513.	370.	460432.		600	DEBT SERVICE			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	460432.		700				GRANTS & CONTRIBUTIONS
2513.	370.	460432.		900				CAPITAL OUTLAY
2513.	370.	460433	PARK AREAS					
2513.	370.	460433.		800				OTHER OBJECTS
2513.	370.	460433.		820.	000			TRANSFERS TO OTHER FUNDS
2513.	370.	460434	GREENWAYS & HORTICULTURE					
2513.	370.	460434.		100				PERSONAL SERVICES
2513.	370.	460434.		110.	000			SALARIES AND WAGES
2513.	370.	460434.		115.	000			SALARIES/HEALTH INSURANCE BENEFIT
2513.	370.	460434.		120.	000			OVERTIME
2513.	370.	460434.		140.	000			EMPLOYER CONTRIBUTIONS
2513.	370.	460434.		141.	000			STATE RETIREMENT CONTRIBUTIONS
2513.	370.	460434.		200				SUPPLIES
2513.	370.	460434.		220.	000			OPERATING SUPPLIES
2513.	370.	460434.		300				PURCHASED SERVICES
2513.	370.	460434.		341.	000			ELECTRICITY & NATURAL GAS
2513.	370.	460434.		343.	000			WATER CHARGES
2513.	370.	460434.		344.	000			TELEPHONE SERVICE
2513.	370.	460434.		345.	000			GARBAGE
2513.	370.	460434.		350.	000			PROFESSIONAL SERVICES
2513.	370.	460434.		380.	000			TRAINING
2513.	370.	460439	URBAN FORESTRY\ GREENWAY & HORTICULTURE					
2513.	370.	460439.		100				PERSONAL SERVICES
2513.	370.	460439.		110.	000			SALARIES AND WAGES
2513.	370.	460439.		115.	000			SALARIES/HEALTH INSURANCE BENEFIT
2513.	370.	460439.		120.	000			OVERTIME
2513.	370.	460439.		130.	000			OTHER
2513.	370.	460439.		140.	000			EMPLOYER CONTRIBUTIONS
2513.	370.	460439.		141.	000			STATE RETIREMENT CONTRIBUTIONS
2513.	370.	460439.		200				SUPPLIES
2513.	370.	460439.		220.	000			OPERATING SUPPLIES
2513.	370.	460439.		300				PURCHASED SERVICES
2513.	370.	460439.		310.	000			COMMUNICATIONS
2513.	370.	460439.		320.	000			PRINTING & DUPLICATING
2513.	370.	460439.		330.	000			PUBLICITY SUBSCRIPTIONS & DUES

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	460439.		344. 000	TELEPHONE SERVICE			
2513.	370.	460439.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460439.		380. 000	TRAINING			
2513.	370.	460441.			RECREATION			
2513.	370.	460441.		100	PERSONAL SERVICES			
2513.	370.	460441.		110. 000	SALARIES AND WAGES			
2513.	370.	460441.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2513.	370.	460441.		120. 000	OVERTIME			
2513.	370.	460441.		130. 000	OTHER			
2513.	370.	460441.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460441.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460441.		200	SUPPLIES			
2513.	370.	460441.		210. 000	OFFICE SUPPLIES			
2513.	370.	460441.		220. 000	OPERATING SUPPLIES			
2513.	370.	460441.		300	PURCHASED SERVICES			
2513.	370.	460441.		310. 000	COMMUNICATIONS			
2513.	370.	460441.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460441.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460441.		344. 000	TELEPHONE SERVICE			
2513.	370.	460441.		345. 000	GARBAGE			
2513.	370.	460441.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460441.		360. 000	REPAIR & MAINTENANCE			
2513.	370.	460441.		370. 000	TRAVEL			
2513.	370.	460441.		380. 000	TRAINING			
2513.	370.	460441.		500	FIXED CHARGES			
2513.	370.	460441.		500. 000	FIXED CHARGES			
2513.	370.	460441.		800	OTHER OBJECTS			
2513.	370.	460441.		820. 000	TRANSFERS TO OTHER FUNDS			
2513.	370.	460470.			RECREATION MORE			
2513.	370.	460470.		100	PERSONAL SERVICES			
2513.	370.	460470.		110. 000	SALARIES AND WAGES			
2513.	370.	460470.		120. 000	OVERTIME			
2513.	370.	460470.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460470.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460470.		200	SUPPLIES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	460470.		210. 000	OFFICE SUPPLIES			
2513.	370.	460470.		220. 000	OPERATING SUPPLIES			
2513.	370.	460470.		300	PURCHASED SERVICES			
2513.	370.	460470.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460470.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460470.		340. 000	WASTEWATER			
2513.	370.	460470.		343. 000	WATER CHARGES			
2513.	370.	460470.		344. 000	TELEPHONE SERVICE			
2513.	370.	460470.		345. 000	GARBAGE			
2513.	370.	460470.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460470.		360. 000	REPAIR & MAINTENANCE			
2513.	370.	460470.		370. 000	TRAVEL			
2513.	370.	460470.		380. 000	TRAINING			
2513.	370.	460470.		390. 000	OTHER PURCHASED SERVICES			
2513.	370.	460470.		500	FIXED CHARGES			
2513.	370.	460470.		500. 000	FIXED CHARGES			
2513.	370.	460470.		530. 000	RENT			
2513.	370.	460471	RECREATION ADULTS					
2513.	370.	460471.		100	PERSONAL SERVICES			
2513.	370.	460471.		110. 000	SALARIES AND WAGES			
2513.	370.	460471.		120. 000	OVERTIME			
2513.	370.	460471.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460471.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460471.		200	SUPPLIES			
2513.	370.	460471.		210. 000	OFFICE SUPPLIES			
2513.	370.	460471.		220. 000	OPERATING SUPPLIES			
2513.	370.	460471.		300	PURCHASED SERVICES			
2513.	370.	460471.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460471.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460471.		344. 000	TELEPHONE SERVICE			
2513.	370.	460471.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460471.		500	FIXED CHARGES			
2513.	370.	460471.		500. 000	FIXED CHARGES			
2513.	370.	460471.		530. 000	RENT			
2513.	370.	460472	RECREATION YOUTH					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	460472.		100	PERSONAL SERVICES			
2513.	370.	460472.		110. 000	SALARIES AND WAGES			
2513.	370.	460472.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460472.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460472.		200	SUPPLIES			
2513.	370.	460472.		210. 000	OFFICE SUPPLIES			
2513.	370.	460472.		220. 000	OPERATING SUPPLIES			
2513.	370.	460472.		300	PURCHASED SERVICES			
2513.	370.	460472.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460472.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460472.		343. 000	WATER CHARGES			
2513.	370.	460472.		344. 000	TELEPHONE SERVICE			
2513.	370.	460472.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460472.		500	FIXED CHARGES			
2513.	370.	460472.		530. 000	RENT			
2513.	370.	460474			SPRAY DECKS			
2513.	370.	460474.		100	PERSONAL SERVICES			
2513.	370.	460474.		110. 000	SALARIES AND WAGES			
2513.	370.	460474.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460474.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460474.		200	SUPPLIES			
2513.	370.	460474.		220. 000	OPERATING SUPPLIES			
2513.	370.	460474.		300	PURCHASED SERVICES			
2513.	370.	460474.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460474.		341. 000	ELECTRICITY & NATURAL GAS			
2513.	370.	460474.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460476			YOUTH DRUG			
2513.	370.	460476.		100	PERSONAL SERVICES			
2513.	370.	460476.		110. 000	SALARIES AND WAGES			
2513.	370.	460476.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460476.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460476.		200	SUPPLIES			
2513.	370.	460476.		210. 000	OFFICE SUPPLIES			
2513.	370.	460476.		220. 000	OPERATING SUPPLIES			
2513.	370.	460476.		300	PURCHASED SERVICES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	460476.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460476.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2513.	370.	460476.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460476.		500	FIXED CHARGES			
2513.	370.	460476.		500. 000	FIXED CHARGES			
2513.	370.	460484	CONSERVATION LANDS MGMT					
2513.	370.	460484.		100	PERSONAL SERVICES			
2513.	370.	460484.		110. 000	SALARIES & WAGES			
2513.	370.	460484.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2513.	370.	460484.		120. 000	OVERTIME			
2513.	370.	460484.		130. 000	OTHER			
2513.	370.	460484.		140. 000	EMPLOYER CONTRIBUTIONS			
2513.	370.	460484.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2513.	370.	460484.		200	SUPPLIES			
2513.	370.	460484.		220. 000	OPERATING SUPPLIES			
2513.	370.	460484.		300	PURCHASED SERVICES			
2513.	370.	460484.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460484.		700	GRANTS & CONTRIBUTIONS			
2513.	370.	460484.		700. 000	GRANTS & CONTRIBUTIONS			
2513.	370.	460485	SAFETY & TRAINING					
2513.	370.	460485.		200	SUPPLIES			
2513.	370.	460485.		220. 000	OPERATING SUPPLIES			
2513.	370.	460485.		300	PURCHASED SERVICES			
2513.	370.	460485.		310. 000	COMMUNICATIONS			
2513.	370.	460485.		320. 000	PRINTING & DUPLICATING			
2513.	370.	460485.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	460485.		370. 000	TRAVEL			
2513.	370.	460485.		380. 000	TRAINING			
2513.	370.	460501	PARK MAINTENANCE ROUTINE					
2513.	370.	460501.		100	PERSONAL SERVICES			
2513.	370.	460501.		110. 000	SALARIES AND WAGES			
2513.	370.	460501.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2513.	370.	460501.		120. 000	OVERTIME			
2513.	370.	460501.		130. 000	OTHER			
2513.	370.	460501.		140. 000	EMPLOYER CONTRIBUTIONS			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	460501.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
2513.	370.	460501.		200		SUPPLIES		
2513.	370.	460501.		220.	000	OPERATING SUPPLIES		
2513.	370.	460501.		231.	000	GASOLINE		
2513.	370.	460501.		235.	000	VEHICLE REPAIR/MAINTENANCE		
2513.	370.	460501.		300		PURCHASED SERVICES		
2513.	370.	460501.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
2513.	370.	460501.		341.	000	ELECTRICITY & NATURAL GAS		
2513.	370.	460501.		343.	000	WATER CHARGES		
2513.	370.	460501.		345.	000	GARBAGE		
2513.	370.	460501.		350.	000	PROFESSIONAL SERVICES		
2513.	370.	460501.		370.	000	TRAVEL		
2513.	370.	460501.		380.	000	TRAINING		
2513.	370.	460501.		700		GRANTS & CONTRIBUTIONS		
2513.	370.	460501.		700.	000	GRANTS & CONTRIBUTIONS		
2513.	370.	460503	SPORTS FACILITIES MAINTENANCE					
2513.	370.	460503.		100		PERSONAL SERVICES		
2513.	370.	460503.		110.	000	SALARIES AND WAGES		
2513.	370.	460503.		120.	000	OVERTIME		
2513.	370.	460503.		140.	000	EMPLOYER CONTRIBUTIONS		
2513.	370.	460503.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
2513.	370.	460503.		200		SUPPLIES		
2513.	370.	460503.		220.	000	OPERATING SUPPLIES		
2513.	370.	460503.		300		PURCHASED SERVICES		
2513.	370.	460503.		345.	000	GARBAGE		
2513.	370.	460503.		350.	000	PROFESSIONAL SERVICES		
2513.	370.	460506	CARAS PARK IMPROVEMENTS					
2513.	370.	460506.		900		CAPITAL OUTLAY		
2513.	370.	460554	CULTURE & RECREATION SALARY RESERVE					
2513.	370.	460554.		100		PERSONAL SERVICES		
2513.	370.	460554.		110.	000	SALARIES AND WAGES		
2513.	370.	460554.		140.	000	EMPLOYER CONTRIBUTIONS		
2513.	370.	469000	CULTURE & REC ONETIME EXPENSES					
2513.	370.	469000.		200		SUPPLIES		
2513.	370.	469000.		220.	000	OPERATING SUPPLIES		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2513.	370.	469000.		300	PURCHASED SERVICES			
2513.	370.	469000.		350. 000	PROFESSIONAL SERVICES			
2513.	370.	469000.		900	CAPITAL OUTLAY			
2513.	370.	469000.		930. 000	IMPROVEMENTS			
2513.	370.	469000.		940. 000	MACHINERY & EQUIPMENT			
2513.	370.	490504	DEBT SERVICE					
2513.	370.	490504.		600	DEBT SERVICE			
2513.	370.	490504.		610. 000	PRINCIPAL			
2513.	370.	490504.		620. 000	INTEREST / SERVICE FEES			
2513.	370.	510110	MERCHANT SERVICES					
2513.	370.	510110.		500	FIXED CHARGES			
2513.	370.	521001	TRANSFER TO CIP					
2513.	370.	521001.		800	OTHER OBJECTS			
2513.	370.	521001.		820. 000	TRANSFERS TO OTHER FUNDS			
2513.	370.	521003	FORT MISSOULA REGIONAL PARK SUBSIDY					
2513.	370.	521003.		800	OTHER OBJECTS			
2513.	370.	521004	TRANSFER TO GENERAL FUND					
2513.	370.	521004.		800	OTHER OBJECTS			
2522	DEV SRVS - ROAD DISTRICT #1							
	223	CITY CLERK						
2522.	223.	460434	GREENWAYS & HORTICULTURE					
2522.	223.	460434.		200	SUPPLIES			
2522.	223.	460434.		300	PURCHASED SERVICES			
	250	DEVELOPMENT SERVICES						
2522.	250.	430100	PUBLIC WORKS ADMINISTRATION					
2522.	250.	430100.		100	PERSONAL SERVICES			
2522.	250.	430100.		110. 000	SALARIES AND WAGES			
2522.	250.	430100.		140. 000	EMPLOYER CONTRIBUTIONS			
2522.	250.	430100.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2522.	250.	430100.		200	SUPPLIES			
2522.	250.	430100.		220. 000	OPERATING SUPPLIES			
2522.	250.	430100.		230. 000	REPAIR/MAINTENANCE			
2522.	250.	430100.		231. 000	GASOLINE			
2522.	250.	430100.		300	PURCHASED SERVICES			
2522.	250.	430100.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2522.	250.	430100.		344.	000	TELEPHONE SERVICE		
2522.	250.	430100.		370.	000	TRAVEL		
2522.	250.	430100.		380.	000	TRAINING		
2522.	250.		430234		CURB & GUTTERS			
2522.	250.	430234.		900		CAPITAL OUTLAY		
2522.	250.	430234.		930.	000	IMPROVEMENTS		
2522.	250.		430262		SIDEWALK & CURB			
2522.	250.	430262.		300		PURCHASED SERVICES		
2522.	250.	430262.		350.	000	PROFESSIONAL SERVICES		
2522.	250.	430262.		600		DEBT SERVICE		
2522.	250.	430262.		700		GRANTS & CONTRIBUTIONS		
2522.	250.	430262.		900		CAPITAL OUTLAY		
2522.	250.	430262.		930.	000	IMPROVEMENTS		
2522.	250.		439000		PUBLIC WORKS ONETIME EXPENSES			
2522.	250.	439000.		200		SUPPLIES		
2522.	250.	439000.		210.	000	OFFICE SUPPLIES		
2522.	250.	439000.		300		PURCHASED SERVICES		
2522.	250.	439000.		350.	000	PROFESSIONAL SERVICES		
2522.	250.	439000.		800		OTHER OBJECTS		
2522.	250.		460434		GREENWAYS & HORTICULTURE			
2522.	250.	460434.		300		PURCHASED SERVICES		
2522.	250.	460434.		360.	000	REPAIR & MAINTENANCE		
2522.	250.		510200		JUDGMENT & LOSSES			
2522.	250.	510200.		500		FIXED CHARGES		
2522.	250.	510200.		500.	000	FIXED CHARGES		
		390	NON-DEPARTMENTAL					
2522.	390.		510200		JUDGMENT & LOSSES			
2522.	390.	510200.		500		FIXED CHARGES		
2820	STATE GAS TAX FUND							
		280	PUBLIC WORKS ADMINISTRATION					
2820.	280.		430230		STREET RESTORATION			
2820.	280.	430230.		300		PURCHASED SERVICES		
2820.	280.	430230.		500		FIXED CHARGES		
2820.	280.	430230.		800		OTHER OBJECTS		
2820.	280.	430230.		820.	000	TRANSFERS TO OTHER FUNDS		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2820.	280.	430230.		900	CAPITAL OUTLAY			
2820.	280.	430241.		700	GRANTS & CONTRIBUTIONS			
2820.	280.	430241.		700. 000	GRANTS & CONTRIBUTIONS			
2820.	280.	430241.		800	OTHER OBJECTS			
2820.	280.	430241.		820. 000	TRANSFERS TO OTHER FUNDS			
2820.	280.	430241.		900	CAPITAL OUTLAY			
2820.	280.	430241.		930. 000	IMPROVEMENTS			
2820.	280.	510110.		500	FIXED CHARGES			
2917					CRIME VICTIM SURCHARGE			
					NON-DEPARTMENTAL			
2917.	390.	510110.		500	FIXED CHARGES			
2917.	390.	510110.		500	FIXED CHARGES			
2918					LAW ENFORCEMENT BLOCK GRANT FUND			
					POLICE			
2918.	290.	420172.		200	SUPPLIES			
2918.	290.	420172.		220. 000	OPERATING SUPPLIES			
2918.	290.	420172.		700	GRANTS & CONTRIBUTIONS			
2918.	290.	420172.		700. 000	GRANTS & CONTRIBUTIONS			
2918.	290.	420173.		200	SUPPLIES			
2918.	290.	420173.		220. 000	JAG XIV OPERATING SUPPLIES			
2918.	290.	420173.		700	GRANTS & CONTRIBUTIONS			
2918.	290.	420173.		700. 000	GRANTS & CONTRIBUTIONS			
2919					HIDTA FUND			
					POLICE			
2919.	290.	420142.		100	PERSONAL SERVICES			
2919.	290.	420142.		120. 000	OVERTIME			
2919.	290.	420142.		140. 000	EMPLOYER CONTRIBUTIONS			
2919.	290.	420142.		200	SUPPLIES			
2919.	290.	420142.		210. 000	OFFICE SUPPLIES			
2919.	290.	420142.		220. 000	OPERATING SUPPLIES			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2919.	290.	420142.		300				PURCHASED SERVICES
2919.	290.	420142.		320.	000			PRINTING & DUPLICATING
2919.	290.	420142.		341.	000			ELECTRICITY & NATURAL GAS
2919.	290.	420142.		344.	000			TELEPHONE SERVICE
2919.	290.	420142.		350.	000			PROFESSIONAL SERVICES
2919.	290.	420142.		350.	012			STORAGE PROJECT/PROFESSIONAL SERVICES
2919.	290.	420142.		360.	000			REPAIR & MAINTENANCE
2919.	290.	420142.		370.	000			TRAVEL
2919.	290.	420142.		380.	000			TRAINING
2919.	290.	420142.		390.	000			OTHER PURCHASED SERVICES
2919.	290.	420142.		500				FIXED CHARGES
2919.	290.	420142.		500.	000			FIXED CHARGES
2919.	290.	420142.		700				GRANTS & CONTRIBUTIONS
2919.	290.	420142.		700.	000			HIDTA STATE FORFEITURE
2919.	290.	420142.		900				CAPITAL OUTLAY
2919.	290.	420180			TREASURY FORFEITURES			
2919.	290.	420180.		700				GRANTS & CONTRIBUTIONS
2919.	290.	420181			DEPT OF JUSTICE FORFEITURES			
2919.	290.	420181.		200				SUPPLIES
2919.	290.	420181.		220.	000			OPERATING SUPPLIES
2919.	290.	420181.		300				PURCHASED SERVICES
2919.	290.	420181.		341.	000			ELECTRICITY & NATURAL GAS
2919.	290.	420181.		700				GRANTS & CONTRIBUTIONS
2919.	290.	510110			MERCHANT SERVICES			
2919.	290.	510110.		500				FIXED CHARGES
2939					CDBG PROGRAM INCOME ACCOUNT			
		400			ENTITLEMENT GRANTS			
2939.	400.	470000			HOUSING & COMMUNITY DEVELOPMENT			
2939.	400.	470000.		700				GRANTS & CONTRIBUTIONS
2939.	400.	470000.		700.	000			GRANTS & CONTRIBUTIONS
2939.	400.	470290			PUBLIC SERVICE PROJECTS			
2939.	400.	470290.		700				GRANTS & CONTRIBUTIONS
2939.	400.	470335			GRANT & COMMUNITY PROGRAMS			
2939.	400.	470335.		800				OTHER OBJECTS
2939.	400.	470450			CONSTRUCTION PROJECTS			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2939.	400.	470450.		700				GRANTS & CONTRIBUTIONS
2939.	400.	470450.		700.	000			CONSTRUCTION/REHAB
2939.	400.			510110	MERCHANT SERVICES			
2939.	400.	510110.		500				FIXED CHARGES
2940 CDBG FUND								
	400	ENTITLEMENT GRANTS						
2940.	400.			470000	HOUSING & COMMUNITY DEVELOPMENT			
2940.	400.	470000.		700				GRANTS & CONTRIBUTIONS
2940.	400.	470000.		800				OTHER OBJECTS
2940.	400.			470290	PUBLIC SERVICE PROJECTS			
2940.	400.	470290.		300				PURCHASED SERVICES
2940.	400.	470290.		350.	000			PROFESSIONAL SERVICES
2940.	400.	470290.		370.	000			TRAVEL
2940.	400.	470290.		500				FIXED CHARGES
2940.	400.	470290.		500.	000			FIXED CHARGES
2940.	400.	470290.		700				GRANTS & CONTRIBUTIONS
2940.	400.	470290.		700.	000			GRANTS & CONTRIBUTIONS
2940.	400.			470291	YWCA			
2940.	400.	470291.		700				GRANTS & CONTRIBUTIONS
2940.	400.			470292	FY12 homeWORD			
2940.	400.	470292.		700				GRANTS & CONTRIBUTIONS
2940.	400.			470293	MISSOULA FOOD BANK			
2940.	400.	470293.		700				GRANTS & CONTRIBUTIONS
2940.	400.			470294	FY12 WORD			
2940.	400.	470294.		700				GRANTS & CONTRIBUTIONS
2940.	400.			470296	MISSOULA AGING SERVICES			
2940.	400.	470296.		700				GRANTS & CONTRIBUTIONS
2940.	400.			470298	FY12 RAMP			
2940.	400.	470298.		700				GRANTS & CONTRIBUTIONS
2940.	400.			470315	MISSOULA PARKS & REC			
2940.	400.	470315.		700				GRANTS & CONTRIBUTIONS
2940.	400.	470315.		800				OTHER OBJECTS
2940.	400.			470318	FY12 POVERELLO FACILITY REPAIRS			
2940.	400.	470318.		700				GRANTS & CONTRIBUTIONS
2940.	400.			470335	GRANT & COMMUNITY PROGRAMS			

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2940.	400.	470335.		300	PURCHASED SERVICES			
2940.	400.	470335.		700	GRANTS & CONTRIBUTIONS			
2940.	400.	470397	FY12 GARDEN CITY HARVEST					
2940.	400.	470397.		700	GRANTS & CONTRIBUTIONS			
2940.	400.	470403	FY12 PARKS & RECREATION GRANTS					
2940.	400.	470403.		700	GRANTS & CONTRIBUTIONS			
2940.	400.	470439	FY16 HOMEWORD SWEETGRASS					
2940.	400.	470439.		700	GRANTS & CONTRIBUTIONS			
2940.	400.	470450	CONSTRUCTION PROJECTS					
2940.	400.	470450.		300	PURCHASED SERVICES			
2940.	400.	470450.		700	GRANTS & CONTRIBUTIONS			
2940.	400.	470450.		700. 000	GRANTS & CONTRIBUTIONS			
2940.	400.	510110	MERCHANT SERVICES					
2940.	400.	510110.		500	FIXED CHARGES			
2940.	400.	521000	INTERFUND OPERATING TRANSFERS					
2940.	400.	521000.		800	OTHER OBJECTS			
2941	HOME FUND							
	400	ENTITLEMENT GRANTS						
2941.	400.	470290	PUBLIC SERVICE PROJECTS					
2941.	400.	470290.		500	FIXED CHARGES			
2941.	400.	470290.		500. 000	FIXED CHARGES			
2941.	400.	470290.		700	GRANTS & CONTRIBUTIONS			
2941.	400.	470290.		700. 000	GRANTS & CONTRIBUTIONS			
2941.	400.	470450	CONSTRUCTION PROJECTS					
2941.	400.	470450.		700	GRANTS & CONTRIBUTIONS			
2941.	400.	470450.		700. 000	GRANTS & CONTRIBUTIONS			
2941.	400.	510110	MERCHANT SERVICES					
2941.	400.	510110.		500	FIXED CHARGES			
2941.	400.	521000	INTERFUND OPERATING TRANSFERS					
2941.	400.	521000.		800	OTHER OBJECTS			
2943	CITY HOME PROGRAM INCOME							
	400	ENTITLEMENT GRANTS						
2943.	400.	470290	PUBLIC SERVICE PROJECTS					
2943.	400.	470290.		700	GRANTS & CONTRIBUTIONS			
2943.	400.	470290.		700. 000	SERVICES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2943.	400.		470335		GRANT & COMMUNITY PROGRAMS			
2943.	400.	470335.		800	OTHER OBJECTS			
2943.	400.		470450		CONSTRUCTION PROJECTS			
2943.	400.	470450.		700	GRANTS & CONTRIBUTIONS			
2955	TRANSPORTATION							
	250		DEVELOPMENT SERVICES					
2955.	250.		410554		RESERVE FOR SALARY INCREASE			
2955.	250.	410554.		100	PERSONAL SERVICES			
2955.	250.	410554.		110. 000	SALARIES AND WAGES			
2955.	250.	410554.		140. 000	EMPLOYER CONTRIBUTIONS			
2955.	250.		411070		TRANSPORTATION			
2955.	250.	411070.		100	PERSONAL SERVICES			
2955.	250.	411070.		110. 000	SALARIES AND WAGES			
2955.	250.	411070.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2955.	250.	411070.		140. 000	EMPLOYER CONTRIBUTIONS			
2955.	250.	411070.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2955.	250.	411070.		200	SUPPLIES			
2955.	250.	411070.		210. 000	OFFICE SUPPLIES			
2955.	250.	411070.		220. 000	OPERATING SUPPLIES			
2955.	250.	411070.		231. 000	GASOLINE			
2955.	250.	411070.		300	PURCHASED SERVICES			
2955.	250.	411070.		310. 000	COMMUNICATIONS			
2955.	250.	411070.		320. 000	PRINTING & DUPLICATING			
2955.	250.	411070.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2955.	250.	411070.		350. 000	PROFESSIONAL SERVICES			
2955.	250.	411070.		360. 000	REPAIR & MAINTENANCE			
2955.	250.	411070.		370. 000	TRAVEL			
2955.	250.	411070.		380. 000	TRAINING			
2955.	250.	411070.		500	FIXED CHARGES			
2955.	250.	411070.		500. 000	FIXED CHARGES			
2955.	250.	411070.		700	GRANTS & CONTRIBUTIONS			
2955.	250.	411070.		700. 000	GRANTS & CONTRIBUTIONS			
2955.	250.	411070.		800	OTHER OBJECTS			
2955.	250.	411070.		900	CAPITAL OUTLAY			
2955.	250.		411079		BIKE/PED MDT			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2955.	250.	411079.		100	PERSONAL SERVICES			
2955.	250.	411079.		110. 000	SALARIES AND WAGES			
2955.	250.	411079.		140. 000	EMPLOYER CONTRIBUTIONS			
2955.	250.	411079.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2955.	250.	411079.		200	SUPPLIES			
2955.	250.	411079.		220. 000	OPERATING SUPPLIES			
2955.	250.	411079.		300	PURCHASED SERVICES			
2955.	250.	411079.		320. 000	PRINTING & DUPLICATING			
2955.	250.	411079.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2955.	250.	411079.		350. 000	PROFESSIONAL SERVICES			
2955.	250.	411080	MIM MDT					
2955.	250.	411080.		100	PERSONAL SERVICES			
2955.	250.	411080.		110. 000	SALARIES AND WAGES			
2955.	250.	411080.		140. 000	EMPLOYER CONTRIBUTIONS			
2955.	250.	411080.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2955.	250.	411080.		200	SUPPLIES			
2955.	250.	411080.		210. 000	OFFICE SUPPLIES			
2955.	250.	411080.		220. 000	OPERATING SUPPLIES			
2955.	250.	411080.		300	PURCHASED SERVICES			
2955.	250.	411080.		310. 000	COMMUNICATIONS			
2955.	250.	411080.		320. 000	PRINTING & DUPLICATING			
2955.	250.	411080.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2955.	250.	411080.		344. 000	TELEPHONE SERVICE			
2955.	250.	411080.		350. 000	PROFESSIONAL SERVICES			
2955.	250.	411080.		360. 000	REPAIR & MAINTENANCE			
2955.	250.	411080.		370. 000	TRAVEL			
2955.	250.	411080.		380. 000	TRAINING			
2955.	250.	411080.		500	FIXED CHARGES			
2955.	250.	411080.		500. 000	FIXED CHARGES			
2955.	250.	411080.		700	GRANTS & CONTRIBUTIONS			
2955.	250.	411080.		700. 000	GRANTS & CONTRIBUTIONS			
2955.	250.	419000	GENERAL GOV'T ONETIME EXPENDITURES					
2955.	250.	419000.		300	PURCHASED SERVICES			
2955.	250.	419000.		350. 000	PROFESSIONAL SERVICES			
2955.	250.	430255	BIKE-PED PROGRAM & TRAILS					

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2955.	250.	430255.		100	PERSONAL SERVICES			
2955.	250.	430255.		110. 000	SALARIES AND WAGES			
2955.	250.	430255.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2955.	250.	430255.		140. 000	EMPLOYER CONTRIBUTIONS			
2955.	250.	430255.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2955.	250.	430255.		200	SUPPLIES			
2955.	250.	430255.		210. 000	OFFICE SUPPLIES			
2955.	250.	430255.		220. 000	OPERATING SUPPLIES			
2955.	250.	430255.		300	PURCHASED SERVICES			
2955.	250.	430255.		310. 000	COMMUNICATIONS			
2955.	250.	430255.		320. 000	PRINTING & DUPLICATING			
2955.	250.	430255.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
2955.	250.	430255.		350. 000	PROFESSIONAL SERVICES			
2955.	250.	430255.		370. 000	TRAVEL			
2955.	250.	430255.		380. 000	TRAINING			
2955.	250.	430255.		390. 000	OTHER PURCHASED SERVICES			
2955.	250.	430255.		500	FIXED CHARGES			
2955.	250.	430255.		500. 000	FIXED CHARGES			
2955.	250.	510110			MERCHANT SERVICES			
2955.	250.	510110.		500	FIXED CHARGES			
2987 FEDERAL TRANSPORTATION FUND								
	390	NON-DEPARTMENTAL						
2987.	390.	430255			Bitterroot Bike Trail Safe Crossings			
2987.	390.	430255.		900	CAPITAL OUTLAY			
2987.	390.	430257			BICYCLE COMMUTER NETWORK			
2987.	390.	430257.		900	CAPITAL OUTLAY			
2987.	390.	460509			KIM WILLIAMS TRAIL			
2987.	390.	460509.		900	CAPITAL OUTLAY			
2987.	390.	510000			MISCELLANEOUS			
2987.	390.	510000.		800	OTHER OBJECTS			
2987.	390.	510110			MERCHANT SERVICES			
2987.	390.	510110.		500	FIXED CHARGES			
2988 GRANTS & DONATIONS FUND								
	300	FIRE						
2988.	300.	420730			EMERGENCY MEDICAL SERVICES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2988.	300.	420730.		700				GRANTS & CONTRIBUTIONS
2988.	300.	420730.		700.	000			GRANTS & CONTRIBUTIONS
		390	NON-DEPARTMENTAL					
2988.	390.		411040		RESEARCH			
2988.	390.	411040.		300				PURCHASED SERVICES
2988.	390.	411040.		350.	000			PROFESSIONAL SERVICES
2988.	390.	411040.		370.	000			TRAVEL
2988.	390.		411231		ENERGY CONSERVATION			
2988.	390.	411231.		300				PURCHASED SERVICES
2988.	390.	411231.		350.	000			PROFESSIONAL SERVICES
2988.	390.		420000		MISC GRANTS			
2988.	390.	420000.		700				GRANTS & CONTRIBUTIONS
2988.	390.	420000.		700.	000			GRANTS & CONTRIBUTIONS
2988.	390.		420432		FIRE EXPLORERS			
2988.	390.	420432.		700				GRANTS & CONTRIBUTIONS
2988.	390.	420432.		700.	000			FIRE EXPLORERS/GRANTS & CONTRIBUTIONS
2988.	390.		430230		STREET RESTORATION			
2988.	390.	430230.		900				CAPITAL OUTLAY
2988.	390.	430230.		930.	000			IMPROVEMENTS
2988.	390.		470210		ADMINISTRATION			
2988.	390.	470210.		300				PURCHASED SERVICES
2988.	390.	470210.		350.	000			PROFESSIONAL SERVICES
		2989	POLICE GRANTS & DONATIONS					
		290	POLICE					
2989.	290.		420000		PUBLIC SAFETY			
2989.	290.	420000.		700				GRANTS & CONTRIBUTIONS
2989.	290.	420000.		700.	000			GRANTS & CONTRIBUTIONS
2989.	290.		420143		ANTI-GRAFFITI			
2989.	290.	420143.		200				SUPPLIES
2989.	290.	420143.		210.	000			OFFICE SUPPLIES
2989.	290.	420143.		220.	000			OPERATING SUPPLIES
2989.	290.		420144		BIAS CRIME CAMPAIGN			
2989.	290.	420144.		300				PURCHASED SERVICES
2989.	290.		420145		PROJECT SAFE NEIGHBORHOOD (PSN) OT			
2989.	290.	420145.		100				PERSONAL SERVICES

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2989.	290.	420145.		120. 000	OVERTIME			
2989.	290.	420145.		140. 000	EMPLOYER CONTRIBUTIONS			
2989.	290.	420146.			PROJECT SAFE NEIGHBORHOOD (PSN) RESEARCH			
2989.	290.	420146.		100	PERSONAL SERVICES			
2989.	290.	420146.		110. 000	SALARIES AND WAGES			
2989.	290.	420146.		120. 000	OVERTIME			
2989.	290.	420146.		140. 000	EMPLOYER CONTRIBUTIONS			
2989.	290.	420150.			STATE EQUIPMENT GRANT			
2989.	290.	420150.		200	SUPPLIES			
2989.	290.	420150.		220. 000	OPERATING SUPPLIES			
2989.	290.	420160.			ICAC			
2989.	290.	420160.		100	PERSONAL SERVICES			
2989.	290.	420160.		110. 000	SALARIES AND WAGES			
2989.	290.	420160.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2989.	290.	420160.		120. 000	OVERTIME			
2989.	290.	420160.		130. 000	OTHER			
2989.	290.	420160.		140. 000	EMPLOYER CONTRIBUTIONS			
2989.	290.	420160.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2989.	290.	420160.		200	SUPPLIES			
2989.	290.	420160.		220. 000	OPERATING SUPPLIES			
2989.	290.	420160.		300	PURCHASED SERVICES			
2989.	290.	420160.		350. 000	PROFESSIONAL SERVICES			
2989.	290.	420160.		370. 000	TRAVEL			
2989.	290.	420161.			ICAC GOOGLE			
2989.	290.	420161.		100	PERSONAL SERVICES			
2989.	290.	420161.		110. 000	SALARIES AND WAGES			
2989.	290.	420161.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
2989.	290.	420161.		130. 000	OTHER			
2989.	290.	420161.		133. 000	EDUCATION COMPENSATION			
2989.	290.	420161.		140. 000	EMPLOYER CONTRIBUTIONS			
2989.	290.	420161.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
2989.	290.	420180.			BULLETPROOF VEST PROGRAM			
2989.	290.	420180.		200	SUPPLIES			
2989.	290.	420180.		220. 000	OPERATING SUPPLIES			
2989.	290.	420181.			2018 HIDTA			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2989.	290.	420181.		100	PERSONAL SERVICES			
2989.	290.	420181.		200	SUPPLIES			
2989.	290.	420181.		300	PURCHASED SERVICES			
2989.	290.	420181.		500	FIXED CHARGES			
2989.	290.	420184			DUI TASK FORCES			
2989.	290.	420184.		100	PERSONAL SERVICES			
2989.	290.	420184.		200	SUPPLIES			
2989.	290.	420186			FY19 HITDA			
2989.	290.	420186.		100	PERSONAL SERVICES			
2989.	290.	420186.		120. 000	OVERTIME			
2989.	290.	420186.		140. 000	EMPLOYER CONTRIBUTIONS			
2989.	290.	420186.		200	SUPPLIES			
2989.	290.	420186.		210. 000	OFFICE SUPPLIES			
2989.	290.	420186.		220. 000	OPERATING SUPPLIES			
2989.	290.	420186.		220. 032	OPERATING SUPPLIES			
2989.	290.	420186.		300	PURCHASED SERVICES			
2989.	290.	420186.		344. 000	TELEPHONE SERVICE			
2989.	290.	420186.		350. 000	PROFESSIONAL SERVICES			
2989.	290.	420186.		350. 040	PROFESSIONAL SERVICES			
2989.	290.	420186.		360. 000	REPAIR & MAINTENANCE			
2989.	290.	420186.		370. 000	TRAVEL			
2989.	290.	420186.		500	FIXED CHARGES			
2989.	290.	420186.		500. 000	FIXED CHARGES			
2989.	290.	420190			STATE OT SEAT BELT GRANT			
2989.	290.	420190.		100	PERSONAL SERVICES			
2989.	290.	420190.		110. 000	SALARIES AND WAGES			
2989.	290.	420190.		120. 000	OVERTIME			
2989.	290.	420190.		140. 000	EMPLOYER CONTRIBUTIONS			
2989.	290.	420190.		300	PURCHASED SERVICES			
2989.	290.	420191			SELECTIVE TRAFFIC ENF PROG (STEP) GRANT			
2989.	290.	420191.		100	PERSONAL SERVICES			
2989.	290.	420191.		110. 000	SALARIES AND WAGES			
2989.	290.	420191.		140. 000	EMPLOYER CONTRIBUTIONS			
2989.	290.	420191.		300	PURCHASED SERVICES			
2989.	290.	420191.		370. 000	TRAVEL			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
2989.	290.		420195		2017 HIDTA			
2989.	290.		420195.	100	PERSONAL SERVICES			
2989.	290.		420195.	200	SUPPLIES			
2989.	290.		420195.	300	PURCHASED SERVICES			
2989.	290.		420195.	500	FIXED CHARGES			
2989.	290.		420198		FY2020 HIDTA			
2989.	290.		420198.	100	PERSONAL SERVICES			
2989.	290.		420198.	200	SUPPLIES			
2989.	290.		420198.	300	PURCHASED SERVICES			
2989.	290.		420198.	500	FIXED CHARGES			
2989.	290.		420198.	500. 000	FIXED CHARGES			
2991	BROWNFIELDS							
			400		ENTITLEMENT GRANTS			
2991.	400.		470710		ADMIN			
2991.	400.		470710.	300	PURCHASED SERVICES			
2991.	400.		470710.	370. 000	TRAVEL			
2991.	400.		470710.	380. 000	TRAINING			
2991.	400.		470710.	500	FIXED CHARGES			
2991.	400.		470710.	500. 000	FIXED CHARGES			
2991.	400.		470710.	700	GRANTS & CONTRIBUTIONS			
2991.	400.		470710.	800	OTHER OBJECTS			
2991.	400.		470715		PROJECTS			
2991.	400.		470715.	700	GRANTS & CONTRIBUTIONS			
2991.	400.		470715.	700. 000	GRANTS & CONTRIBUTIONS			
2991.	400.		470720		ADMIN			
2991.	400.		470720.	500	FIXED CHARGES			
2991.	400.		470720.	500. 000	FIXED CHARGES			
2991.	400.		470720.	700	GRANTS & CONTRIBUTIONS			
2991.	400.		470720.	700. 000	GRANTS & CONTRIBUTIONS			
2991.	400.		470725		PROJECTS			
2991.	400.		470725.	700	GRANTS & CONTRIBUTIONS			
2991.	400.		470725.	700. 000	GRANTS & CONTRIBUTIONS			
3000	SID REVOLVING FUND							
			390		NON-DEPARTMENTAL			
3000.	390.		510110		MERCHANT SERVICES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3000.	390.	510110.		500	FIXED CHARGES			
3000.	390.	521000			INTERFUND OPERATING TRANSFERS			
3000.	390.	521000.		800	OTHER OBJECTS			
3000.	390.	521000.		820.	000 TRANSFERS TO OTHER FUNDS			
3005 SID REBATES								
	390		NON-DEPARTMENTAL					
3005.	390.	510110			MERCHANT SERVICES			
3005.	390.	510110.		500	FIXED CHARGES			
3065 1998 PUBLIC SAFETY G O BONDS FUND								
	390		NON-DEPARTMENTAL					
3065.	390.	510110			MERCHANT SERVICES			
3065.	390.	510110.		500	FIXED CHARGES			
3070 1996 OPEN SPACE GO BONDS								
	390		NON-DEPARTMENTAL					
3070.	390.	490100			GO BONDS			
3070.	390.	490100.		800	OTHER OBJECTS			
3070.	390.	510110			MERCHANT SERVICES			
3070.	390.	510110.		500	FIXED CHARGES			
3075 1997 OPEN SPACE G O BOND FUND								
	390		NON-DEPARTMENTAL					
3075.	390.	490100			GO BONDS			
3075.	390.	490100.		800	OTHER OBJECTS			
3075.	390.	510110			MERCHANT SERVICES			
3075.	390.	510110.		500	FIXED CHARGES			
3080 1994 FIRE EQUIP/CITY HALLS REFUND BOND F								
	390		NON-DEPARTMENTAL					
3080.	390.	490100			GO BONDS			
3080.	390.	490100.		600	DEBT SERVICE			
3080.	390.	490100.		800	OTHER OBJECTS			
3080.	390.	510110			MERCHANT SERVICES			
3080.	390.	510110.		500	FIXED CHARGES			
3085 1993 FIRE STATION G O BOND FUND								
	390		NON-DEPARTMENTAL					
3085.	390.	490100			GO BONDS			
3085.	390.	490100.		800	OTHER OBJECTS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3085.	390.		510110		MERCHANT SERVICES			
3085.	390.		510110.	500				FIXED CHARGES
3090	2004 AQUATICS BOND							
	390		NON-DEPARTMENTAL					
3090.	390.		490100		GO BONDS			
3090.	390.		490100.	600				DEBT SERVICE
3090.	390.		490100.	800				OTHER OBJECTS
3090.	390.		510110		MERCHANT SERVICES			
3090.	390.		510110.	500				FIXED CHARGES
3091	SERIES 2012A AQUATICS REFUNDING BOND							
	390		NON-DEPARTMENTAL					
3091.	390.		490100		GO BONDS			
3091.	390.		490100.	600				DEBT SERVICE
3091.	390.		490100.	610. 000				PRINCIPAL
3091.	390.		490100.	620. 000				INTEREST / SERVICE FEES
3091.	390.		490100.	800				OTHER OBJECTS
3091.	390.		510110		MERCHANT SERVICES			
3091.	390.		510110.	500				FIXED CHARGES
3092	Series 2013A GO REFUNDING BONDS							
	390		NON-DEPARTMENTAL					
3092.	390.		490100		GO BONDS			
3092.	390.		490100.	600				DEBT SERVICE
3092.	390.		490100.	610. 000				PRINCIPAL
3092.	390.		490100.	620. 000				INTEREST / SERVICE FEES
3092.	390.		510110		MERCHANT SERVICES			
3092.	390.		510110.	500				FIXED CHARGES
3092.	390.		521000		INTERFUND OPERATING TRANSFERS			
3092.	390.		521000.	800				OTHER OBJECTS
3095	2004 REFUNDING BONDS DEBT SERVICE							
	390		NON-DEPARTMENTAL					
3095.	390.		490100		GO BONDS			
3095.	390.		490100.	600				DEBT SERVICE
3095.	390.		510110		MERCHANT SERVICES			
3095.	390.		510110.	500				FIXED CHARGES
3096	NEW FIRE STATION GO BOND							

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
390 NON-DEPARTMENTAL								
3096.	390.			490100	GO BONDS			
3096.	390.			490100.	600			DEBT SERVICE
3096.	390.			490100.	800			OTHER OBJECTS
3096.	390.			510110	MERCHANT SERVICES			
3096.	390.			510110.	500			FIXED CHARGES
3097 2007 REFUNDING BONDS								
390 NON-DEPARTMENTAL								
3097.	390.			490100	GO BONDS			
3097.	390.			490100.	600			DEBT SERVICE
3097.	390.			490500	DEBT PAYMENTS			
3097.	390.			490500.	500			FIXED CHARGES
3097.	390.			510110	MERCHANT SERVICES			
3097.	390.			510110.	500			FIXED CHARGES
3100 SIDEWALK & CURB WARRANTS FUND								
390 NON-DEPARTMENTAL								
3100.	390.			490300	SPECIAL IMPROVEMENTS BONDS			
3100.	390.			490300.	600			DEBT SERVICE
3100.	390.			510110	MERCHANT SERVICES			
3100.	390.			510110.	500			FIXED CHARGES
3100.	390.			521000	INTERFUND OPERATING TRANSFERS			
3100.	390.			521000.	800			OTHER OBJECTS
3200 FY99 SIDEWALK & CURB DEBT SERVICE FUND								
390 NON-DEPARTMENTAL								
3200.	390.			490300	SPECIAL IMPROVEMENTS BONDS			
3200.	390.			490300.	600			DEBT SERVICE
3200.	390.			510100	SPECIAL ASSESSMENTS			
3200.	390.			510100.	600			DEBT SERVICE
3200.	390.			510100.	800			OTHER OBJECTS
3200.	390.			510110	MERCHANT SERVICES			
3200.	390.			510110.	500			FIXED CHARGES
3300 FY00 SIDEWALK & CURB DEBT SERVICE FUND								
390 NON-DEPARTMENTAL								
3300.	390.			510100	SPECIAL ASSESSMENTS			
3300.	390.			510100.	600			DEBT SERVICE

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3300.	390.		510110		MERCHANT SERVICES			
3300.	390.		510110.	500	FIXED CHARGES			
3305 JUDGMENT LEVIES								
	390		NON-DEPARTMENTAL					
3305.	390.		490550		JUDGMENT LEVY DEBT			
3305.	390.		490550.	600	DEBT SERVICE			
3305.	390.		490550.	800	OTHER OBJECTS			
3400 FY01 SIDEWALK & CURB DEBT SERVICE FUND								
	390		NON-DEPARTMENTAL					
3400.	390.		510100		SPECIAL ASSESSMENTS			
3400.	390.		510100.	600	DEBT SERVICE			
3400.	390.		510100.	800	OTHER OBJECTS			
3400.	390.		510110		MERCHANT SERVICES			
3400.	390.		510110.	500	FIXED CHARGES			
3410 FY02 SIDEWALK & CURB DEBT SERVICE FUND								
	390		NON-DEPARTMENTAL					
3410.	390.		510100		SPECIAL ASSESSMENTS			
3410.	390.		510100.	600	DEBT SERVICE			
3410.	390.		510110		MERCHANT SERVICES			
3410.	390.		510110.	500	FIXED CHARGES			
3420 FY03 SIDEWALK & CURB DEBT SERVICE								
	390		NON-DEPARTMENTAL					
3420.	390.		510100		SPECIAL ASSESSMENTS			
3420.	390.		510100.	600	DEBT SERVICE			
3420.	390.		510110		MERCHANT SERVICES			
3420.	390.		510110.	500	FIXED CHARGES			
3430 FY04 SIDEWALK CURB DEBT SERVICE								
	390		NON-DEPARTMENTAL					
3430.	390.		510100		SPECIAL ASSESSMENTS			
3430.	390.		510100.	600	DEBT SERVICE			
3430.	390.		510110		MERCHANT SERVICES			
3430.	390.		510110.	500	FIXED CHARGES			
3440 FY05 SIDEWALK AND CURB								
	390		NON-DEPARTMENTAL					
3440.	390.		510100		SPECIAL ASSESSMENTS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3440.	390.	510100.		600	DEBT SERVICE			
3440.	390.	510110.			MERCHANT SERVICES			
3440.	390.	510110.		500	FIXED CHARGES			
3450 FY06 SIDEWALK AND CURB								
	390	NON-DEPARTMENTAL						
3450.	390.	510100.			SPECIAL ASSESSMENTS			
3450.	390.	510100.		600	DEBT SERVICE			
3450.	390.	510110.			MERCHANT SERVICES			
3450.	390.	510110.		500	FIXED CHARGES			
3460 FY07 SIDEWALK AND CURB DEBT								
	390	NON-DEPARTMENTAL						
3460.	390.	510100.			SPECIAL ASSESSMENTS			
3460.	390.	510100.		600	DEBT SERVICE			
3460.	390.	510100.		610. 000	PRINCIPAL			
3460.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3460.	390.	510110.			MERCHANT SERVICES			
3460.	390.	510110.		500	FIXED CHARGES			
3461 SERIES 2008A SIDEWALK AND CURB								
	280	PUBLIC WORKS ADMINISTRATION						
3461.	280.	510110.			MERCHANT SERVICES			
3461.	280.	510110.		500	FIXED CHARGES			
3461.	280.	521000.			INTERFUND OPERATING TRANSFERS			
3461.	280.	521000.		800	OTHER OBJECTS			
	390	NON-DEPARTMENTAL						
3461.	390.	510100.			SPECIAL ASSESSMENTS			
3461.	390.	510100.		600	DEBT SERVICE			
3461.	390.	510100.		610. 000	PRINCIPAL			
3461.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3461.	390.	510110.			MERCHANT SERVICES			
3461.	390.	510110.		500	FIXED CHARGES			
3461.	390.	521000.			INTERFUND OPERATING TRANSFERS			
3461.	390.	521000.		800	OTHER OBJECTS			
3462 SERIES 2009 SIDEWALK AND CURB								
	390	NON-DEPARTMENTAL						
3462.	390.	510100.			SPECIAL ASSESSMENTS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3462.	390.	510100.		600	DEBT SERVICE			
3462.	390.	510100.		610. 000	PRINCIPAL			
3462.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3462.	390.	510110.			MERCHANT SERVICES			
3462.	390.	510110.		500	FIXED CHARGES			
3462.	390.	521000.			INTERFUND OPERATING TRANSFERS			
3462.	390.	521000.		800	OTHER OBJECTS			
3463 SERIES 2010 SIDEWALK AND CURB								
	390	NON-DEPARTMENTAL						
3463.	390.	510100.			SPECIAL ASSESSMENTS			
3463.	390.	510100.		600	DEBT SERVICE			
3463.	390.	510100.		610. 000	PRINCIPAL			
3463.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3463.	390.	510110.			MERCHANT SERVICES			
3463.	390.	510110.		500	FIXED CHARGES			
3464 FY12 S/C DEBT SERVICE								
	390	NON-DEPARTMENTAL						
3464.	390.	510100.			SPECIAL ASSESSMENTS			
3464.	390.	510100.		600	DEBT SERVICE			
3464.	390.	510100.		610. 000	PRINCIPAL			
3464.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3464.	390.	510110.			MERCHANT SERVICES			
3464.	390.	510110.		500	FIXED CHARGES			
3465 FY13 SIDEWALK/CURB DEBT SERVICE								
	390	NON-DEPARTMENTAL						
3465.	390.	510100.			SPECIAL ASSESSMENTS			
3465.	390.	510100.		600	DEBT SERVICE			
3465.	390.	510100.		610. 000	PRINCIPAL			
3465.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3465.	390.	510110.			MERCHANT SERVICES			
3465.	390.	510110.		500	FIXED CHARGES			
3466 FY15 SIDEWALK/CURB DEBT SERVICE								
	390	NON-DEPARTMENTAL						
3466.	390.	510100.			SPECIAL ASSESSMENTS			
3466.	390.	510100.		300	PURCHASED SERVICES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3466.	390.	510100.		600	DEBT SERVICE			
3466.	390.	510100.		610. 000	PRINCIPAL			
3466.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3466.	390.	510110.		500	FIXED CHARGES			
3466.	390.	510110.		500	FIXED CHARGES			
3467	FY16	SIDEWALK/CURB	DEBT SERVICE					
	390	NON-DEPARTMENTAL						
3467.	390.	510000.		600	DEBT SERVICE			
3467.	390.	510100.		300	PURCHASED SERVICES			
3467.	390.	510100.		600	DEBT SERVICE			
3467.	390.	510100.		610. 000	PRINCIPAL			
3467.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3467.	390.	510110.		500	FIXED CHARGES			
3468	FY17	SIDEWALK/CURB	DEBT SERVICE					
	390	NON-DEPARTMENTAL						
3468.	390.	510000.		600	DEBT SERVICE			
3468.	390.	510100.		300	PURCHASED SERVICES			
3468.	390.	510100.		600	DEBT SERVICE			
3468.	390.	510100.		610. 000	PRINCIPAL			
3468.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3468.	390.	510110.		500	FIXED CHARGES			
3469	FY18	S/C	DEBT SERVICE					
	390	NON-DEPARTMENTAL						
3469.	390.	510100.		600	DEBT SERVICE			
3469.	390.	510100.		610. 000	PRINCIPAL			
3469.	390.	510100.		620. 000	INTEREST / SERVICE FEES			
3491	SID 491	DEBT SERVICE FUND						
	390	NON-DEPARTMENTAL						

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3491.	390.		510100 SPECIAL ASSESSMENTS					
3491.	390.		510100.	600	DEBT SERVICE			
3495 SID 495 DEBT SERVICE FUND								
	390 NON-DEPARTMENTAL							
3495.	390.		510100 SPECIAL ASSESSMENTS					
3495.	390.		510100.	800	OTHER OBJECTS			
3495.	390.		510110 MERCHANT SERVICES					
3495.	390.		510110.	500	FIXED CHARGES			
3497 SID 497 DEBT SERVICE FUND								
	390 NON-DEPARTMENTAL							
3497.	390.		510000 MISCELLANEOUS					
3497.	390.		510000.	800	OTHER OBJECTS			
3497.	390.		510100 SPECIAL ASSESSMENTS					
3497.	390.		510100.	600	DEBT SERVICE			
3497.	390.		510100.	800	OTHER OBJECTS			
3497.	390.		510110 MERCHANT SERVICES					
3497.	390.		510110.	500	FIXED CHARGES			
3498 SID 498 DEBT SERVICE FUND								
	390 NON-DEPARTMENTAL							
3498.	390.		510100 SPECIAL ASSESSMENTS					
3498.	390.		510100.	600	DEBT SERVICE			
3498.	390.		510110 MERCHANT SERVICES					
3498.	390.		510110.	500	FIXED CHARGES			
3500 SID 500 DEBT SERVICE FUND								
	390 NON-DEPARTMENTAL							
3500.	390.		510100 SPECIAL ASSESSMENTS					
3500.	390.		510100.	600	DEBT SERVICE			
3500.	390.		510100.	800	OTHER OBJECTS			
3501 SID 501 DEBT SERVICE FUND								
	390 NON-DEPARTMENTAL							
3501.	390.		510100 SPECIAL ASSESSMENTS					
3501.	390.		510100.	600	DEBT SERVICE			
3501.	390.		510110 MERCHANT SERVICES					
3501.	390.		510110.	500	FIXED CHARGES			
3503 SID 503 DEBT SERVICE FUND								

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
		390	NON-DEPARTMENTAL					
3503.	390.		510100		SPECIAL ASSESSMENTS			
3503.	390.		510100.	600	DEBT SERVICE			
3503.	390.		510110		MERCHANT SERVICES			
3503.	390.		510110.	500	FIXED CHARGES			
3505	SID 505		DEBT SERVICE FUND					
		390	NON-DEPARTMENTAL					
3505.	390.		510100		SPECIAL ASSESSMENTS			
3505.	390.		510100.	600	DEBT SERVICE			
3505.	390.		510110		MERCHANT SERVICES			
3505.	390.		510110.	500	FIXED CHARGES			
3506	SID 506		DEBT SERVICE FUND					
		390	NON-DEPARTMENTAL					
3506.	390.		510100		SPECIAL ASSESSMENTS			
3506.	390.		510100.	600	DEBT SERVICE			
3506.	390.		510110		MERCHANT SERVICES			
3506.	390.		510110.	500	FIXED CHARGES			
3507	SID 507		DEBT SERVICE FUND					
		390	NON-DEPARTMENTAL					
3507.	390.		510110		MERCHANT SERVICES			
3507.	390.		510110.	500	FIXED CHARGES			
3508	SID 508		DEBT SERVICE FUND					
		390	NON-DEPARTMENTAL					
3508.	390.		510110		MERCHANT SERVICES			
3508.	390.		510110.	500	FIXED CHARGES			
3510	SID 510		DEBT SERVICE FUND					
		390	NON-DEPARTMENTAL					
3510.	390.		510100		SPECIAL ASSESSMENTS			
3510.	390.		510100.	600	DEBT SERVICE			
3510.	390.		510110		MERCHANT SERVICES			
3510.	390.		510110.	500	FIXED CHARGES			
3511	SID 511		DEBT SERVICE FUND					
		390	NON-DEPARTMENTAL					
3511.	390.		510100		SPECIAL ASSESSMENTS			
3511.	390.		510100.	600	DEBT SERVICE			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3511.	390.		510110		MERCHANT SERVICES			
3511.	390.		510110.	500	FIXED CHARGES			
3512 SID 512 DEBT SERVICE FUND								
	390		NON-DEPARTMENTAL					
3512.	390.		510100		SPECIAL ASSESSMENTS			
3512.	390.		510100.	600	DEBT SERVICE			
3512.	390.		510110		MERCHANT SERVICES			
3512.	390.		510110.	500	FIXED CHARGES			
3513 SID 513 DEBT SERVICE FUND								
	280		PUBLIC WORKS ADMINISTRATION					
3513.	280.		510110		MERCHANT SERVICES			
3513.	280.		510110.	500	FIXED CHARGES			
3513.	280.		521000		INTERFUND OPERATING TRANSFERS			
3513.	280.		521000.	800	OTHER OBJECTS			
	390		NON-DEPARTMENTAL					
3513.	390.		510100		SPECIAL ASSESSMENTS			
3513.	390.		510100.	600	DEBT SERVICE			
3513.	390.		510100.	800	OTHER OBJECTS			
3513.	390.		510110		MERCHANT SERVICES			
3513.	390.		510110.	500	FIXED CHARGES			
3513.	390.		521000		INTERFUND OPERATING TRANSFERS			
3513.	390.		521000.	800	OTHER OBJECTS			
3514 SID 514 DEBT SERVICE FUND								
	390		NON-DEPARTMENTAL					
3514.	390.		510100		SPECIAL ASSESSMENTS			
3514.	390.		510100.	600	DEBT SERVICE			
3514.	390.		510110		MERCHANT SERVICES			
3514.	390.		510110.	500	FIXED CHARGES			
3515 SID 515 DEBT SERVICE FUND								
	390		NON-DEPARTMENTAL					
3515.	390.		510100		SPECIAL ASSESSMENTS			
3515.	390.		510100.	600	DEBT SERVICE			
3515.	390.		510100.	800	OTHER OBJECTS			
3515.	390.		510110		MERCHANT SERVICES			
3515.	390.		510110.	500	FIXED CHARGES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3517 SID 517 DEBT SERVICE FUND								
		390	NON-DEPARTMENTAL					
3517.	390.			510100	SPECIAL ASSESSMENTS			
3517.	390.			510100.	600	DEBT SERVICE		
3517.	390.			510110	MERCHANT SERVICES			
3517.	390.			510110.	500	FIXED CHARGES		
3518 SID 518 DEBT SERVICE FUND								
		390	NON-DEPARTMENTAL					
3518.	390.			510100	SPECIAL ASSESSMENTS			
3518.	390.			510100.	600	DEBT SERVICE		
3518.	390.			510110	MERCHANT SERVICES			
3518.	390.			510110.	500	FIXED CHARGES		
3518.	390.			521000	INTERFUND OPERATING TRANSFERS			
3518.	390.			521000.	800	OTHER OBJECTS		
3519 SID 519 DEBT SERVICE FUND								
		390	NON-DEPARTMENTAL					
3519.	390.			510100	SPECIAL ASSESSMENTS			
3519.	390.			510100.	600	DEBT SERVICE		
3519.	390.			510110	MERCHANT SERVICES			
3519.	390.			510110.	500	FIXED CHARGES		
3519.	390.			521000	INTERFUND OPERATING TRANSFERS			
3519.	390.			521000.	800	OTHER OBJECTS		
3520 SID 520 DEBT SERVICE FUND								
		390	NON-DEPARTMENTAL					
3520.	390.			510100	SPECIAL ASSESSMENTS			
3520.	390.			510100.	600	DEBT SERVICE		
3520.	390.			510110	MERCHANT SERVICES			
3520.	390.			510110.	500	FIXED CHARGES		
3521 SID 521 DEBT SERVICE FUND								
		390	NON-DEPARTMENTAL					
3521.	390.			510100	SPECIAL ASSESSMENTS			
3521.	390.			510100.	600	DEBT SERVICE		
3521.	390.			510110	MERCHANT SERVICES			
3521.	390.			510110.	500	FIXED CHARGES		
3522 SID 522 DEBT SERVICE FUND								

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
390 NON-DEPARTMENTAL								
3522.	390.			510100	SPECIAL ASSESSMENTS			
3522.	390.			510100.	600	DEBT SERVICE		
3522.	390.			510110	MERCHANT SERVICES			
3522.	390.			510110.	500	FIXED CHARGES		
3524 SID 524 DEBT SERVICE FUND								
390 NON-DEPARTMENTAL								
3524.	390.			510100	SPECIAL ASSESSMENTS			
3524.	390.			510100.	600	DEBT SERVICE		
3524.	390.			510100.	610. 000	PRINCIPAL		
3524.	390.			510100.	620. 000	INTEREST / SERVICE FEES		
3524.	390.			510110	MERCHANT SERVICES			
3524.	390.			510110.	500	FIXED CHARGES		
3525 SID 525 DEBT SERVICE FUND								
390 NON-DEPARTMENTAL								
3525.	390.			510100	SPECIAL ASSESSMENTS			
3525.	390.			510100.	600	DEBT SERVICE		
3525.	390.			510100.	610. 000	PRINCIPAL		
3525.	390.			510100.	620. 000	INTEREST / SERVICE FEES		
3525.	390.			510110	MERCHANT SERVICES			
3525.	390.			510110.	500	FIXED CHARGES		
3526 SID 526 DEBT SERVICE FUND								
390 NON-DEPARTMENTAL								
3526.	390.			510100	SPECIAL ASSESSMENTS			
3526.	390.			510100.	600	DEBT SERVICE		
3526.	390.			510100.	610. 000	PRINCIPAL		
3526.	390.			510100.	620. 000	INTEREST / SERVICE FEES		
3526.	390.			510110	MERCHANT SERVICES			
3526.	390.			510110.	500	FIXED CHARGES		
3527 SID 527 DEBT SERVICE FUND								
390 NON-DEPARTMENTAL								
3527.	390.			510100	SPECIAL ASSESSMENTS			
3527.	390.			510100.	600	DEBT SERVICE		
3527.	390.			510110	MERCHANT SERVICES			
3527.	390.			510110.	500	FIXED CHARGES		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3530 SID 530 DEBT SERVICE FUND								
		390	NON-DEPARTMENTAL					
3530.	390.			510100	SPECIAL ASSESSMENTS			
3530.	390.			510100.	600	DEBT SERVICE		
3530.	390.			510110	MERCHANT SERVICES			
3530.	390.			510110.	500	FIXED CHARGES		
3530.	390.			521000	INTERFUND OPERATING TRANSFERS			
3530.	390.			521000.	800	OTHER OBJECTS		
3531 SID 531 HICKORY ST CALMING								
		390	NON-DEPARTMENTAL					
3531.	390.			510110	MERCHANT SERVICES			
3531.	390.			510110.	500	FIXED CHARGES		
3531.	390.			521000	INTERFUND OPERATING TRANSFERS			
3531.	390.			521000.	800	OTHER OBJECTS		
3532 SID 532 DEBT SERVICE FUND								
		390	NON-DEPARTMENTAL					
3532.	390.			510100	SPECIAL ASSESSMENTS			
3532.	390.			510100.	600	DEBT SERVICE		
3532.	390.			510100.	610. 000	PRINCIPAL		
3532.	390.			510100.	620. 000	INTEREST / SERVICE FEES		
3532.	390.			510110	MERCHANT SERVICES			
3532.	390.			510110.	500	FIXED CHARGES		
3533 GILBERT ST SEWER SID DEBT FUND								
		330	WASTEWATER\ COMPOST UTILITY					
3533.	330.			510110	MERCHANT SERVICES			
3533.	330.			510110.	500	FIXED CHARGES		
		390	NON-DEPARTMENTAL					
3533.	390.			510100	SPECIAL ASSESSMENTS			
3533.	390.			510100.	500	FIXED CHARGES		
3533.	390.			510100.	600	DEBT SERVICE		
3533.	390.			510100.	610. 000	PRINCIPAL		
3533.	390.			510100.	620. 000	INTEREST / SERVICE FEES		
3533.	390.			510110	MERCHANT SERVICES			
3533.	390.			510110.	500	FIXED CHARGES		
3533.	390.			521000	INTERFUND OPERATING TRANSFERS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3533.	390.	521000.		800				OTHER OBJECTS
3534	LINCOLNWOOD SEWER PHASE I							
	390	NON-DEPARTMENTAL						
3534.	390.	510100.			SPECIAL ASSESSMENTS			
3534.	390.	510100.		600				DEBT SERVICE
3534.	390.	510100.		610. 000				PRINCIPAL
3534.	390.	510100.		620. 000				INTEREST / SERVICE FEES
3534.	390.	510110.			MERCHANT SERVICES			
3534.	390.	510110.		500				FIXED CHARGES
3535	SLANT STREET TRAFFIC CALMING							
	390	NON-DEPARTMENTAL						
3535.	390.	510110.			MERCHANT SERVICES			
3535.	390.	510110.		500				FIXED CHARGES
3535.	390.	521000.			INTERFUND OPERATING TRANSFERS			
3535.	390.	521000.		800				OTHER OBJECTS
3536	LINCOLNWOOD SEWER PHASE II							
	390	NON-DEPARTMENTAL						
3536.	390.	510100.			SPECIAL ASSESSMENTS			
3536.	390.	510100.		600				DEBT SERVICE
3536.	390.	510100.		610. 000				PRINCIPAL
3536.	390.	510100.		620. 000				INTEREST / SERVICE FEES
3536.	390.	510110.			MERCHANT SERVICES			
3536.	390.	510110.		500				FIXED CHARGES
3539	SOUTH 4TH STREET W TRAFFIC							
	390	NON-DEPARTMENTAL						
3539.	390.	510110.			MERCHANT SERVICES			
3539.	390.	510110.		500				FIXED CHARGES
3539.	390.	521000.			INTERFUND OPERATING TRANSFERS			
3539.	390.	521000.		800				OTHER OBJECTS
3540	SID 540 DEBT SERVICE FUND							
	390	NON-DEPARTMENTAL						
3540.	390.	510100.			SPECIAL ASSESSMENTS			
3540.	390.	510100.		300				PURCHASED SERVICES
3540.	390.	510100.		600				DEBT SERVICE
3540.	390.	510100.		610. 000				PRINCIPAL

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3540.	390.	510100.		620.	000	INTEREST / SERVICE FEES		
3540.	390.	510110				MERCHANT SERVICES		
3540.	390.	510110.		500		FIXED CHARGES		
3541 SID 541 DEBT SERVICE								
	390		NON-DEPARTMENTAL					
3541.	390.	510100				SPECIAL ASSESSMENTS		
3541.	390.	510100.		600		DEBT SERVICE		
3541.	390.	510100.		610.	000	PRINCIPAL		
3541.	390.	510100.		620.	000	PINEVIEW PARK/INT		
3541.	390.	510110				MERCHANT SERVICES		
3541.	390.	510110.		500		FIXED CHARGES		
3543 SID 543 DEBT SERVICE								
	390		NON-DEPARTMENTAL					
3543.	390.	510000				MISCELLANEOUS		
3543.	390.	510000.		800		OTHER OBJECTS		
3543.	390.	510100				SPECIAL ASSESSMENTS		
3543.	390.	510100.		600		DEBT SERVICE		
3543.	390.	510110				MERCHANT SERVICES		
3543.	390.	510110.		500		FIXED CHARGES		
3543.	390.	521000				INTERFUND OPERATING TRANSFERS		
3543.	390.	521000.		800		OTHER OBJECTS		
3544 SID 544 RATTLESNAKE DEBT SERVICE								
	390		NON-DEPARTMENTAL					
3544.	390.	510100				SPECIAL ASSESSMENTS		
3544.	390.	510100.		600		DEBT SERVICE		
3544.	390.	510100.		610.	000	SID 544C/PRINCIPAL		
3544.	390.	510100.		620.	000	INTEREST / SERVICE FEES		
	550		*** Title Not Found ***					
3544.	550.	510100				SPECIAL ASSESSMENTS		
3544.	550.	510100.		600		DEBT SERVICE		
3544.	550.	510100.		610.	000	SID 544B ARRA/PRINCIPAL		
3544.	550.	510100.		620.	000	INTEREST / SERVICE FEES		
	555		*** Title Not Found ***					
3544.	555.	510100				SPECIAL ASSESSMENTS		
3544.	555.	510100.		600		DEBT SERVICE		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3544.	555.	510100.		610.	000	SID 544D LOLOD/PRINCIPAL		
3544.	555.	510100.		620.	000	SID 544 D INTEREST / SERVICE FEES		
3544.	555.	510110.				MERCHANT SERVICES		
3544.	555.	510110.		500		FIXED CHARGES		
3545 SID 545 DEBT SERVICE								
		390	NON-DEPARTMENTAL					
3545.	390.	510100				SPECIAL ASSESSMENTS		
3545.	390.	510100.		600		DEBT SERVICE		
3545.	390.	510110				MERCHANT SERVICES		
3545.	390.	510110.		500		FIXED CHARGES		
3545.	390.	521000				INTERFUND OPERATING TRANSFERS		
3545.	390.	521000.		800		OTHER OBJECTS		
3546 SID 546 DEBT SERVICE								
		390	NON-DEPARTMENTAL					
3546.	390.	510100				SPECIAL ASSESSMENTS		
3546.	390.	510100.		600		DEBT SERVICE		
3546.	390.	510110				MERCHANT SERVICES		
3546.	390.	510110.		500		FIXED CHARGES		
3546.	390.	521000				INTERFUND OPERATING TRANSFERS		
3546.	390.	521000.		800		OTHER OBJECTS		
3548 SID 548-5TH, 6TH & ARTHUR								
		390	NON-DEPARTMENTAL					
3548.	390.	510100				SPECIAL ASSESSMENTS		
3548.	390.	510100.		600		DEBT SERVICE		
3548.	390.	510100.		610.	000	SID 544C/PRINCIPAL		
3548.	390.	510100.		620.	000	INTEREST / SERVICE FEES		
3548.	390.	510110				MERCHANT SERVICES		
3548.	390.	510110.		500		FIXED CHARGES		
3549 SID 549 HILLVIEW WAY								
		390	NON-DEPARTMENTAL					
3549.	390.	510100				SPECIAL ASSESSMENTS		
3549.	390.	510100.		600		DEBT SERVICE		
3549.	390.	510100.		610.	000	SID 544C/PRINCIPAL		
3549.	390.	510100.		620.	000	INTEREST / SERVICE FEES		
3549.	390.	510110				MERCHANT SERVICES		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
3549.	390.	510110.		500				FIXED CHARGES
4010	GENERAL GOV'T VEHICLE & EQUIPMENT							
	390	NON-DEPARTMENTAL						
4010.	390.			410001	SELF HOSTING ACCELA AUTOMATION			
4010.	390.			410001.		900		CAPITAL OUTLAY
4010.	390.			410001.		940.	000	GENERAL GOV'T LIGHT CORE EQUIP
4010.	390.			410002	*** Title Not Found ***			
4010.	390.			410002.		900		CAPITAL OUTLAY
4010.	390.			410002.		940.	000	GENERAL GOV'T HEAVY CORE EQUIPMENT
4011	INFORMATION TECHNOLOGY PROJECTS							
	390	NON-DEPARTMENTAL						
4011.	390.			410560	COPIERS/COMPUTER EQUIP			
4011.	390.			410560.		900		CAPITAL OUTLAY
4011.	390.			410560.		940.	000	MACHINERY & EQUIPMENT
4011.	390.			410560.		940.	201	GPS INSTALLATION PROJECT
4011.	390.			411302	VOIP/DATA/GIS/STORAGE UPGRADE			
4011.	390.			411302.		900		CAPITAL OUTLAY
4011.	390.			411302.		940.	000	MACHINERY & EQUIPMENT
4011.	390.			521001	TRANSFER TO CIP			
4011.	390.			521001.		800		OTHER OBJECTS
4013	ADMINISTRATIVE PROJECTS							
	390	NON-DEPARTMENTAL						
4013.	390.			410360	CITY/MUNICIPAL COURT			
4013.	390.			410360.		900		CAPITAL OUTLAY
4013.	390.			410560	COPIERS/COMPUTER EQUIP			
4013.	390.			410560.		900		CAPITAL OUTLAY
4013.	390.			410560.		940.	000	MAM HVAC UPGRADE
4013.	390.			411240	FACILITIES IMPROVEMENTS			
4013.	390.			411240.		900		CAPITAL OUTLAY
4013.	390.			411240.		930.	000	IMPROVEMENTS
4013.	390.			411240.		930.	201	CITY HALL REMODEL
4013.	390.			411810	TERMINATION PAY			
4013.	390.			411810.		900		CAPITAL OUTLAY
4013.	390.			411810.		930.	000	IMPROVEMENTS
4013.	390.			521001	TRANSFER TO CIP			

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4013.	390.	521001.		800				OTHER OBJECTS
4020	PUBLIC SAFETY VEHICLE & EQUIPMENT							
	390	NON-DEPARTMENTAL						
4020.	390.			420001	PUBLIC SAFETY OPERATING/LIGHT VEHICLES			
4020.	390.			420001.		900		CAPITAL OUTLAY
4020.	390.			420001.		940.	000	PS CORE OPERATING LIGHT VEHICLES
4020.	390.			420002	PUBLIC SAFETY CORE HEAVY EQUIP			
4020.	390.			420002.		900		CAPITAL OUTLAY
4020.	390.			420291	POLICE LIGHT CORE EQUIPMENT			
4020.	390.			420291.		900		CAPITAL OUTLAY
4020.	390.			420291.		940.	000	POLICE LIGHT CORE EQUIPMENT
4020.	390.			420292	POLICE HEAVY CORE EQUIPMENT			
4020.	390.			420292.		900		CAPITAL OUTLAY
4020.	390.			420295	POLICE COMMUNICATION & EQUIP REPLACEMENT			
4020.	390.			420295.		900		CAPITAL OUTLAY
4020.	390.			420295.		940.	000	PD COMMUNICATION & EQUIP REPLACEMENT
4020.	390.			420301	FIRE LIGHT CORE EQUIPMENT			
4020.	390.			420301.		900		CAPITAL OUTLAY
4020.	390.			420301.		940.	000	FIRE LIGHT CORE EQUIPMENT
4020.	390.			420302	FIRE HEAVY CORE EQUIPMENT			
4020.	390.			420302.		900		CAPITAL OUTLAY
4020.	390.			420302.		940.	000	FIRE HEAVY CORE EQUIPMENT
4020.	390.			420305	FIRE COMMUNICATION & EQUIP REPLACEMENT			
4020.	390.			420305.		900		CAPITAL OUTLAY
4020.	390.			420305.		940.	000	FIRE COMMUNICATION & EQUIP REPLACEMENT
4020.	390.			521001	TRANSFER TO CIP			
4020.	390.			521001.		800		OTHER OBJECTS
4023	FIRE PROJECTS							
	390	NON-DEPARTMENTAL						
4023.	390.			420421	FIRE STATIONS IMPROVEMENTS			
4023.	390.			420421.		900		CAPITAL OUTLAY
4023.	390.			420421.		910.	000	LAND
4023.	390.			420421.		930.	000	IMPROVEMENTS
4030	PUBLIC WORKS VEHICLE & EQUIPMENT							
	390	NON-DEPARTMENTAL						

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
4030.	390.			430001	CIP CITY HALL ELEVATOR/CYLINDER			
4030.	390.			430001.		900		CAPITAL OUTLAY
4030.	390.			430001.		940. 000		PW CORE LIGHT EQUIPMENT
4030.	390.			430002	CIP STREET SWEEPER			
4030.	390.			430002.		900		CAPITAL OUTLAY
4030.	390.			430002.		940. 000		PW CORE HEAVY EQUIP
4030.	390.			521001	TRANSFER TO CIP			
4030.	390.			521001.		800		OTHER OBJECTS
4033 SIDEWALK/CURB PROJECTS								
		280	PUBLIC WORKS ADMINISTRATION					
4033.	280.			430232	RIGHT OF WAY ROAD CONSTRUCTION			
4033.	280.			430232.		900		CAPITAL OUTLAY
4033.	280.			430232.		930. 000		IMPROVEMENTS
4035 PUBLIC WORKS ROAD IMPROVEMENTS								
		280	PUBLIC WORKS ADMINISTRATION					
4035.	280.			430232	RIGHT OF WAY ROAD CONSTRUCTION			
4035.	280.			430232.		300		PURCHASED SERVICES
4035.	280.			430232.		900		CAPITAL OUTLAY
4035.	280.			430232.		930. 000		IMPROVEMENTS
4035.	280.			430232.		930. 191		CREGG LN ROADWAY IMPROVEMENTS
4035.	280.			430232.		930. 192		MULLAN & GEORGE ELMAR DR SIGNAL
4035.	280.			430232.		930. 193		WYOMING STREET IMPROVEMENTS
4035.	280.			430232.		930. 194		SOUTH AVE IMPROVEMENTS
4035.	280.			430232.		930. 195		LOWER MILLER CR RD IMPROVEMENTS
4035.	280.			430232.		930. 196		MULLAN ROAD IMPROVEMENTS
4035.	280.			430232.		930. 197		HIGGINS AVE BRIDGE IMPROVEMENTS
4035.	280.			430232.		930. 198		ORANGE/STEPHENS BIKE/PED SAFETY
4060 CAPITAL IMPROVEMENT PROGRAM FUND								
		390	NON-DEPARTMENTAL					
4060.	390.			411300	INTERNAL FINANCED EQUIPMENT			
4060.	390.			411300.		600		DEBT SERVICE
4060.	390.			411300.		610. 000		INTERNALLY FINANCED EQUIP/PRINCIPAL
4060.	390.			411300.		620. 000		INTEREST / SERVICE FEES
4060.	390.			490102	2010C ENERGY BONDS DEBT SERVICE			
4060.	390.			490102.		600		DEBT SERVICE

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4060.	390.	490102.		610.	000	2010C ENERGY BOND PRINCIPAL		
4060.	390.	490102.		620.	000	2010C ENERGY BONDS INTEREST/SERVICE FEE		
4060.	390.			490103	2010A REFUNDING DEBT SERVICE			
4060.	390.	490103.		600		DEBT SERVICE		
4060.	390.	490103.		610.	000	2010A REFUNDING PRINCIPAL		
4060.	390.	490103.		620.	000	2010A REFUNDING INTEREST/SERVICE FEE		
4060.	390.			490104	FY16A REFUNDING BOND DEBT SERVICE			
4060.	390.	490104.		600		DEBT SERVICE		
4060.	390.	490104.		610.	000	FY16A LIMITED OBLG PRINCIPAL		
4060.	390.	490104.		620.	000	FY16A LIMITED OBLG INTEREST/SERVICE FEE		
4060.	390.			490504	FY09 FINANCED CORE EQUIPMENT			
4060.	390.	490504.		600		DEBT SERVICE		
4060.	390.	490504.		610.	000	CORE FINANCED EQUIP-PRINCIPAL		
4060.	390.	490504.		620.	000	CORE FINANCED EQUIP-INTEREST		
4060.	390.			510110	MERCHANT SERVICES			
4060.	390.	510110.		500		FIXED CHARGES		
4060.	390.			521001	TRANSFER TO CIP			
4060.	390.	521001.		800		OTHER OBJECTS		
4080 PARKS VEHICLE & EQUIPMENT								
	370 PARKS & RECREATION							
4080.	370.			460000	CULTURE & RECREATION			
4080.	370.	460000.		900		CAPITAL OUTLAY		
	390 NON-DEPARTMENTAL							
4080.	390.			460001	PARKS CORE EQUIPMENT			
4080.	390.	460001.		900		CAPITAL OUTLAY		
4080.	390.	460001.		940.	000	PARKS LIGHT CORE EQUIPMENT		
4080.	390.			460002	PARKS CORE HEAVY EQUIPMENT			
4080.	390.	460002.		900		CAPITAL OUTLAY		
4080.	390.			460400	CIP PARK MAINT & IMPROVEMENTS			
4080.	390.	460400.		900		CAPITAL OUTLAY		
4080.	390.			521001	TRANSFER TO CIP			
4080.	390.	521001.		800		OTHER OBJECTS		
4081 PARKS CAPITAL PROJECTS								
	370 PARKS & RECREATION							
4081.	370.			460000	CULTURE & RECREATION			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
4081.	370.	460000.		900				CAPITAL OUTLAY
4081.	370.	460432	PARK ADMIN					
4081.	370.	460432.		900				CAPITAL OUTLAY
4081.	370.	460432.		930.	191			COMMUNITY CENTER
4081.	370.	460433	PARK AREAS					
4081.	370.	460433.		900				CAPITAL OUTLAY
4081.	370.	460433.		930.	000			IMPROVEMENTS
4081.	370.	460433.		930.	191			HELLGATE PARK
4081.	370.	460433.		930.	201			DRAGON'S HOLLOW
4081.	370.	460433.		930.	202			44 RANCH PLAYGROUND
4081.	370.	460434	GREENWAYS & HORTICULTURE					
4081.	370.	460434.		900				CAPITAL OUTLAY
4081.	370.	460434.		930.	000			IMPROVEMENTS
4081.	370.	460439	URBAN FORESTRY\ GREENWAY & HORTICULTURE					
4081.	370.	460439.		900				CAPITAL OUTLAY
4081.	370.	460439.		930.	000			IMPROVEMENTS
4081.	370.	460444	PLAYGROUNDS					
4081.	370.	460444.		900				CAPITAL OUTLAY
4081.	370.	460444.		930.	000			IMPROVEMENTS
4081.	370.	460444.		930.	191			ROSE MEMORAIL PARK PLAYGROUND
4081.	370.	460444.		940.	000			MACHINERY & EQUIPMENT
		390	NON-DEPARTMENTAL					
4081.	390.	460001	PARKS CORE EQUIPMENT					
4081.	390.	460001.		900				CAPITAL OUTLAY
4081.	390.	460002	PARKS CORE HEAVY EQUIPMENT					
4081.	390.	460002.		900				CAPITAL OUTLAY
4081.	390.	460400	CIP PARK MAINT & IMPROVEMENTS					
4081.	390.	460400.		900				CAPITAL OUTLAY
4081.	390.	521001	TRANSFER TO CIP					
4081.	390.	521001.		800				OTHER OBJECTS
4083			CONSERVATION LAND MGMT PROJECTS					
		370	PARKS & RECREATION					
4083.	370.	460433	PARK AREAS					
4083.	370.	460433.		900				CAPITAL OUTLAY
4083.	370.	460433.		930.	000			IMPROVEMENTS

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
4083.	370.		460434 GREENWAYS & HORTICULTURE					
4083.	370.	460434.		900	CAPITAL OUTLAY			
4083.	370.	460434.		930. 000	IMPROVEMENTS			
4083.	370.		460439 URBAN FORESTRY\ GREENWAY & HORTICULTURE					
4083.	370.	460439.		900	CAPITAL OUTLAY			
4083.	370.	460439.		930. 000	IMPROVEMENTS			
4083.	370.		460523 CLM TRAIL IMPROVEMENTS/ UPGRADES					
4083.	370.	460523.		900	CAPITAL OUTLAY			
4083.	370.	460523.		930. 201	WATER WORKS HILL			
4083.	370.		480100 *** Title Not Found ***					
4083.	370.	480100.		900	CAPITAL OUTLAY			
4083.	370.	480100.		910. 000	LAND			
4083.	370.	480100.		930. 000	IMPROVEMENTS			
4083.	370.		480200 *** Title Not Found ***					
4083.	370.	480200.		900	CAPITAL OUTLAY			
4083.	370.	480200.		930. 000	IMPROVEMENTS			
4085			ART MUSEUM IMPROVEMENTS					
	370		PARKS & RECREATION					
4085.	370.		460434 GREENWAYS & HORTICULTURE					
4085.	370.	460434.		900	CAPITAL OUTLAY			
4085.	370.	460434.		930. 000	IMPROVEMENTS			
4085.	370.		460437 DNRC/MT FOREST HEALTH					
4085.	370.	460437.		900	CAPITAL OUTLAY			
4085.	370.	460437.		930. 000	IMPROVEMENTS			
	390		NON-DEPARTMENTAL					
4085.	390.		521001 TRANSFER TO CIP					
4085.	390.	521001.		800	OTHER OBJECTS			
4130			1997 G O BOND OPEN SPACE PURCHASE FUND					
	390		NON-DEPARTMENTAL					
4130.	390.		460480 VANDALISM					
4130.	390.	460480.		800	OTHER OBJECTS			
4130.	390.	460480.		900	CAPITAL OUTLAY			
4130.	390.		510110 MERCHANT SERVICES					
4130.	390.	510110.		500	FIXED CHARGES			
4463			FY2019 CURB/SIDEWALK					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
		250	DEVELOPMENT SERVICES					
4463.	250.	430262	SIDEWALK & CURB					
4463.	250.	430262.	900	CAPITAL OUTLAY				
4463.	250.	510110	MERCHANT SERVICES					
4463.	250.	510110.	500	FIXED CHARGES				
4464	FY20 SIDEWALK/CURB							
		250	DEVELOPMENT SERVICES					
4464.	250.	430262	SIDEWALK & CURB					
4464.	250.	430262.	900	CAPITAL OUTLAY				
4464.	250.	430262.	930. 000	IMPROVEMENTS				
4464.	250.	510110	MERCHANT SERVICES					
4464.	250.	510110.	500	FIXED CHARGES				
4945	PHILLIPS ST TRAFFIC CALMING							
		390	NON-DEPARTMENTAL					
4945.	390.	510110	MERCHANT SERVICES					
4945.	390.	510110.	600	DEBT SERVICE				
4946	PATTEE CREEK DR. TRAFFIC CALMING							
		390	NON-DEPARTMENTAL					
4946.	390.	510110	MERCHANT SERVICES					
4946.	390.	510110.	600	DEBT SERVICE				
5020	CIVIC STADIUM							
		395	PARKING COMMISSION					
5020.	395.	460000	CULTURE & RECREATION					
5020.	395.	460000.	500	FIXED CHARGES				
5020.	395.	460451	SPECTATOR RECREATION - ADMINISTRATION					
5020.	395.	460451.	500	FIXED CHARGES				
5020.	395.	460451.	800	OTHER OBJECTS				
5020.	395.	460451.	845. 000	CONTINGENCY				
5020.	395.	490200	REVENUE BOND DEBT SERVICE					
5020.	395.	490200.	600	DEBT SERVICE				
5020.	395.	490200.	610. 000	PRINCIPAL				
5020.	395.	490200.	620. 000	INTEREST / SERVICE FEES				
5020.	395.	510000	MISCELLANEOUS					
5020.	395.	510000.	800	OTHER OBJECTS				
5020.	395.	510110	MERCHANT SERVICES					

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5020.	395.	510110.		500				FIXED CHARGES
5210	WATER							
	335.		WATER UTILITY					
5210.	335.		430210		ADMINISTRATION			
5210.	335.	430210.		100				PERSONAL SERVICES
5210.	335.		430510		WATER ADMINISTRATION			
5210.	335.	430510.		100				PERSONAL SERVICES
5210.	335.	430510.		110. 000				SALARIES AND WAGES
5210.	335.	430510.		115. 000				SALARIES/HEALTH INSURANCE BENEFIT
5210.	335.	430510.		120. 000				OVERTIME
5210.	335.	430510.		130. 000				OTHER
5210.	335.	430510.		140. 000				EMPLOYER CONTRIBUTIONS
5210.	335.	430510.		141. 000				STATE RETIREMENT CONTRIBUTIONS
5210.	335.	430510.		200				SUPPLIES
5210.	335.	430510.		210. 000				OFFICE SUPPLIES
5210.	335.	430510.		220. 000				OPERATING SUPPLIES
5210.	335.	430510.		230. 000				REPAIR/MAINTENANCE
5210.	335.	430510.		300				PURCHASED SERVICES
5210.	335.	430510.		310. 000				COMMUNICATIONS
5210.	335.	430510.		330. 000				PUBLICITY SUBSCRIPTIONS & DUES
5210.	335.	430510.		341. 000				ELECTRICITY & NATURAL GAS
5210.	335.	430510.		344. 000				TELEPHONE SERVICE
5210.	335.	430510.		345. 000				GARBAGE
5210.	335.	430510.		350. 000				PROFESSIONAL SERVICES
5210.	335.	430510.		360. 000				REPAIR & MAINTENANCE
5210.	335.	430510.		370. 000				TRAVEL
5210.	335.	430510.		380. 000				TRAINING
5210.	335.	430510.		500				FIXED CHARGES
5210.	335.	430510.		500. 000				FIXED CHARGES
5210.	335.	430510.		510. 000				INSURANCE
5210.	335.	430510.		530. 000				RENT
5210.	335.	430510.		590. 000				PAYMENT IN LIEU OF TAXES
5210.	335.	430510.		700				GRANTS & CONTRIBUTIONS
5210.	335.	430510.		700. 000				GRANTS & CONTRIBUTIONS
5210.	335.	430510.		800				OTHER OBJECTS

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5210.	335.	430510.		900	CAPITAL OUTLAY			
5210.	335.	430510.		940. 000	MACHINERY & EQUIPMENT			
5210.	335.	430511	UTILITY RATE STUDY/CONSULTATION					
5210.	335.	430511.		900	CAPITAL OUTLAY			
5210.	335.	430511.		930. 182	UTILITY RATE STUDY - WATER			
5210.	335.	430520	WATER FACILITIES					
5210.	335.	430520.		100	PERSONAL SERVICES			
5210.	335.	430520.		110. 000	SALARIES AND WAGES			
5210.	335.	430520.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
5210.	335.	430520.		120. 000	OVERTIME			
5210.	335.	430520.		130. 000	OTHER			
5210.	335.	430520.		140. 000	EMPLOYER CONTRIBUTIONS			
5210.	335.	430520.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
5210.	335.	430520.		200	SUPPLIES			
5210.	335.	430520.		220. 000	OPERATING SUPPLIES			
5210.	335.	430520.		230. 000	REPAIR/MAINTENANCE			
5210.	335.	430520.		231. 000	GASOLINE			
5210.	335.	430520.		300	PURCHASED SERVICES			
5210.	335.	430520.		340. 000	WASTEWATER			
5210.	335.	430520.		342. 000	STORM WATER			
5210.	335.	430520.		360. 000	REPAIR & MAINTENANCE			
5210.	335.	430520.		380. 000	TRAINING			
5210.	335.	430520.		800	OTHER OBJECTS			
5210.	335.	430520.		900	CAPITAL OUTLAY			
5210.	335.	430520.		930. 000	IMPROVEMENTS			
5210.	335.	430520.		940. 000	MACHINERY & EQUIPMENT			
5210.	335.	430521	NEW FACILITY					
5210.	335.	430521.		900	CAPITAL OUTLAY			
5210.	335.	430521.		930. 000	IMPROVEMENTS			
5210.	335.	430521.		930. 181	WATER FACILITY PLAN			
5210.	335.	430521.		930. 191	FARVIEW PRV			
5210.	335.	430523	UPDATE/ IMPROVE EXISTING FACILITY					
5210.	335.	430523.		900	CAPITAL OUTLAY			
5210.	335.	430523.		940. 000	MACHINERY & EQUIPMENT			
5210.	335.	430530	SOURCE OF SUPPLY & PUMPING					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5210.	335.	430530.		100	PERSONAL SERVICES			
5210.	335.	430530.		110. 000	SALARIES AND WAGES			
5210.	335.	430530.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
5210.	335.	430530.		120. 000	OVERTIME			
5210.	335.	430530.		130. 000	OTHER			
5210.	335.	430530.		140. 000	EMPLOYER CONTRIBUTIONS			
5210.	335.	430530.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
5210.	335.	430530.		200	SUPPLIES			
5210.	335.	430530.		220. 000	OPERATING SUPPLIES			
5210.	335.	430530.		230. 000	REPAIR/MAINTENANCE			
5210.	335.	430530.		300	PURCHASED SERVICES			
5210.	335.	430530.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
5210.	335.	430530.		341. 000	ELECTRICITY & NATURAL GAS			
5210.	335.	430530.		350. 000	PROFESSIONAL SERVICES			
5210.	335.	430530.		360. 000	REPAIR & MAINTENANCE			
5210.	335.	430530.		370. 000	TRAVEL			
5210.	335.	430530.		380. 000	TRAINING			
5210.	335.	430530.		500	FIXED CHARGES			
5210.	335.	430530.		530. 000	RENT			
5210.	335.	430531	DAM REPLACE/ IMPROVEMENTS					
5210.	335.	430531.		900	CAPITAL OUTLAY			
5210.	335.	430531.		930. 000	IMPROVEMENTS			
5210.	335.	430531.		930. 181	RATTLESNAKE DAM			
5210.	335.	430533	WATER TANK REPLACE/ IMPROVEMENTS					
5210.	335.	430533.		900	CAPITAL OUTLAY			
5210.	335.	430533.		930. 000	IMPROVEMENTS			
5210.	335.	430533.		930. 201	UPPER PROSPECT RESERVOIR			
5210.	335.	430535	WATER PUMP REPLACE/ IMPROVEMENT					
5210.	335.	430535.		900	CAPITAL OUTLAY			
5210.	335.	430535.		930. 000	IMPROVEMENTS			
5210.	335.	430535.		930. 181	SOUTH AVE WELL			
5210.	335.	430538	SCADA UPGRADE/ IMPROVEMENTS					
5210.	335.	430538.		900	CAPITAL OUTLAY			
5210.	335.	430538.		930. 000	SCADA			
5210.	335.	430538.		940. 000	MACHINERY & EQUIPMENT			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5210.	335.			430539	MISCELLANEOUS PROJECTS			
5210.	335.			430539.	900			CAPITAL OUTLAY
5210.	335.			430539.	930. 000			IMPROVEMENTS
5210.	335.			430540	WATER PURFICATION & TREATMENT			
5210.	335.			430540.	900			CAPITAL OUTLAY
5210.	335.			430540.	930. 000			IMPROVEMENTS
5210.	335.			430550	TRANSMISSION & DISTRIBUTION			
5210.	335.			430550.	100			PERSONAL SERVICES
5210.	335.			430550.	110. 000			SALARIES AND WAGES
5210.	335.			430550.	115. 000			SALARIES/HEALTH INSURANCE BENEFIT
5210.	335.			430550.	120. 000			OVERTIME
5210.	335.			430550.	130. 000			OTHER
5210.	335.			430550.	140. 000			EMPLOYER CONTRIBUTIONS
5210.	335.			430550.	141. 000			STATE RETIREMENT CONTRIBUTIONS
5210.	335.			430550.	200			SUPPLIES
5210.	335.			430550.	220. 000			OPERATING SUPPLIES
5210.	335.			430550.	230. 000			REPAIR/MAINTENANCE
5210.	335.			430550.	300			PURCHASED SERVICES
5210.	335.			430550.	350. 000			PROFESSIONAL SERVICES
5210.	335.			430550.	360. 000			REPAIR & MAINTENANCE
5210.	335.			430550.	370. 000			TRAVEL
5210.	335.			430550.	380. 000			TRAINING
5210.	335.			430550.	500			FIXED CHARGES
5210.	335.			430550.	500. 000			FIXED CHARGES
5210.	335.			430550.	800			OTHER OBJECTS
5210.	335.			430550.	900			CAPITAL OUTLAY
5210.	335.			430551	WATER MAIN REPLACEMENT			
5210.	335.			430551.	900			CAPITAL OUTLAY
5210.	335.			430551.	930. 000			IMPROVEMENTS
5210.	335.			430551.	930. 180			RAILROAD MAIN REPLACEMENT
5210.	335.			430551.	930. 189			GRANT & HARVE MAIN REPLACEMENT
5210.	335.			430551.	930. 191			SPRUCE-NORA TO MAY
5210.	335.			430551.	930. 192			SOUTH AVE E OF RONALD TO MAURICE
5210.	335.			430551.	930. 193			S 3rd WATER MAIN REPLACEMENT
5210.	335.			430551.	930. 201			WORDEN AVE MAIN REPLACEMENT

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5210.	335.	430551.		930. 202	E PINE ST MAIN REPLACEMENT			
5210.	335.	430551.		930. 203	W PINE ST MAIN REPLACEMENT			
5210.	335.			430552	WATER MAIN REPLACEMENT/ UPGRADE			
5210.	335.	430552.		900	CAPITAL OUTLAY			
5210.	335.			430553	FIRE HYDRANT REPLACE/ NEW			
5210.	335.	430553.		900	CAPITAL OUTLAY			
5210.	335.	430553.		930. 000	IMPROVEMENTS			
5210.	335.			430554	FIRE HYDRANTS REPLACE/ NEW			
5210.	335.	430554.		100	PERSONAL SERVICES			
5210.	335.	430554.		110. 000	SALARIES AND WAGES			
5210.	335.	430554.		140. 000	EMPLOYER CONTRIBUTIONS			
5210.	335.			430555	FIRE HYDRANTS REPLACE/ NEW			
5210.	335.	430555.		900	CAPITAL OUTLAY			
5210.	335.			430557	VALVE/ BO/ SERVICE SADDLES			
5210.	335.	430557.		900	CAPITAL OUTLAY			
5210.	335.	430557.		930. 000	IMPROVEMENTS			
5210.	335.	430557.		930. 191	ALDER/ COOPER SERVICE SWAP			
5210.	335.			430558	VALVE/ BO/ SERVICE SADDLES			
5210.	335.	430558.		900	CAPITAL OUTLAY			
5210.	335.	430558.		930. 000	IMPROVEMENTS			
5210.	335.			430559	WATER MAIN EXTENSION/ UPSIZE			
5210.	335.	430559.		900	CAPITAL OUTLAY			
5210.	335.	430559.		930. 000	IMPROVEMENTS			
5210.	335.	430559.		930. 201	HAZARD MATERIAL MAIN EXTENSION			
5210.	335.			430573	EQUPMENT REPLACEMENT/ UPDATE			
5210.	335.	430573.		900	CAPITAL OUTLAY			
5210.	335.			430590	OTHER ACTIVITIES			
5210.	335.	430590.		200	SUPPLIES			
5210.	335.	430590.		300	PURCHASED SERVICES			
5210.	335.	430590.		350. 000	ACQUISITION/PROFESSIONAL SERVICES			
5210.	335.	430590.		800	OTHER OBJECTS			
5210.	335.	430590.		900	CAPITAL OUTLAY			
5210.	335.			430597	METERS			
5210.	335.	430597.		900	CAPITAL OUTLAY			
5210.	335.	430597.		930. 000	IMPROVEMENTS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5210.	335.	430597.		940.	000	MACHINERY & EQUIPMENT		
5210.	335.	430610	ADMINISTRATION					
5210.	335.	430610.		300		PURCHASED SERVICES		
5210.	335.	490200	REVENUE BOND DEBT SERVICE					
5210.	335.	490200.		600		DEBT SERVICE		
5210.	335.	490200.		620.	000	INTEREST / SERVICE FEES		
5210.	335.	510110	MERCHANT SERVICES					
5210.	335.	510110.		500		FIXED CHARGES		
5210.	335.	510110.		550.	000	MERCHANT SERVICE FEES		
5210.	335.	510400	DEPRECIATION					
5210.	335.	510400.		800		OTHER OBJECTS		
5215 WATER LOAN FUND								
	335	WATER UTILITY						
5215.	335.	430530	*** Title Not Found ***					
5215.	335.	430530.		300		PURCHASED SERVICES		
5215.	335.	430530.		390.	000	OTHER PURCHASED SERVICES		
5215.	335.	430550	*** Title Not Found ***					
5215.	335.	430550.		300		PURCHASED SERVICES		
5215.	335.	521000	INTERFUND OPERATING TRANSFERS					
5215.	335.	521000.		800		OTHER OBJECTS		
5220 WATER R&D FUND								
	335	WATER UTILITY						
5220.	335.	430510	*** Title Not Found ***					
5220.	335.	430510.		200		SUPPLIES		
5220.	335.	490220	*** Title Not Found ***					
5220.	335.	490220.		600		DEBT SERVICE		
5220.	335.	490506	CORE FINANCED EQUIPMENT					
5220.	335.	490506.		600		DEBT SERVICE		
5220.	335.	510110	MERCHANT SERVICES					
5220.	335.	510110.		500		FIXED CHARGES		
5220.	335.	521000	INTERFUND OPERATING TRANSFERS					
5220.	335.	521000.		800		OTHER OBJECTS		
5240 WATER CONSTRUCTION FUND								
	335	WATER UTILITY						
5240.	335.	510110	MERCHANT SERVICES					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5240.	335.	510110.		500				FIXED CHARGES
5250 WATER PURCHASE LOAN								
		330	WASTEWATER\ COMPOST UTILITY					
5250.	330.			490200	REVENUE BOND DEBT SERVICE			
5250.	330.			490200.	600			DEBT SERVICE
5250.	330.			510110	MERCHANT SERVICES			
5250.	330.			510110.	500			FIXED CHARGES
5310 SEWER OPERATING BUDGET FUND								
		330	WASTEWATER\ COMPOST UTILITY					
5310.	330.			430630	COLLECTIONS & TRANSMISSIONS			
5310.	330.			430630.	100			PERSONAL SERVICES
5311 WASTEWATER UTILITY FUND								
		330	WASTEWATER\ COMPOST UTILITY					
5311.	330.			430554	PUBLIC WORKS SALARY RESERVE			
5311.	330.			430554.	100			PERSONAL SERVICES
5311.	330.			430554.	110. 000			SALARIES AND WAGES
5311.	330.			430554.	140. 000			EMPLOYER CONTRIBUTIONS
5311.	330.			430610	ADMINISTRATION			
5311.	330.			430610.	100			PERSONAL SERVICES
5311.	330.			430610.	110. 000			SALARIES AND WAGES
5311.	330.			430610.	115. 000			SALARIES/HEALTH INSURANCE BENEFIT
5311.	330.			430610.	120. 000			OVERTIME
5311.	330.			430610.	130. 000			OTHER
5311.	330.			430610.	140. 000			EMPLOYER CONTRIBUTIONS
5311.	330.			430610.	141. 000			STATE RETIREMENT CONTRIBUTIONS
5311.	330.			430610.	200			SUPPLIES
5311.	330.			430610.	210. 000			OFFICE SUPPLIES
5311.	330.			430610.	220. 000			OPERATING SUPPLIES
5311.	330.			430610.	231. 000			GASOLINE
5311.	330.			430610.	300			PURCHASED SERVICES
5311.	330.			430610.	310. 000			COMMUNICATIONS
5311.	330.			430610.	320. 000			PRINTING & DUPLICATING
5311.	330.			430610.	330. 000			PUBLICITY SUBSCRIPTIONS & DUES
5311.	330.			430610.	344. 000			TELEPHONE SERVICE
5311.	330.			430610.	360. 000			REPAIR & MAINTENANCE

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5311.	330.	430610.		370. 000	TRAVEL			
5311.	330.	430610.		380. 000	TRAINING			
5311.	330.	430610.		500	FIXED CHARGES			
5311.	330.	430610.		500. 000	FIXED CHARGES			
5311.	330.	430610.		700	GRANTS & CONTRIBUTIONS			
5311.	330.	430610.		700. 000	GRANTS & CONTRIBUTIONS			
5311.	330.	430610.		800	OTHER OBJECTS			
5311.	330.	430611			UTILITY RATE STUDY/CONSULTATION			
5311.	330.	430611.		900	CAPITAL OUTLAY			
5311.	330.	430611.		930. 182	UTILITY RATE STUDY - SEWER			
5311.	330.	430619			ADMINISTRATION MISCELLANEOUS PROJECTS			
5311.	330.	430619.		900	CAPITAL OUTLAY			
5311.	330.	430619.		930. 201	MT SENTINEL COMMUNICATION SITE			
5311.	330.	430623			UPDATE/IMPROVE EXISTING FACILITY			
5311.	330.	430623.		900	CAPITAL OUTLAY			
5311.	330.	430623.		930. 191	WASTEWATER LAB EXPANSION			
5311.	330.	430623.		930. 192	WASTEWATER FACILITY RE-ROOF			
5311.	330.	430630			COLLECTIONS & TRANSMISSIONS			
5311.	330.	430630.		100	PERSONAL SERVICES			
5311.	330.	430630.		110. 000	SALARIES AND WAGES			
5311.	330.	430630.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
5311.	330.	430630.		120. 000	OVERTIME			
5311.	330.	430630.		130. 000	OTHER			
5311.	330.	430630.		140. 000	EMPLOYER CONTRIBUTIONS			
5311.	330.	430630.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
5311.	330.	430630.		200	SUPPLIES			
5311.	330.	430630.		220. 000	OPERATING SUPPLIES			
5311.	330.	430630.		230. 000	REPAIR/MAINTENANCE			
5311.	330.	430630.		231. 000	GASOLINE			
5311.	330.	430630.		235. 000	VEHICLE REPAIR/MAINTENANCE			
5311.	330.	430630.		240. 000	OTHER SUPPLIES			
5311.	330.	430630.		300	PURCHASED SERVICES			
5311.	330.	430630.		310. 000	COMMUNICATIONS			
5311.	330.	430630.		320. 000	PRINTING & DUPLICATING			
5311.	330.	430630.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			

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5311.	330.	430630.		341. 000	ELECTRICITY & NATURAL GAS			
5311.	330.	430630.		343. 000	WATER CHARGES			
5311.	330.	430630.		344. 000	TELEPHONE SERVICE			
5311.	330.	430630.		350. 000	PROFESSIONAL SERVICES			
5311.	330.	430630.		360. 000	REPAIR & MAINTENANCE			
5311.	330.	430630.		370. 000	TRAVEL			
5311.	330.	430630.		380. 000	TRAINING			
5311.	330.	430630.		500	FIXED CHARGES			
5311.	330.	430630.		500. 000	FIXED CHARGES			
5311.	330.	430630.		530. 000	RENT			
5311.	330.	430631.			SEWER MAIN REPLACE/UPGRADE			
5311.	330.	430631.		900	CAPITAL OUTLAY			
5311.	330.	430631.		930. 000	IMPROVEMENTS			
5311.	330.	430631.		930. 191	UNIVERSITY FORCE MAIN			
5311.	330.	430631.		930. 201	OWEN ST MAIN REPLACE/UPGRADE			
5311.	330.	430631.		930. 202	N RUSSELL MAIN REPLACEMENT			
5311.	330.	430633.			SEWER MAIN EXTENSIONS			
5311.	330.	430633.		300	PURCHASED SERVICES			
5311.	330.	430633.		360. 000	REPAIR & MAINTENANCE			
5311.	330.	430633.		900	CAPITAL OUTLAY			
5311.	330.	430633.		930. 191	W BROADWAY & MAPLE EXTENSION			
5311.	330.	430637.			SEWAGE LIFT STATION UPGRADE/REHAB			
5311.	330.	430637.		900	CAPITAL OUTLAY			
5311.	330.	430637.		930. 000	IMPROVEMENTS			
5311.	330.	430637.		930. 191	RESERVE ST LIFT STATION			
5311.	330.	430637.		930. 202	GRANT CREEK LIFT STATION			
5311.	330.	430639.			COLLECTION & TREATMENT MISC PROJECTS			
5311.	330.	430639.		300	PURCHASED SERVICES			
5311.	330.	430639.		900	CAPITAL OUTLAY			
5311.	330.	430639.		930. 000	IMPROVEMENTS			
5311.	330.	430640.			TREATMENT AND DISPOSAL			
5311.	330.	430640.		100	PERSONAL SERVICES			
5311.	330.	430640.		110. 000	SALARIES AND WAGES			
5311.	330.	430640.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
5311.	330.	430640.		120. 000	OVERTIME			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5311.	330.	430640.		130. 000	OTHER			
5311.	330.	430640.		140. 000	EMPLOYER CONTRIBUTIONS			
5311.	330.	430640.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
5311.	330.	430640.		200	SUPPLIES			
5311.	330.	430640.		220. 000	OPERATING SUPPLIES			
5311.	330.	430640.		230. 000	REPAIR/MAINTENANCE			
5311.	330.	430640.		231. 000	GASOLINE			
5311.	330.	430640.		240. 000	OTHER SUPPLIES			
5311.	330.	430640.		300	PURCHASED SERVICES			
5311.	330.	430640.		310. 000	COMMUNICATIONS			
5311.	330.	430640.		320. 000	PRINTING & DUPLICATING			
5311.	330.	430640.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
5311.	330.	430640.		341. 000	ELECTRICITY & NATURAL GAS			
5311.	330.	430640.		343. 000	WATER CHARGES			
5311.	330.	430640.		344. 000	TELEPHONE SERVICE			
5311.	330.	430640.		345. 000	GARBAGE			
5311.	330.	430640.		350. 000	PROFESSIONAL SERVICES			
5311.	330.	430640.		360. 000	REPAIR & MAINTENANCE			
5311.	330.	430640.		370. 000	TRAVEL			
5311.	330.	430640.		380. 000	TRAINING			
5311.	330.	430640.		500	FIXED CHARGES			
5311.	330.	430640.		500. 000	FIXED CHARGES			
5311.	330.	430640.		530. 000	RENT			
5311.	330.		430641	PLANT IMPROVEMENTS/ UPGRADES				
5311.	330.	430641.		900	CAPITAL OUTLAY			
5311.	330.	430641.		930. 201	PELS ETHERNET UPGRADE			
5311.	330.	430641.		930. 202	LIGHTING LED			
5311.	330.		430643	EQUIPMENT IMPROVEMENTS/REPLACEMENT				
5311.	330.	430643.		900	CAPITAL OUTLAY			
5311.	330.	430643.		930. 000	IMPROVEMENTS			
5311.	330.	430643.		930. 191	TROMMEL SCREEN			
5311.	330.	430643.		930. 201	CENTERFUGE REBUILD			
5311.	330.	430643.		930. 202	INFLUENT PUMP UPGRADE			
5311.	330.		430649	MISCELLANEUOS PROJECTS				
5311.	330.	430649.		900	CAPITAL OUTLAY			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5311.	330.	430649.		930.	000 IMPROVEMENTS			
5311.	330.	430650.			LAB & TESTING			
5311.	330.	430650.		100	PERSONAL SERVICES			
5311.	330.	430650.		110.	000 SALARIES AND WAGES			
5311.	330.	430650.		115.	000 SALARIES/HEALTH INSURANCE BENEFIT			
5311.	330.	430650.		120.	000 OVERTIME			
5311.	330.	430650.		140.	000 EMPLOYER CONTRIBUTIONS			
5311.	330.	430650.		141.	000 STATE RETIREMENT CONTRIBUTIONS			
5311.	330.	430650.		200	SUPPLIES			
5311.	330.	430650.		220.	000 OPERATING SUPPLIES			
5311.	330.	430650.		230.	000 REPAIR/MAINTENANCE			
5311.	330.	430650.		235.	000 VEHICLE REPAIR/MAINTENANCE			
5311.	330.	430650.		300	PURCHASED SERVICES			
5311.	330.	430650.		310.	000 COMMUNICATIONS			
5311.	330.	430650.		320.	000 PRINTING & DUPLICATING			
5311.	330.	430650.		330.	000 PUBLICITY SUBSCRIPTIONS & DUES			
5311.	330.	430650.		350.	000 PROFESSIONAL SERVICES			
5311.	330.	430650.		360.	000 REPAIR & MAINTENANCE			
5311.	330.	430650.		370.	000 TRAVEL			
5311.	330.	430650.		380.	000 TRAINING			
5311.	330.	430650.		700	GRANTS & CONTRIBUTIONS			
5311.	330.	430650.		700.	000 GRANTS & CONTRIBUTIONS			
5311.	330.	430660.			COMPOST			
5311.	330.	430660.		100	PERSONAL SERVICES			
5311.	330.	430660.		110.	000 SALARIES AND WAGES			
5311.	330.	430660.		120.	000 OVERTIME			
5311.	330.	430660.		130.	000 OTHER			
5311.	330.	430660.		140.	000 EMPLOYER CONTRIBUTIONS			
5311.	330.	430660.		141.	000 STATE RETIREMENT CONTRIBUTIONS			
5311.	330.	430660.		200	SUPPLIES			
5311.	330.	430660.		210.	000 OFFICE SUPPLIES			
5311.	330.	430660.		220.	000 OPERATING SUPPLIES			
5311.	330.	430660.		230.	000 REPAIR/MAINTENANCE			
5311.	330.	430660.		231.	000 GASOLINE			
5311.	330.	430660.		235.	000 VEHICLE REPAIR/MAINTENANCE			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5311.	330.	430660.		240. 000	OTHER SUPPLIES			
5311.	330.	430660.		300	PURCHASED SERVICES			
5311.	330.	430660.		310. 000	COMMUNICATIONS			
5311.	330.	430660.		320. 000	PRINTING & DUPLICATING			
5311.	330.	430660.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
5311.	330.	430660.		341. 000	ELECTRICITY & NATURAL GAS			
5311.	330.	430660.		344. 000	TELEPHONE SERVICE			
5311.	330.	430660.		345. 000	GARBAGE			
5311.	330.	430660.		350. 000	PROFESSIONAL SERVICES			
5311.	330.	430660.		360. 000	REPAIR & MAINTENANCE			
5311.	330.	430660.		370. 000	TRAVEL			
5311.	330.	430660.		380. 000	TRAINING			
5311.	330.	430660.		500	FIXED CHARGES			
5311.	330.	430660.		500. 000	FIXED CHARGES			
5311.	330.	430660.		530. 000	RENT			
5311.	330.	430660.		600	DEBT SERVICE			
5311.	330.	430660.		900	CAPITAL OUTLAY			
5311.	330.	430660.		930. 000	IMPROVEMENTS			
5311.	330.	430660.		940. 000	MACHINERY & EQUIPMENT			
5311.	330.	430669			COMPOST MISC IMPROVEMENTS			
5311.	330.	430669.		900	CAPITAL OUTLAY			
5311.	330.	430669.		930. 000	COMPOST MISC. IMPROVEMENTS			
5311.	330.	430691			R&D MISC. SEWER REPAIRS			
5311.	330.	430691.		300	PURCHASED SERVICES			
5311.	330.	430691.		360. 000	REPAIR & MAINTENANCE			
5311.	330.	430691.		900	CAPITAL OUTLAY			
5311.	330.	430691.		930. 000	MISC. SEWER REPAIRS R&D			
5311.	330.	430693			MISC. PLANT REPAIRS - R&D			
5311.	330.	430693.		300	PURCHASED SERVICES			
5311.	330.	430693.		360. 000	REPAIR & MAINTENANCE			
5311.	330.	430693.		900	CAPITAL OUTLAY			
5311.	330.	430693.		930. 000	IMPROVEMENTS			
5311.	330.	439000			PUBLIC WORKS ONETIME EXPENSES			
5311.	330.	439000.		300	PURCHASED SERVICES			
5311.	330.	439000.		900	CAPITAL OUTLAY			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5311.	330.	439000.		940. 000	MACHINERY & EQUIPMENT			
5311.	330.	490200			REVENUE BOND DEBT SERVICE			
5311.	330.	490200.		600	DEBT SERVICE			
5311.	330.	490200.		610. 000	PRINCIPAL			
5311.	330.	490200.		620. 000	INTEREST / SERVICE FEES			
5311.	330.	490502			CAPITAL LEASE DEBT SERVICE			
5311.	330.	490502.		600	DEBT SERVICE			
5311.	330.	490502.		610. 000	PRINCIPAL			
5311.	330.	490502.		620. 000	INTEREST / SERVICE FEES			
5311.	330.	490506			CORE FINANCED EQUIPMENT			
5311.	330.	490506.		600	DEBT SERVICE			
5311.	330.	490506.		610. 000	PRINCIPAL			
5311.	330.	490506.		620. 000	INTEREST / SERVICE FEES			
5311.	330.	490508			EKO COMPOST PURCHASE			
5311.	330.	490508.		600	DEBT SERVICE			
5311.	330.	490508.		610. 000	PRINCIPAL			
5311.	330.	490508.		620. 000	INTEREST / SERVICE FEES			
5311.	330.	510110			MERCHANT SERVICES			
5311.	330.	510110.		500	FIXED CHARGES			
5311.	330.	510110.		500. 000	FIXED CHARGES			
5315 SEWER LOAN FUND								
	330	WASTEWATER\ COMPOST UTILITY						
5315.	330.	430670			CUSTOMER ACCOUNTING & COLLECTION			
5315.	330.	430670.		300	PURCHASED SERVICES			
5315.	330.	430670.		800	OTHER OBJECTS			
5325 SEWER DEVELOPMENT FEE FUND								
	330	WASTEWATER\ COMPOST UTILITY						
5325.	330.	430623			UPDATE/IMPROVE EXISTING FACILITY			
5325.	330.	430623.		800	OTHER OBJECTS			
5325.	330.	430623.		820. 000	TRANSFERS TO OTHER FUNDS			
5325.	330.	430631			SEWER MAIN REPLACE/UPGRADE			
5325.	330.	430631.		700	GRANTS & CONTRIBUTIONS			
5325.	330.	430631.		800	OTHER OBJECTS			
5325.	330.	430631.		820. 000	MAIN REPLACEMENT			
5325.	330.	430633			SEWER MAIN EXTENSIONS			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5325.	330.	430633.		700	GRANTS & CONTRIBUTIONS			
5325.	330.	430633.		800	OTHER OBJECTS			
5325.	330.	430633.		820. 000	TRANSFERS TO OTHER FUNDS			
5325.	330.	430635.		700	GRANTS & CONTRIBUTIONS			
5325.	330.	430637.		800	OTHER OBJECTS			
5325.	330.	430637.		820. 000	TRANSFERS TO OTHER FUNDS			
5450 STORMWATER UTILITIY								
	334	STORM WATER						
5450.	334.	430210.		100	PERSONAL SERVICES			
5450.	334.	430210.		110. 000	SALARIES AND WAGES			
5450.	334.	430210.		115. 000	SALARIES/HEALTH INSURANCE BENEFIT			
5450.	334.	430210.		120. 000	OVERTIME			
5450.	334.	430210.		130. 000	OTHER			
5450.	334.	430210.		140. 000	EMPLOYER CONTRIBUTIONS			
5450.	334.	430210.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
5450.	334.	430210.		200	SUPPLIES			
5450.	334.	430210.		210. 000	OFFICE SUPPLIES			
5450.	334.	430210.		220. 000	OPERATING SUPPLIES			
5450.	334.	430210.		231. 000	GASOLINE			
5450.	334.	430210.		240. 000	OTHER SUPPLIES			
5450.	334.	430210.		300	PURCHASED SERVICES			
5450.	334.	430210.		310. 000	COMMUNICATIONS			
5450.	334.	430210.		320. 000	PRINTING & DUPLICATING			
5450.	334.	430210.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
5450.	334.	430210.		344. 000	TELEPHONE SERVICE			
5450.	334.	430210.		350. 000	PROFESSIONAL SERVICES			
5450.	334.	430210.		360. 000	REPAIR & MAINTENANCE			
5450.	334.	430210.		370. 000	TRAVEL			
5450.	334.	430210.		380. 000	TRAINING			
5450.	334.	430210.		500	FIXED CHARGES			
5450.	334.	430210.		500. 000	FIXED CHARGES			
5450.	334.	430210.		550. 000	MERCHANT SERVICE FEES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5450.	334.	430210.		600		DEBT SERVICE		
5450.	334.	430210.		610.	000	PRINCIPAL		
5450.	334.	430210.		620.	000	INTEREST / SERVICE FEES		
5450.	334.	430210.		700		GRANTS & CONTRIBUTIONS		
5450.	334.	430210.		700.	000	GRANTS & CONTRIBUTIONS		
5450.	334.	430210.		800		OTHER OBJECTS		
5450.	334.	430210.		820.	000	TRANSFERS TO OTHER FUNDS		
5450.	334.	430210.		900		CAPITAL OUTLAY		
5450.	334.	430235	STORM DRAINAGE					
5450.	334.	430235.		100		PERSONAL SERVICES		
5450.	334.	430235.		110.	000	SALARIES AND WAGES		
5450.	334.	430235.		130.	000	OTHER		
5450.	334.	430235.		140.	000	EMPLOYER CONTRIBUTIONS		
5450.	334.	430235.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
5450.	334.	430235.		200		SUPPLIES		
5450.	334.	430235.		300		PURCHASED SERVICES		
5450.	334.	430235.		900		CAPITAL OUTLAY		
5450.	334.	430235.		930.	000	IMPROVEMENTS		
5450.	334.	430235.		930.	182	FACILITY RATE STUDY		
5450.	334.	430235.		930.	191	UPPER GHARRETT DRAIN IMPROVEMENTS		
5450.	334.	430246	STORM WATER MAINTENANCE					
5450.	334.	430246.		100		PERSONAL SERVICES		
5450.	334.	430246.		200		SUPPLIES		
5450.	334.	430246.		220.	000	OPERATING SUPPLIES		
5450.	334.	430246.		231.	000	GASOLINE		
5450.	334.	430246.		235.	000	VEHICLE REPAIR/MAINTENANCE		
5450.	334.	430246.		300		PURCHASED SERVICES		
5450.	334.	430246.		345.	000	GARBAGE		
5450.	334.	430246.		350.	000	PROFESSIONAL SERVICES		
5450.	334.	430246.		360.	000	REPAIR & MAINTENANCE		
5450.	334.	430554	PUBLIC WORKS SALARY RESERVE					
5450.	334.	430554.		100		PERSONAL SERVICES		
5450.	334.	430554.		110.	000	SALARIES AND WAGES		
5450.	334.	430554.		140.	000	EMPLOYER CONTRIBUTIONS		
5450.	334.	431209	*** Title Not Found ***					

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5450.	334.	431209.		900		CAPITAL OUTLAY		
5450.	334.	431209.		930.	000	IMPROVEMENTS		
5450.	334.	431210	CARAS PARK			STORM WATER RETROFITS		
5450.	334.	431210.		300		PURCHASED SERVICES		
5450.	334.	431210.		800		OTHER OBJECTS		
5450.	334.	431210.		900		CAPITAL OUTLAY		
5450.	334.	431210.		930.	000	CARAS PARK OUTFALL		
5450.	334.	439000	PUBLIC WORKS			ONETIME EXPENSES		
5450.	334.	439000.		300		PURCHASED SERVICES		
5450.	334.	439000.		350.	000	PROFESSIONAL SERVICES		
5450.	334.	510400	DEPRECIATION					
5450.	334.	510400.		800		OTHER OBJECTS		
5711	AQUATICS							
	370	PARKS & RECREATION						
5711.	370.	460445	*** Title Not Found ***					
5711.	370.	460445.		900		CAPITAL OUTLAY		
5711.	370.	460445.		930.	000	IMPROVEMENTS		
5711.	370.	460449	GRILL VAN					
5711.	370.	460449.		100		PERSONAL SERVICES		
5711.	370.	460449.		200		SUPPLIES		
5711.	370.	460449.		300		PURCHASED SERVICES		
5711.	370.	460477	CONCESSIONS					
5711.	370.	460477.		100		PERSONAL SERVICES		
5711.	370.	460477.		110.	000	SALARIES AND WAGES		
5711.	370.	460477.		120.	000	OVERTIME		
5711.	370.	460477.		140.	000	EMPLOYER CONTRIBUTIONS		
5711.	370.	460477.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
5711.	370.	460477.		200		SUPPLIES		
5711.	370.	460477.		220.	000	OPERATING SUPPLIES		
5711.	370.	460477.		300		PURCHASED SERVICES		
5711.	370.	460477.		341.	000	GRILL VAN/ELECTRICITY & NATURAL GAS		
5711.	370.	460477.		360.	000	GRILL VAN/REPAIR & MAINTENANCE		
5711.	370.	460477.		900		CAPITAL OUTLAY		
5711.	370.	460490	CURRENTS POOL EXPENSES					
5711.	370.	460490.		100		PERSONAL SERVICES		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5711.	370.	460490.		110.	000	SALARIES AND WAGES		
5711.	370.	460490.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
5711.	370.	460490.		120.	000	OVERTIME		
5711.	370.	460490.		130.	000	OTHER		
5711.	370.	460490.		140.	000	EMPLOYER CONTRIBUTIONS		
5711.	370.	460490.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
5711.	370.	460490.		200		SUPPLIES		
5711.	370.	460490.		210.	000	OFFICE SUPPLIES		
5711.	370.	460490.		220.	000	OPERATING SUPPLIES		
5711.	370.	460490.		230.	000	REPAIR/MAINTENANCE		
5711.	370.	460490.		232.	000	JANITORIAL SUPPLIES		
5711.	370.	460490.		240.	000	OTHER SUPPLIES		
5711.	370.	460490.		300		PURCHASED SERVICES		
5711.	370.	460490.		310.	000	COMMUNICATIONS		
5711.	370.	460490.		320.	000	PRINTING & DUPLICATING		
5711.	370.	460490.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
5711.	370.	460490.		340.	000	WASTEWATER		
5711.	370.	460490.		341.	000	ELECTRICITY & NATURAL GAS		
5711.	370.	460490.		343.	000	WATER CHARGES		
5711.	370.	460490.		344.	000	TELEPHONE SERVICE		
5711.	370.	460490.		345.	000	GARBAGE		
5711.	370.	460490.		350.	000	PROFESSIONAL SERVICES		
5711.	370.	460490.		360.	000	REPAIR & MAINTENANCE		
5711.	370.	460490.		370.	000	TRAVEL		
5711.	370.	460490.		380.	000	TRAINING		
5711.	370.	460490.		390.	000	OTHER PURCHASED SERVICES		
5711.	370.	460490.		500		FIXED CHARGES		
5711.	370.	460490.		500.	000	FIXED CHARGES		
5711.	370.	460490.		800		OTHER OBJECTS		
5711.	370.	460490.		900		CAPITAL OUTLAY		
5711.	370.	460490.		930.	000	IMPROVEMENTS		
5711.	370.	460491				SPLASH POOLS EXPENSES		
5711.	370.	460491.		100		PERSONAL SERVICES		
5711.	370.	460491.		110.	000	SALARIES AND WAGES		
5711.	370.	460491.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5711.	370.	460491.		120. 000	OVERTIME			
5711.	370.	460491.		130. 000	OTHER			
5711.	370.	460491.		140. 000	EMPLOYER CONTRIBUTIONS			
5711.	370.	460491.		141. 000	STATE RETIREMENT CONTRIBUTIONS			
5711.	370.	460491.		200	SUPPLIES			
5711.	370.	460491.		210. 000	OFFICE SUPPLIES			
5711.	370.	460491.		220. 000	OPERATING SUPPLIES			
5711.	370.	460491.		230. 000	REPAIR/MAINTENANCE			
5711.	370.	460491.		232. 000	JANITORIAL SUPPLIES			
5711.	370.	460491.		300	PURCHASED SERVICES			
5711.	370.	460491.		310. 000	COMMUNICATIONS			
5711.	370.	460491.		320. 000	PRINTING & DUPLICATING			
5711.	370.	460491.		330. 000	PUBLICITY SUBSCRIPTIONS & DUES			
5711.	370.	460491.		340. 000	WASTEWATER			
5711.	370.	460491.		341. 000	ELECTRICITY & NATURAL GAS			
5711.	370.	460491.		343. 000	WATER CHARGES			
5711.	370.	460491.		344. 000	TELEPHONE SERVICE			
5711.	370.	460491.		345. 000	GARBAGE			
5711.	370.	460491.		350. 000	PROFESSIONAL SERVICES			
5711.	370.	460491.		360. 000	REPAIR & MAINTENANCE			
5711.	370.	460491.		380. 000	TRAINING			
5711.	370.	460491.		390. 000	OTHER PURCHASED SERVICES			
5711.	370.	460491.		500	FIXED CHARGES			
5711.	370.	460491.		500. 000	FIXED CHARGES			
5711.	370.	460491.		800	OTHER OBJECTS			
5711.	370.	460491.		900	CAPITAL OUTLAY			
5711.	370.	460491.		940. 000	MACHINERY & EQUIPMENT			
5711.	370.	460493			AQUATICS MAINTENANCE			
5711.	370.	460493.		300	PURCHASED SERVICES			
5711.	370.	460493.		500	FIXED CHARGES			
5711.	370.	460493.		900	CAPITAL OUTLAY			
5711.	370.	460493.		920. 000	BUILDINGS			
5711.	370.	460493.		930. 000	IMPROVEMENTS			
5711.	370.	460512			PARK MEMORIALS			
5711.	370.	460512.		200	SUPPLIES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
5711.	370.	460512.		300	PURCHASED SERVICES			
5711.	370.	460512.		900	CAPITAL OUTLAY			
5711.	370.	460519	AQUATICS CAPITAL					
5711.	370.	460519.		900	CAPITAL OUTLAY			
5711.	370.	460554	CULTURE & RECREATION SALARY RESERVE					
5711.	370.	460554.		100	PERSONAL SERVICES			
5711.	370.	460554.		110. 000	SALARIES AND WAGES			
5711.	370.	460554.		140. 000	EMPLOYER CONTRIBUTIONS			
5711.	370.	490506	CORE FINANCED EQUIPMENT					
5711.	370.	490506.		600	DEBT SERVICE			
5711.	370.	510110	MERCHANT SERVICES					
5711.	370.	510110.		500	FIXED CHARGES			
5711.	370.	510110.		550. 000	MERCHANT SERVICE FEES			
5711.	370.	510306	SALARY RESERVE					
5711.	370.	510306.		100	PERSONAL SERVICES			
		390	NON-DEPARTMENTAL					
5711.	390.	510000	MISCELLANEOUS					
5711.	390.	510000.		800	OTHER OBJECTS			
5711.	390.	510000.		900	CAPITAL OUTLAY			
6050			EMPLOYEE BENEFIT PLAN FUND					
		390	NON-DEPARTMENTAL					
6050.	390.	510110	MERCHANT SERVICES					
6050.	390.	510110.		500	FIXED CHARGES			
6050.	390.	520800	EMPLOYEE BENEFITS					
6050.	390.	520800.		300	PURCHASED SERVICES			
6050.	390.	520800.		350. 000	PROFESSIONAL SERVICES			
6050.	390.	520800.		351. 000	INSURANCE CLAIMS			
6050.	390.	520800.		352. 000	HEALTH PROGRAMS			
6050.	390.	520800.		353. 000	ADMINISTRATION EXPENDITURES			
6050.	390.	520800.		354. 000	TRANSITIONAL REINSURANCE PROGRAM			
6050.	390.	520800.		800	OTHER OBJECTS			
7370			PARKING COMMISSION FUND					
		395	PARKING COMMISSION					
7370.	395.	430266	PARKING DIVISION					
7370.	395.	430266.		100	PERSONAL SERVICES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7370.	395.	430266.		110.	000	SALARIES AND WAGES		
7370.	395.	430266.		115.	000	SALARIES/HEALTH INSURANCE BENEFIT		
7370.	395.	430266.		120.	000	OVERTIME		
7370.	395.	430266.		140.	000	EMPLOYER CONTRIBUTIONS		
7370.	395.	430266.		141.	000	STATE RETIREMENT CONTRIBUTIONS		
7370.	395.	430266.		200		SUPPLIES		
7370.	395.	430266.		210.	000	OFFICE SUPPLIES		
7370.	395.	430266.		220.	000	OPERATING SUPPLIES		
7370.	395.	430266.		220.	311	CLOTHING SUPPLIES		
7370.	395.	430266.		230.	000	REPAIR/MAINTENANCE		
7370.	395.	430266.		231.	000	GASOLINE		
7370.	395.	430266.		300		PURCHASED SERVICES		
7370.	395.	430266.		310.	000	COMMUNICATIONS		
7370.	395.	430266.		320.	000	PRINTING & DUPLICATING		
7370.	395.	430266.		330.	000	PUBLICITY SUBSCRIPTIONS & DUES		
7370.	395.	430266.		340.	000	WASTEWATER		
7370.	395.	430266.		341.	000	ELECTRICITY & NATURAL GAS		
7370.	395.	430266.		343.	000	WATER CHARGES		
7370.	395.	430266.		343.	717	MARKET ON FRONT WATER CHARGES		
7370.	395.	430266.		344.	000	TELEPHONE SERVICE		
7370.	395.	430266.		345.	000	GARBAGE		
7370.	395.	430266.		345.	717	GARBAGE		
7370.	395.	430266.		350.	000	PROFESSIONAL SERVICES		
7370.	395.	430266.		350.	303	PROFESSIONAL SERVICES		
7370.	395.	430266.		350.	700	ACCOUNTING		
7370.	395.	430266.		350.	701	PROFESSIONAL SERVICES		
7370.	395.	430266.		350.	702	SECURITY FOR GARAGES		
7370.	395.	430266.		350.	703	STATE LICENSE INQUIRY		
7370.	395.	430266.		360.	000	REPAIR & MAINTENANCE		
7370.	395.	430266.		360.	712	REPAIR & MAINTENANCE		
7370.	395.	430266.		360.	713	REPAIR & MAINTENANCE		
7370.	395.	430266.		360.	714	BANK ST/REPAIR & MAINTENANCE		
7370.	395.	430266.		360.	716	REPAIR & MAINTENANCE		
7370.	395.	430266.		370.	000	TRAVEL		
7370.	395.	430266.		380.	000	TRAINING		

City of Missoula

Detailed list of Expenditure Codes

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7370.	395.	430266.		390. 000	OTHER PURCHASED SERVICES			
7370.	395.	430266.		390. 044	JANITORIAL			
7370.	395.	430266.		390. 720	OTHER PURCHASED SERVICES			
7370.	395.	430266.		500	FIXED CHARGES			
7370.	395.	430266.		500. 000	FIXED CHARGES			
7370.	395.	430266.		500. 733	FIXED CHARGES			
7370.	395.	430266.		500. 734	FIXED CHARGES			
7370.	395.	430266.		510. 000	INSURANCE			
7370.	395.	430266.		600	DEBT SERVICE			
7370.	395.	430266.		610. 000	LEASE/PRINCIPAL			
7370.	395.	430266.		620. 000	LEASE INTEREST			
7370.	395.	430266.		700	GRANTS & CONTRIBUTIONS			
7370.	395.	430266.		700. 000	GRANTS & CONTRIBUTIONS			
7370.	395.	430266.		800	OTHER OBJECTS			
7370.	395.	430266.		820. 000	TRANSFERS TO OTHER FUNDS			
7370.	395.	430266.		845. 000	CONTINGENCY			
7370.	395.	430266.		900	CAPITAL OUTLAY			
7370.	395.	430266.		940. 000	MACHINERY & EQUIPMENT			
7370.	395.	430268			PARKING EQUIPMENT REPLACE/ UPGRADE			
7370.	395.	430268.		300	PURCHASED SERVICES			
7370.	395.	430554			PUBLIC WORKS SALARY RESERVE			
7370.	395.	430554.		100	PERSONAL SERVICES			
7370.	395.	430554.		110. 000	SALARIES AND WAGES			
7370.	395.	430554.		140. 000	EMPLOYER CONTRIBUTIONS			
7370.	395.	510110			MERCHANT SERVICES			
7370.	395.	510110.		500	FIXED CHARGES			
7370.	395.	510110.		550. 000	MERCHANT SERVICE FEES			
	900				DEPRECIATION			
7370.	900.	510000			MISCELLANEOUS			
7370.	900.	510000.		800	OTHER OBJECTS			
7370.	900.	510000.		900	CAPITAL OUTLAY			
7370.	900.	510000.		940. 000	MACHINERY & EQUIPMENT-FIXED ASSETS			
7371					FRONT STREET PARKING BONDS			
	395				PARKING COMMISSION			
7371.	395.	490200			REVENUE BOND DEBT SERVICE			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7371.	395.	490200.		600	DEBT SERVICE			
7371.	395.	490200.		620. 000	INTEREST / SERVICE FEES			
7371.	395.	490201			SERIES 2014 MPC DEBT			
7371.	395.	490201.		500	FIXED CHARGES			
7371.	395.	490201.		600	DEBT SERVICE			
7371.	395.	490201.		620. 000	INTEREST / SERVICE FEES			
7372 SINKING FUND/FRONT ST PARKING BONDS								
	395				PARKING COMMISSION			
7372.	395.	490201			SERIES 2014 MPC DEBT			
7372.	395.	490201.		600	DEBT SERVICE			
7372.	395.	490201.		610. 000	SERIES 2014 BOND-PRINCIPAL			
7373 MPC SERIES 2010B CONSTRUCTION								
	395				PARKING COMMISSION			
7373.	395.	430266			PARKING DIVISION			
7373.	395.	430266.		600	DEBT SERVICE			
7375 PLEDGED TAX INCREMENT-2010B BOND								
	395				PARKING COMMISSION			
7375.	395.	430266			PARKING DIVISION			
7375.	395.	430266.		800	OTHER OBJECTS			
7375.	395.	430266.		845. 000	CONTINGENCY			
7380 BUSINESS IMPROVEMENT DISTRICT								
	375				BUSINESS IMPROVEMENT DISTRICT			
7380.	375.	471210			BUSINESS IMPROVEMENT DISTRICT			
7380.	375.	471210.		300	PURCHASED SERVICES			
7380.	375.	471210.		345. 000	GARBAGE			
7380.	375.	471210.		700	GRANTS & CONTRIBUTIONS			
7380.	375.	471210.		700. 000	GRANTS & CONTRIBUTIONS			
7380.	375.	471220			BID MARKETING			
7380.	375.	471220.		300	PURCHASED SERVICES			
7380.	375.	471230			STREETSCAPE MAINTENANCE-BID			
7380.	375.	471230.		300	PURCHASED SERVICES			
7380.	375.	471240			SAFETY-BID			
7380.	375.	471240.		300	PURCHASED SERVICES			
7380.	375.	471240.		350. 000	PROFESSIONAL SERVICES - BID SAFETY			
7381 TOURISM BUSINESS IMPROVEMENT DISTRICT								

City of Missoula

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
375 BUSINESS IMPROVEMENT DISTRICT								
7381.	375.			471210	BUSINESS IMPROVEMENT DISTRICT			
7381.	375.			471210.		300		PURCHASED SERVICES
7381.	375.			471210.		390.	000	OTHER PURCHASED SERVICES
7383 RIVERFRONT TRIANGLE URD								
385 MRA								
7383.	385.			470210	ADMINISTRATION			
7383.	385.			470210.		800		OTHER OBJECTS
7383.	385.			470210.		820.	000	TRANSFERS TO OTHER FUNDS
7383.	385.			470230	PW FACILITY			
7383.	385.			470230.		800		OTHER OBJECTS
7383.	385.			470230.		845.	000	CONTINGENCY
7383.	385.			470230.		900		CAPITAL OUTLAY
7383.	385.			470260	PLANNING & MGMT			
7383.	385.			470260.		300		PURCHASED SERVICES
7383.	385.			470260.		700		GRANTS & CONTRIBUTIONS
7383.	385.			470260.		800		OTHER OBJECTS
7383.	385.			470270	CLEARING & DEMO			
7383.	385.			470270.		800		OTHER OBJECTS
7383.	385.			470320	ECONOMIC DEVELOPMENT LOANS			
7383.	385.			470320.		700		GRANTS & CONTRIBUTIONS
7384 NRSS DEBT SERVICE CLEARING								
385 MRA								
7384.	385.			521009	TRANFERS TO DEBT SERVICE			
7384.	385.			521009.		800		OTHER OBJECTS
7384.	385.			521009.		820.	000	TRANSFERS TO DEBT SERVICE
7384.	385.			521010	TRANSFERS TO MRA			
7384.	385.			521010.		800		OTHER OBJECTS
7384.	385.			521010.		820.	000	TRANSFERS TO MRA (NRSS)
7385 FRONT STREET URD								
385 MRA								
7385.	385.			470210	ADMINISTRATION			
7385.	385.			470210.		800		OTHER OBJECTS
7385.	385.			470213	FRONT ST HOUSING - 2017C STUDENT HOUSE			
7385.	385.			470213.		300		PURCHASED SERVICES

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7385.	385.	470213.		900	CAPITAL OUTLAY			
7385.	385.	470214			2018 MERC HOTEL			
7385.	385.	470214.		300	PURCHASED SERVICES			
7385.	385.	470214.		700	GRANTS & CONTRIBUTIONS			
7385.	385.	470230			PW FACILITY			
7385.	385.	470230.		300	PURCHASED SERVICES			
7385.	385.	470230.		700	GRANTS & CONTRIBUTIONS			
7385.	385.	470230.		700. 000	PROJECT EXPENSE-PUBLIC WORKS			
7385.	385.	470230.		800	OTHER OBJECTS			
7385.	385.	470230.		845. 000	CONTINGENCY			
7385.	385.	470230.		900	CAPITAL OUTLAY			
7385.	385.	470260			PLANNING & MGMT			
7385.	385.	470260.		300	PURCHASED SERVICES			
7385.	385.	470260.		700	GRANTS & CONTRIBUTIONS			
7385.	385.	470260.		700. 000	PLANNING & MGMT/GRANTS & CONTRIBUTIONS			
7385.	385.	470260.		800	OTHER OBJECTS			
7385.	385.	470270			CLEARING & DEMO			
7385.	385.	470270.		700	GRANTS & CONTRIBUTIONS			
7385.	385.	470270.		700. 000	CLEARING & DEMO/GRANTS & CONTRIBUTIONS			
7385.	385.	470270.		800	OTHER OBJECTS			
7386	DEBT SERVICE-SAFEWAY/ST PAT 1.5M							
	385	MRA						
7386.	385.	490200			REVENUE BOND DEBT SERVICE			
7386.	385.	490200.		600	DEBT SERVICE			
7386.	385.	490200.		610. 000	PRINCIPAL			
7386.	385.	490200.		620. 000	INTEREST / SERVICE FEES			
	390	NON-DEPARTMENTAL						
7386.	390.	490200			DEBT SERVICE-SAFEWAY/ST PAT 1.5M			
7386.	390.	490200.		600	DEBT SERVICE			
7386.	390.	490200.		610. 000	PRINCIPAL			
7386.	390.	490200.		620. 000	INTEREST / SERVICE FEES			
7386.	390.	490510			DS PAYMENTS TO GUARANTOR			
7386.	390.	490510.		600	DEBT SERVICE			
7386.	390.	490510.		610. 000	PRINCIPAL			
7387	DEBT SERVICE-BROWNFIELD RLF 1.125M							

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
385 MRA								
7387.	385.			490200	REVENUE BOND DEBT SERVICE			
7387.	385.			490200.		600		DEBT SERVICE
7387.	385.			490200.		610.	000	PRINCIPAL
7387.	385.			490200.		620.	000	INTEREST / SERVICE FEES
7389 DEBT SERVICE - 3.6M/5.75M								
385 MRA								
7389.	385.			490200	REVENUE BOND DEBT SERVICE			
7389.	385.			490200.		600		DEBT SERVICE
7389.	385.			490200.		610.	000	PRINCIPAL
7389.	385.			490200.		620.	000	INTEREST / SERVICE FEES
7389.	385.			490210	FY13 \$5.75M DEBT SERVICE			
7389.	385.			490210.		600		DEBT SERVICE
7389.	385.			490210.		610.	000	PRINCIPAL
7389.	385.			490210.		620.	000	INTEREST / SERVICE FEES
7390 URDII CLEARING - 3.6M TIF								
385 MRA								
7390.	385.			490604	TI BOND RESERVE			
7390.	385.			490604.		800		OTHER OBJECTS
7390.	385.			490604.		820.	000	TRANSFERS TO OTHER FUNDS
7390.	385.			490605	*** Title Not Found ***			
7390.	385.			490605.		800		OTHER OBJECTS
7390.	385.			490605.		820.	000	TRANSFERS TO OTHER FUNDS
7390.	385.			490606	*** Title Not Found ***			
7390.	385.			490606.		800		OTHER OBJECTS
7390.	385.			490606.		820.	000	TRANSFERS TO OTHER FUNDS
7390.	385.			490607	TRANSFERS TO BROWNFIELD			
7390.	385.			490607.		800		OTHER OBJECTS
7390.	385.			490607.		820.	000	TRANSFERS TO OTHER FUNDS
7390.	385.			490608	TRANSFERS TO SAFEWA/ST PAT			
7390.	385.			490608.		800		OTHER OBJECTS
7390.	385.			490608.		820.	000	TRANSFERS TO OTHER FUNDS
390 NON-DEPARTMENTAL								
7390.	390.			490606	DEVELOPMENT TRANSFERS			
7390.	390.			490606.		800		OTHER OBJECTS

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7390.	390.	490606.		820.	000	TRANSFERS TO OTHER FUNDS		
7392	MRA - URD II FUND							
	385	MRA						
7392.	385.	470210	ADMINISTRATION					
7392.	385.	470210.		300		PURCHASED SERVICES		
7392.	385.	470210.		700		GRANTS & CONTRIBUTIONS		
7392.	385.	470210.		800		OTHER OBJECTS		
7392.	385.	470210.		820.	000	TRANSFERS TO OTHER FUNDS		
7392.	385.	470220	PROPERTY ACQUISITION					
7392.	385.	470220.		800		OTHER OBJECTS		
7392.	385.	470220.		845.	000	CONTINGENCY		
7392.	385.	470230	PW FACILITY					
7392.	385.	470230.		300		PURCHASED SERVICES		
7392.	385.	470230.		350.	000	PROFESSIONAL SERVICES		
7392.	385.	470230.		700		GRANTS & CONTRIBUTIONS		
7392.	385.	470230.		700.	000	GRANTS & CONTRIBUTIONS		
7392.	385.	470230.		800		OTHER OBJECTS		
7392.	385.	470230.		845.	000	CONTINGENCY		
7392.	385.	470230.		900		CAPITAL OUTLAY		
7392.	385.	470230.		930.	000	IMPROVEMENTS		
7392.	385.	470240	REHAB LOANS					
7392.	385.	470240.		700		GRANTS & CONTRIBUTIONS		
7392.	385.	470240.		700.	000	GRANTS & CONTRIBUTIONS		
7392.	385.	470260	PLANNING & MGMT					
7392.	385.	470260.		300		PURCHASED SERVICES		
7392.	385.	470260.		350.	000	PROFESSIONAL SERVICES		
7392.	385.	470260.		700		GRANTS & CONTRIBUTIONS		
7392.	385.	470260.		700.	000	GRANTS & CONTRIBUTIONS		
7392.	385.	470260.		800		OTHER OBJECTS		
7392.	385.	470260.		845.	000	CONTINGENCY		
7392.	385.	470270	CLEARING & DEMO					
7392.	385.	470270.		700		GRANTS & CONTRIBUTIONS		
7392.	385.	470270.		700.	000	GRANTS & CONTRIBUTIONS		
7392.	385.	470270.		800		OTHER OBJECTS		
7392.	385.	470270.		845.	000	CONTINGENCY		

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7393	MRA - URD III FUND							
		385	MRA					
7393.	385.	470210	ADMINISTRATION					
7393.	385.	470210.	100		PERSONAL SERVICES			
7393.	385.	470210.	110. 000		SALARIES AND WAGES			
7393.	385.	470210.	115. 000		SALARIES/HEALTH INSURANCE BENEFIT			
7393.	385.	470210.	120. 000		OVERTIME			
7393.	385.	470210.	140. 000		EMPLOYER CONTRIBUTIONS			
7393.	385.	470210.	141. 000		STATE RETIREMENT CONTRIBUTIONS			
7393.	385.	470210.	200		SUPPLIES			
7393.	385.	470210.	210. 000		OFFICE SUPPLIES			
7393.	385.	470210.	220. 000		OPERATING SUPPLIES			
7393.	385.	470210.	230. 000		REPAIR/MAINTENANCE			
7393.	385.	470210.	231. 000		GASOLINE			
7393.	385.	470210.	240. 000		OTHER SUPPLIES			
7393.	385.	470210.	300		PURCHASED SERVICES			
7393.	385.	470210.	310. 000		COMMUNICATIONS			
7393.	385.	470210.	320. 000		PRINTING & DUPLICATING			
7393.	385.	470210.	330. 000		PUBLICITY SUBSCRIPTIONS & DUES			
7393.	385.	470210.	341. 000		ELECTRICITY & NATURAL GAS			
7393.	385.	470210.	344. 000		TELEPHONE SERVICE			
7393.	385.	470210.	345. 000		GARBAGE			
7393.	385.	470210.	350. 000		PROFESSIONAL SERVICES			
7393.	385.	470210.	360. 000		REPAIR & MAINTENANCE			
7393.	385.	470210.	370. 000		TRAVEL			
7393.	385.	470210.	380. 000		TRAINING			
7393.	385.	470210.	390. 000		OTHER PURCHASED SERVICES			
7393.	385.	470210.	700		GRANTS & CONTRIBUTIONS			
7393.	385.	470210.	700. 000		GRANTS & CONTRIBUTIONS			
7393.	385.	470220	PROPERTY ACQUISITION					
7393.	385.	470220.	800		OTHER OBJECTS			
7393.	385.	470220.	845. 000		CONTINGENCY			
7393.	385.	470220.	900		CAPITAL OUTLAY			
7393.	385.	470230	PW FACILITY					
7393.	385.	470230.	300		PURCHASED SERVICES			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7393.	385.	470230.		350. 000	PROFESSIONAL SERVICES			
7393.	385.	470230.		700	GRANTS & CONTRIBUTIONS			
7393.	385.	470230.		700. 000	GRANTS & CONTRIBUTIONS			
7393.	385.	470230.		800	OTHER OBJECTS			
7393.	385.	470230.		845. 000	CONTINGENCY			
7393.	385.	470230.		900	CAPITAL OUTLAY			
7393.	385.	470230.		930. 000	IMPROVEMENTS			
7393.	385.	470240.			REHAB LOANS			
7393.	385.	470240.		700	GRANTS & CONTRIBUTIONS			
7393.	385.	470240.		700. 000	GRANTS & CONTRIBUTIONS			
7393.	385.	470260.			PLANNING & MGMT			
7393.	385.	470260.		300	PURCHASED SERVICES			
7393.	385.	470260.		350. 000	PROFESSIONAL SERVICES			
7393.	385.	470260.		700	GRANTS & CONTRIBUTIONS			
7393.	385.	470260.		800	OTHER OBJECTS			
7393.	385.	470260.		845. 000	CONTINGENCY			
7393.	385.	470270.			CLEARING & DEMO			
7393.	385.	470270.		700	GRANTS & CONTRIBUTIONS			
7393.	385.	470270.		700. 000	GRANTS & CONTRIBUTIONS			
7393.	385.	470270.		800	OTHER OBJECTS			
7393.	385.	470270.		845. 000	CONTINGENCY			
7393.	385.	470275.			MARY AVE PROJECT			
7393.	385.	470275.		300	PURCHASED SERVICES			
7393.	385.	470275.		700	GRANTS & CONTRIBUTIONS			
7393.	385.	470275.		800	OTHER OBJECTS			
7393.	385.	470276.			1.6M MARY AVE WEST			
7393.	385.	470276.		900	CAPITAL OUTLAY			
7393.	385.	470276.		930. 000	IMPROVEMENTS			
7393.	385.	470280.			5M SOUTH RESERVE CROSSING			
7393.	385.	470280.		300	PURCHASED SERVICES			
7393.	385.	470280.		700	GRANTS & CONTRIBUTIONS			
7393.	385.	470280.		900	CAPITAL OUTLAY			
7393.	385.	470330.			MRL PROPERTY ACQUISITION			
7393.	385.	470330.		300	PURCHASED SERVICES			
7393.	385.	470330.		350. 000	1.128M MRL PRIVATE LAND PURCHASE			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7393.	385.	470330.		700	GRANTS & CONTRIBUTIONS			
7393.	385.	470330.		800	OTHER OBJECTS			
7393.	385.	470330.		820. 000	TRANSFERS TO OTHER FUNDS			
7393.	385.	470330.		900	CAPITAL OUTLAY			
7393.	385.	470330.		930. 000	IMPROVEMENTS			
7393.	385.	470551		*** Title Not Found ***				
7393.	385.	470551.		100	PERSONAL SERVICES			
7393.	385.	470554		*** Title Not Found ***				
7393.	385.	470554.		100	PERSONAL SERVICES			
7393.	385.	470554.		110. 000	SALARIES AND WAGES			
7393.	385.	470554.		140. 000	EMPLOYER CONTRIBUTIONS			
7394 MRA URD III TI DEBT CLEARING FUND								
	385	MRA						
7394.	385.	521009		TRANFERS TO DEBT SERVICE				
7394.	385.	521009.		800	OTHER OBJECTS			
7394.	385.	521009.		820. 000	TRANSFERS TO OTHER FUNDS			
7394.	385.	521010		TRANSFERS TO MRA				
7394.	385.	521010.		800	OTHER OBJECTS			
7394.	385.	521010.		820. 000	TRANSFERS TO MRA			
7395 MRA TAX INCREMENT DEBT SERVICE								
	385	MRA						
7395.	385.	490200		REVENUE BOND DEBT SERVICE				
7395.	385.	490200.		600	DEBT SERVICE			
7395.	385.	490200.		610. 000	5M SO RESERVE TRAIL CROSSING-PRINCIPAL			
7395.	385.	490200.		620. 000	5M SO RESERVE TRAIL CROSSING-INT/FEES			
7395.	385.	490202		MARY AVENUE DEBT SERVICE				
7395.	385.	490202.		600	DEBT SERVICE			
7395.	385.	490202.		610. 000	PRINCIPAL			
7395.	385.	490202.		620. 000	INTEREST / SERVICE FEES			
7395.	385.	490204		MRA URD III TAX INCREMENT DEBT SRVS				
7395.	385.	490204.		600	DEBT SERVICE			
7395.	385.	490204.		610. 000	1.6m Mary Ave W			
7395.	385.	490204.		620. 000	1.6m Mary Ave W			
7395.	385.	490207		2.6M MRL TAX EXEMPT 2018B				
7395.	385.	490207.		600	DEBT SERVICE			

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7395.	385.	490207.		610. 000	2.6M MRL TAX EXEMPT 2018B			
7395.	385.	490207.		620. 000	2.6M MRL TAX EXEMPT 2018B			
7395.	385.	490208		1.2M MRL TAXABLE 2018A				
7395.	385.	490208.		600	DEBT SERVICE			
7395.	385.	490208.		610. 000	1.2M MRL TAXABLE 2018A			
7395.	385.	490208.		620. 000	1.2M MRL TAXABLE 2018A			
7396 NRSS DEBT SERVICE SINKING FUND								
	385	MRA						
7396.	385.	490602		TI BOND INTEREST				
7396.	385.	490602.		600	DEBT SERVICE			
7396.	385.	490602.		610. 000	SCOTT STREET VILLAGE PHASE 2 & 3			
7396.	385.	490602.		620. 000	SCOTT STREET VILLAGE PHASE 2 & 3			
7396.	385.	490603		TI BOND SINKING				
7396.	385.	490603.		600	DEBT SERVICE			
7396.	385.	490603.		610. 000	PRINCIPAL			
7396.	385.	490603.		620. 000	INTEREST / SERVICE FEES			
7397 NORTH RESERVE/SCOTT ST URD								
	385	MRA						
7397.	385.	470210		ADMINISTRATION				
7397.	385.	470210.		300	PURCHASED SERVICES			
7397.	385.	470210.		700	GRANTS & CONTRIBUTIONS			
7397.	385.	470210.		800	OTHER OBJECTS			
7397.	385.	470210.		820. 000	TRANSFERS TO OTHER FUNDS			
7397.	385.	470220		PROPERTY ACQUISITION				
7397.	385.	470220.		300	PURCHASED SERVICES			
7397.	385.	470220.		700	GRANTS & CONTRIBUTIONS			
7397.	385.	470220.		800	OTHER OBJECTS			
7397.	385.	470220.		845. 000	CONTINGENCY			
7397.	385.	470220.		900	CAPITAL OUTLAY			
7397.	385.	470230		PW FACILITY				
7397.	385.	470230.		300	PURCHASED SERVICES			
7397.	385.	470230.		700	GRANTS & CONTRIBUTIONS			
7397.	385.	470230.		800	OTHER OBJECTS			
7397.	385.	470230.		845. 000	CONTINGENCY			
7397.	385.	470230.		900	CAPITAL OUTLAY			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

Accounts may be created during the year as needed.

Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7397.	385.			470232	CONSUMER DIRECT IMPROVEMENTS			
7397.	385.			470232.	700			GRANTS & CONTRIBUTIONS
7397.	385.			470232.	800			OTHER OBJECTS
7397.	385.			470260	PLANNING & MGMT			
7397.	385.			470260.	700			GRANTS & CONTRIBUTIONS
7397.	385.			470260.	700. 000			GRANTS & CONTRIBUTIONS
7397.	385.			470260.	800			OTHER OBJECTS
7397.	385.			470260.	845. 000			CONTINGENCY
7397.	385.			470270	CLEARING & DEMO			
7397.	385.			470270.	800			OTHER OBJECTS
7397.	385.			470270.	845. 000			CONTINGENCY
7397.	385.			470311	DEVELOPER REIMBURSEMENTS			
7397.	385.			470311.	700			GRANTS & CONTRIBUTIONS
7397.	385.			470311.	700. 000			SCOTT STREET VILLAGE PHASE 2 & 3
7397.	385.			470311.	800			OTHER OBJECTS
7398	HELLGATE URD							
	385	MRA						
7398.	385.			470210	ADMINISTRATION			
7398.	385.			470210.	700			GRANTS & CONTRIBUTIONS
7398.	385.			470210.	800			OTHER OBJECTS
7398.	385.			470210.	820. 000			TRANSFERS TO OTHER FUNDS
7398.	385.			470230	PW FACILITY			
7398.	385.			470230.	800			OTHER OBJECTS
7398.	385.			470230.	845. 000			CONTINGENCY
7398.	385.			470260	PLANNING & MGMT			
7398.	385.			470260.	300			PURCHASED SERVICES
7398.	385.			470260.	700			GRANTS & CONTRIBUTIONS
7398.	385.			470260.	700. 000			GRANTS & CONTRIBUTIONS
7399	INTERMOUNTAIN BOND DEBT SERVICE							
	385	MRA						
7399.	385.			490200	REVENUE BOND DEBT SERVICE			
7399.	385.			490200.	600			DEBT SERVICE
7399.	385.			490200.	610. 000			PRINCIPAL
7399.	385.			490200.	620. 000			INTEREST
7400	FRONT ST BOND CLEARING							

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
		385	MRA					
7400.		385.		470210	ADMINISTRATION			
7400.		385.		470210.		800		OTHER OBJECTS
7400.		385.		470210.		820.	000	TRANSFERS TO OTHER FUNDS
7400.		385.		470210.		820.	605	TRANSFERS TO OTHER FUNDS
7401	FRONT ST PARKING STRUCTURE							
		385	MRA					
7401.		385.		490000	DEBT SERVICE			
7401.		385.		490000.		600		DEBT SERVICE
7401.		385.		490000.		610.	000	PRINCIPAL
7401.		385.		490000.		620.	000	INTEREST / SERVICE FEES
7402	FRONT ST SUBORDINATE LIEN NOTE							
		385	MRA					
7402.		385.		490505	FRONT ST URD \$1.6m REFUNDING A			
7402.		385.		490505.		600		DEBT SERVICE
7402.		385.		490505.		610.	000	PRINCIPAL
7402.		385.		490505.		620.	000	INTEREST / SERVICE FEES
7402.		385.		490506	FRONT ST URD \$1.6m REFUNDING B			
7402.		385.		490506.		600		DEBT SERVICE
7402.		385.		490506.		610.	000	PRINCIPAL
7402.		385.		490506.		620.	000	INTEREST / SERVICE FEES
7402.		385.		490507	SERIES 2019 MERC HOTEL DEBT			
7402.		385.		490507.		600		DEBT SERVICE
7402.		385.		490507.		610.	000	SERIES 2019 MERC PRINCIPAL
7402.		385.		490507.		620.	000	SERIES 2019 MERC INTEREST
7402.		385.		490508	FRONT ST URD DEBT			
7402.		385.		490508.		600		DEBT SERVICE
7402.		385.		490508.		610.	000	2017c 3.26m Student Housing
7402.		385.		490508.		620.	000	2017c 3.26m Student Housing
7410	RIVERFRONT TIB CLEARING							
		385	MRA					
7410.		385.		470211	*** Title Not Found ***			
7410.		385.		470211.		800		OTHER OBJECTS
7410.		385.		470211.		820.	000	TRANSFERS TO OTHER FUNDS
7410.		385.		470212	FRONT ST HOUSING - 2017 B REFUNDING			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

Accounts may be created during the year as needed.

Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7410.	385.	470212.		800	OTHER OBJECTS			
7410.	385.	470212.		820. 000	TRANSFERS TO OTHER FUNDS			
7410.	385.			521009	TRANFERS TO DEBT SERVICE			
7410.	385.	521009.		800	OTHER OBJECTS			
7410.	385.			521010	TRANSFERS TO MRA			
7410.	385.	521010.		800	OTHER OBJECTS			
7410.	385.	521010.		820. 000	RIVERFRONT CLEARING			
7411 RIVERFRONT TIB DEBT SERVICE								
	385	MRA						
7411.	385.			490201	SERIES 2014 MPC DEBT			
7411.	385.	490201.		600	DEBT SERVICE			
7411.	385.	490201.		610. 000	PRINCIPAL			
7411.	385.	490201.		620. 000	INTEREST / SERVICE FEES			
7447 COURT COLLECTED PARKING FINES								
	230	MUNICIPAL COURT						
7447.	230.			410360	CITY/MUNICIPAL COURT			
7447.	230.	410360.		500	FIXED CHARGES			
7458 COURT SURCHARGE								
	230	MUNICIPAL COURT						
7458.	230.			410360	CITY/MUNICIPAL COURT			
7458.	230.	410360.		500	FIXED CHARGES			
7469 PUBLIC DEFENDER FEES								
	230	MUNICIPAL COURT						
7469.	230.			410360	CITY/MUNICIPAL COURT			
7469.	230.	410360.		500	FIXED CHARGES			
7903 COUNTY CLEARING								
	390	NON-DEPARTMENTAL						
7903.	390.			440600	ANIMAL CONTROL SERVICES			
7903.	390.	440600.		800	OTHER OBJECTS			
7903.	390.	440600.		845. 000	CONTINGENCY - DOG LICENSES			
7904 SEWER REBATE								
	280	PUBLIC WORKS ADMINISTRATION						
7904.	280.			430600	SEWER UTILITIES			
7904.	280.	430600.		500	FIXED CHARGES			
7904.	280.	430600.		800	OTHER OBJECTS			

City of Missoula

Detailed list of Expenditure Codes

Departments are not applicable to all funds and accounts

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Fund #	Fund Name	Dept #	Dept Name	Activity #	Activity Name	Object #	Sub-Object #	Object Name
7904.	280.			510110	MERCHANT SERVICES			
7904.	280.			510110.		500		FIXED CHARGES
7905 WYE SEWER RSID 8489								
	280		PUBLIC WORKS ADMINISTRATION					
7905.	280.			430600	SEWER UTILITIES			
7905.	280.			430600.		500		FIXED CHARGES
7905.	280.			510110	MERCHANT SERVICES			
7905.	280.			510110.		500		FIXED CHARGES
7911 RESIDENTIAL INSPECTION FUND								
	310		BUILDING INSPECTION					
7911.	310.			420501	CONTRACTUAL SERVICE AGRMNTS - BUILDING			
7911.	310.			420501.		200		SUPPLIES
7911.	310.			420501.		300		PURCHASED SERVICES
7911.	310.			420502	*** Title Not Found ***			
7911.	310.			420502.		200		SUPPLIES
7911.	310.			510110	MERCHANT SERVICES			
7911.	310.			510110.		500		FIXED CHARGES
9000 GENERAL FIXED ASSETS ACCOUNT GROUP								
	900		DEPRECIATION					
9000.	900.			510000	MISCELLANEOUS			
9000.	900.			510000.		800		OTHER OBJECTS
9000.	900.			510000.		900		CAPITAL OUTLAY

Chart of Account Structure City of Missoula

PARTS OF AN ACCOUNT CODE				
1. FUND	2. DEPARTMENT	3. ACTIVITY	4. OBJECT	5. SUB-OBJECT
1234	123	123456	123 xx	123 xx
4 digits	3 digits	6 digits first 2 digits = activity grouping	Expenditures - 3 digits Revenues - 2 digits	
Primarily related to how something is funded	(not always part of an account)	Further breaks down account into functional groupings	Mostly for expenditures and describes type of exp/rev	<i>Used internally only and not for external reporting or budgeting</i>

EXAMPLE ACCOUNT CODES	
<p style="text-align: center;"><u>EXPENDITURE</u></p> <p style="text-align: center;">1000.290.420182.350.000</p> <p>Gen Funds.Police.Pub Safety/Evidence & ID.Professional Svcs.no Sub-Obj</p>	<p style="text-align: center;"><u>REVENUE</u></p> <p style="text-align: center;">1000.000.311030.00</p> <p>General Funds.No Dept.Motor Vehicle Taxes.Revenue</p>

1. FUNDS			
1xxx	GENERAL FUNDS	5xxx	ENTERPRISE
2xxx	SPECIAL REVENUE	6xxx	INTERNAL SERVICE
3xxx	DEBT SERVICE	7xxx	COMPONENT UNIT & AGENCY FUNDS
4xxx	CAPITAL PROJECT		

2. DEPARTMENTS

210	CITY COUNCIL	340	CEMETERY
220	MAYOR	370	PARKS & RECREATION
221	HUMAN RESOURCES	371	AQUATICS SALARIES
222	COMMUNICATIONS	375	BUSINESS IMPROVEMENT DISTRICT
223	CITY CLERK	385	MRA
224	INFORMATION SERVICES	390	NON-DEPARTMENTAL
230	MUNICIPAL COURT	391	ENERGY PERFORMANCE PROJ.
240	FINANCE	395	PARKING COMMISSION
245	CENTRAL SERVICES	400	ENTITLEMENT GRANTS
246	FACILITY MAINTENANCE	401	MHA/SILVERTIP
250	DEVELOPMENT SERVICES	402	HUD/SILVERTIP
255	HOUSING & COMMUNITY DEVELOPMENT	500	N HIGGINS STREETScape
260	GIS SERVICES	510	CURB RAMPS
270	CITY ATTORNEY	515	RSNAKE GATEWAY GREENOUGH DRIVE
280	PUBLIC WORKS ADMIN/ENGINEERING	520	N HIGGINS PAVING
290	POLICE	525	BROOKS ST CURB & SW IMPROVEMENTS
300	FIRE	530	CURB RAMPS
310	BUILDING INSPECTION	535	PARKS PLAYGROUND INSTALLS
320	STREET MAINTENANCE	540	GREENOUGH PARK BRIDGE
321	FACILITY & VEHICLE MAINTENANCE	550	SID 544 PROJECT
330	WASTEWATER	555	LOLO STREET PROJECT
335	WATER	900	DEPRECIATION

210 - 390 are the primary Departments used by the City. Others are ancillary and used infrequently.

3. ACTIVITIES**Expenses****Revenues**

41	GENERAL GOVERNMENT
42	PUBLIC SAFETY
43	PUBLIC WORKS
44	PUBLIC HEALTH
45	SOCIAL & ECONOMIC SERVICES
46	CULTURE & RECREATION
47	HOUSING & COMMUNITY DEVELOPMENT
48	CONSERVATION OF NATURAL RESOURCES
49	DEBT SERVICE
50	INTERNAL SERVICES
51	MISCELLANEOUS
52	OTHER FINANCING USES

31	TAXES/ASSESSMENTS
32	LICENSES & PERMITS
33	INTERGOVERNMENTAL REVENUES
34	CHARGES FOR SERVICES
35	FINES & FORFEITURES
36	MISCELLANEOUS REVENUES
37	INVESTMENTS & ROYALTY EARNINGS
38	OTHER FINANCING SOURCES
39	INTERNAL SERVICES

4. OBJECTS

100	PERSONAL SERVICES	400	BUILDING MATERIALS
110	SALARIES AND WAGES	500	FIXED CHARGES
115	SALARIES/HEALTH INSURANCE BENEFIT	530	EQUIPMENT RENTAL
120	OVERTIME/TERMINATION	550	MERCHANT SERVICE FEES
121	OUTSIDE HIRE OVERTIME	600	DEBT SERVICE
122	COURT OVERTIME	610	PRINCIPAL
130	OTHER	615	PRINCIPAL & INTEREST
135	OPEB EXPENSE	620	INTEREST / SERVICE FEES
140	EMPLOYER CONTRIBUTIONS	700	GRANTS & CONTRIBUTIONS
141	STATE RETIREMENT CONTRIBUTIONS	751	RECREATION SCHOLARSHIPS
145	OPEB CONTRIBUTION	780	INTERGOVERNMENTAL TRANSFER
200	SUPPLIES	800	OTHER OBJECTS
210	OFFICE SUPPLIES	820	TRANSFERS TO OTHER FUNDS
220	OPERATING SUPPLIES	830	DEPRECIATION
230	REPAIR/MAINTENANCE	845	CONTINGENCY
231	GASOLINE	900	CAPITAL OUTLAY
240	OTHER SUPPLIES	910	LAND
250	SUPPLIES FOR RESALE	915	EASEMENTS
300	PURCHASED SERVICES	920	BUILDINGS
310	COMMUNICATIONS	930	IMPROVEMENTS
320	PRINTING & DUPLICATING	940	MACHINERY & EQUIPMENT
330	PUBLICITY, SUBSCRIPTIONS & DUES	941	DUI DIGITAL EQUIPMENT
340	SEWER	960	CAPITAL CONTINGENCY
341	ELECTRICITY & NATURAL GAS	00	REVENUES
343	WATER CHARGES		
344	TELEPHONE SERVICE		
345	GARBAGE		
350	PROFESSIONAL SERVICES		
351	INSURANCE CLAIMS		
352	HEALTH PROGRAMS		
353	ADMINISTRATION EXPENDITURES		
360	REPAIR & MAINTENANCE		
370	TRAVEL		
380	TRAINING		
390	OTHER PURCHASED SERVICES		



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Parks and Conservation

Item: Agreement – County/City Fairgrounds trail

Date: September 9, 2020

Sponsor(s): David Selvage

Prepared by: David Selvage

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input checked="" type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Approve an Agreement between Missoula County and City of Missoula for maintenance and operations of public trails across the Fairgrounds and Playfair Park established in conjunction with development of the Fairgrounds Master Plan

Recommended Motion(s):

I move the City Council: approve the County-City Agreement for Fairgrounds trails and authorize the Mayor to sign agreement.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council action (or sets hearing):	Click or tap here to enter text.
Public Hearing:	Click or tap here to enter text.
Deadline:	Click or tap here to enter text.

Background and Alternatives Explored:

The adopted Fairgrounds Master Plan provides for new paved, non-motorized public trail connections linking the Fairgrounds and Sentinel High School to Playfair Park and the YMCA. The trail connections benefit residents and surrounding neighborhoods. The agreement provides for public access with regular trail maintenance of specified public trails by the City. City of Missoula will provide for trail sweeping, mowing, snow removal, irrigation, lighting, associated utility costs and minor repairs. Missoula County will be responsible for future long-term major repairs and replacement of the trail.

The City joined the University of Montana and Missoula County Public Schools in recognizing the broad values of the Fairgrounds Master Plan as identified in the Central Park Joint Resolution Missoula Redevelopment Agency (Resolution 8345). Missoula County Board of County Commissioners approved this agreement on August 6, 2020.

Financial Implications:

The cost of maintenance and operation of the new trails are expected to be minimal and will be absorbed by the Parks & Recreation Department.

Links to external websites:

I-205
AD521201904

Interlocal Agreement between Missoula County and the City of Missoula
for the Missoula County Fairgrounds – Commuter Trails Project

The purpose of this Interlocal Agreement is to memorialize the design, construction, maintenance, and management responsibilities between the Missoula County Fairgrounds and the City of Missoula Parks and Recreation Department for the shared use of trails, access, parking and related improvements bordering the Fairgrounds and Playfair Park, (this "Agreement"), dated as of May 20, 2019 (the "effective date"). This Agreement is entered into by and between Missoula County (the "County"), a political subdivision of the State of Montana, and the City of Missoula (the "City"), a municipal corporation and political subdivision of the State of Montana.

Witnesseth:

WHEREAS, extending commuter trails through the Fairgrounds has long been contemplated by community planning efforts, including the 2016 Bicycle Facilities Master Plan, 2011 Active Transportation Plan, and 2011 URD III Curb and Sidewalk Needs Assessment, to provide links for non-motorized travel as well as connections to existing trail, recreational, and school infrastructure such as Playfair Park and Splash Montana, the YMCA, Russell Elementary School, and Sentinel High School; and

WHEREAS, in April 2018, the Missoula Redevelopment Agency approved funding for a Commuter Trail system, connecting Playfair Park to Urban Renewal District III. This included three trail segments: the Fairway/Raceway Trail, bisecting the Fairgrounds property between Fairview Avenue and Stephens; the Stephens Trail, connecting South Avenue to Playfair Park along the east edge of the Fairgrounds, and the Playfair Trail along the south boundary of the Fairgrounds property (Exhibit A, attached); and

WHEREAS, in May 2018, the Missoula County Commission adopted Design Guidelines and Schematic Design Plans for future construction at the Fairgrounds. This included shared access and parking with Playfair Park along the south boundary of the Fairgrounds; and

WHEREAS, the properties along the shared boundary of the Fairgrounds and Playfair Park are owned by Missoula County and the City of Missoula and are currently utilized by the parties, including the YMCA which is on land currently leased from Missoula County, for access and parking; and

WHEREAS, a 25-foot access easement currently exists across County property, granting access to Playfair Park, however no easement exists for access to the Fairgrounds across City property; and

WHEREAS, the embankment along Playfair Park is part of a storm water retention basin, which is classified as high hazard by the Montana Department of Natural Resources and Conservation (DNRC). The City of Missoula is responsible for maintenance, inspections, and annual reporting for the facility, but the DNRC retains review privileges for any major modifications to the embankment; and

WHEREAS, this Agreement directs the construction, maintenance and management of the proposed improvements in perpetuity, or until such time as other agreements are made and mutually accepted.

NOW THEREFORE, in consideration of the foregoing and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

MISSOULA COUNTY RESPONSIBILITIES

1. Construction – The County shall provide for the design and construction of the trails, lighting, parking, access drives, and related improvements at its cost. These improvements shall be designed and constructed in accordance with the Missoula Parks and Recreation Design Manual (2018 Edition), Fairgrounds Design Guidelines, and applicable City Engineering Standards, with design review and final acceptance by City Parks Department. The County shall be responsible for materials testing, engineering inspections, permits, and preparation of as-built drawings.
2. Access Easements – The County shall grant access easements to the City for the use of the Fairway Trail (Area 1 on Exhibit B, attached). The County shall grant access easements to the City for the use and maintenance of the Stephens and Playfair Trails, (Area 2 and Area 3 on Exhibit B, attached). The County will reserve the right to go over, upon, under, and across the land encumbered by the Easements and to construct, maintain, improve, repair, replace, and remove (collectively “construct”) improvements thereon in a manner that will not unreasonably interfere with the rights granted and to restrict access from time to time for special events or to construct improvements. The County will reserve the right to grant additional easements, licenses, and /or permits to others for the use and occupancy of the land encumbered by the easement and for construction of improvements thereon, in a manner that will not unreasonably interfere with the rights granted hereunder.
3. Trail Maintenance – The County shall be responsible for routine cyclical and long-term operation and maintenance of the Fairway/Raceway segment of the trail within County property, including lighting, irrigation, drainage, snow removal, sweeping, signing, striping and repaving, and other regular maintenance items.
4. Parking Lot Maintenance – The County shall be responsible for cyclical and long-term operation and maintenance of the parking lots and access drives within both City and County property, including lighting, irrigation, drainage, snow removal, sweeping, signing, striping, repaving, and other regular maintenance items.
5. Indemnity – The County shall defend, indemnify and hold harmless the City, its employees and agents, from all claims, liabilities, demands, causes of action or judgements, including costs and attorney fees, asserted by or awarded to third parties as a result of any negligent action or omission or willful misconduct of the County, its employees or agents relating to this Agreement.

CITY OF MISSOULA RESPONSIBILITIES

1. Construction – The City shall provide timely review and inspection of the proposed improvements, in accordance with the Missoula Parks and Recreation Design Manual (2018 Edition), Fairgrounds Design Guidelines, and applicable City Engineering Standards.
2. Access Easements – The City shall grant access easements to the County for the construction, use, and maintenance of the parking lots (Exhibit C, attached).
3. Trail Maintenance – The City shall be responsible for routine cyclical and long-term operation and maintenance of the Stephens and Playfair segments of the trail within City

and County property, including lighting, irrigation, drainage, snow removal, sweeping, signing, striping and repaving, and other regular maintenance items.

4. Indemnity – The City shall defend, indemnify and hold harmless the County, its employees and agents, from all claims, liabilities, demands, causes of action or judgements, including costs and attorney fees, asserted by or awarded to third parties as a result of any negligent action or omission or willful misconduct of the City, its employees or agents relating to this Agreement.

THE COUNTY AND THE CITY MUTUALLY AGREE

The trails shall be open to public use, consistent with City of Missoula Municipal Code, City Parks and Recreation Board Management Policies, and the Fairgrounds Design Guidelines. The County, in its discretion, may restrict or prohibit access to the Fairway Trail from time-to-time for special events or to construct improvements. As a courtesy to City, the County will give seven (7) days advance written notice of any temporary closure lasting longer than twenty-four hours.

The parking lots shall be open to public use, consistent with City of Missoula Municipal Code and the Fairgrounds Design Guidelines.

Either the City or County may request of the other party, brief temporary closures or exclusive use of the Stephens or Playfair Trails, access roads, and parking for large special events. Requests for these closures shall require detour plans and approvals at least 4 weeks in advance, unless closure is for an emergency. Terms and duration of closures shall be in writing and agreed upon by both parties.

IN WITNESS WHEREOF, the County of Missoula has caused this instrument to be duly executed by its County Commissioners on the 20 day of May 2019, to be effective as of the effective date first set forth above.

Missoula County

By: [Signature] Date: 5/21/19

By: [Signature] Date: 5/21/19

By: [Signature] Date: 5/21/19

ATTESTED TO BY: [Signature]

REVIEWED BY: [Signature]
County Attorney



IN WITNESS WHEREOF, the City of Missoula has caused this instrument to be duly executed by its proper officers on the 20th day of May 2019, to be effective as of the effective date first set forth above.

CITY of Missoula
By: [Signature] Date: 5/20/19
John Engen, Mayor

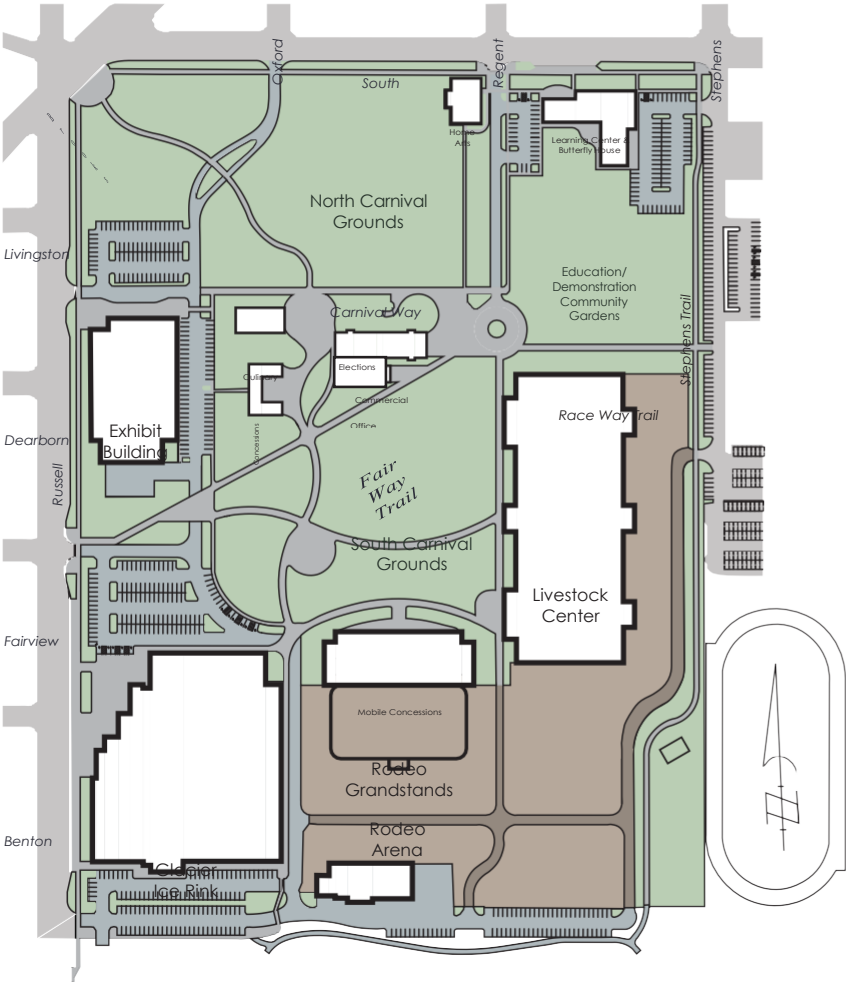
ATTESTED TO BY: [Signature]
Deputy City Clerk

APPROVED AS TO FORM AND CONTENT: [Signature]
City Attorney



MISSOULA COUNTY FAIRGROUNDS
TAX INCREMENT FINANCING REQUEST

MARCH 30, 2018



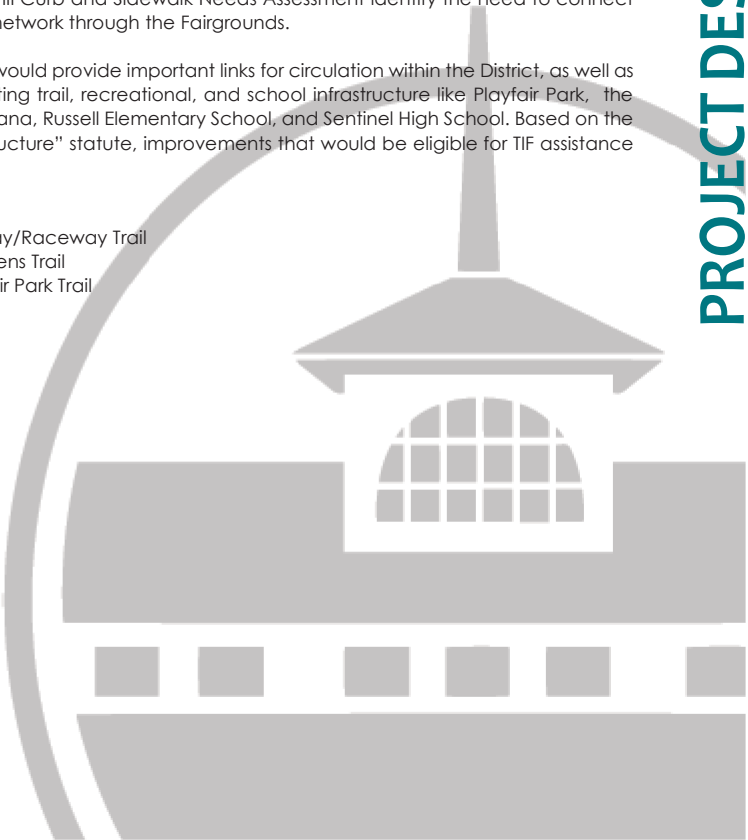
COMMUTER TRAIL CONNECTIONS

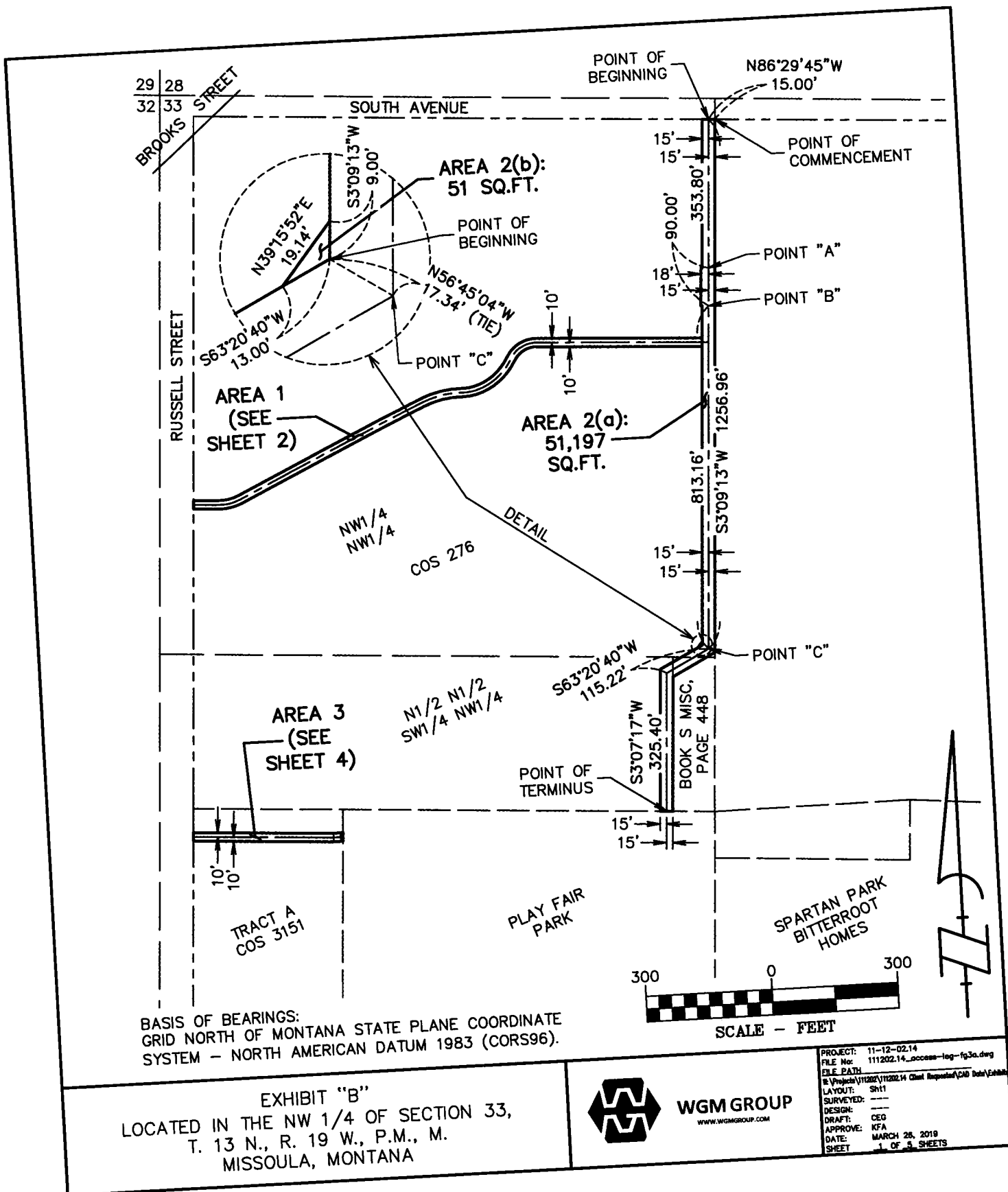
Extending commuter trails through the Fairgrounds has long been contemplated by previous planning efforts. The 2016 Bicycle Facilities Master Plan, 2011 Active Transportation Plan, and 2011 URD III Curb and Sidewalk Needs Assessment identify the need to connect the non-motorized network through the Fairgrounds.

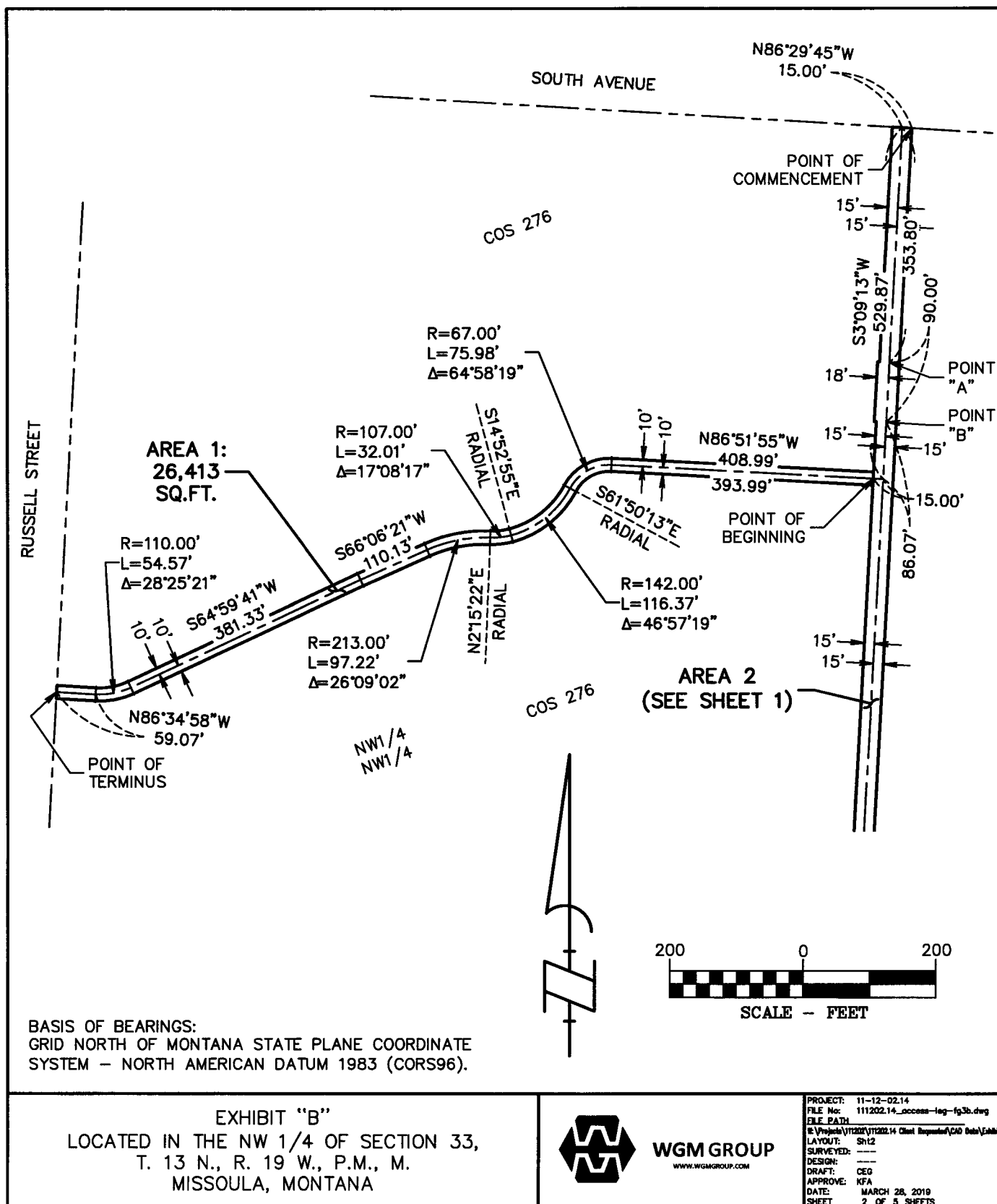
These connections would provide important links for circulation within the District, as well as connections to existing trail, recreational, and school infrastructure like Playfair Park, the YMCA, Splash Montana, Russell Elementary School, and Sentinel High School. Based on the "connected infrastructure" statute, improvements that would be eligible for TIF assistance include:

- Fairway/Raceway Trail
- Stephens Trail
- Playfair Park Trail

PROJECT DESCRIPTION







LEGAL DESCRIPTION: AREA 1

A STRIP OF LAND 20.00 FEET WIDE BEING A PORTION OF CERTIFICATE OF SURVEY NO. 276, ON FILE AND OF RECORD IN MISSOULA COUNTY, MONTANA; LOCATED IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN, MONTANA; SAID STRIP OF LAND LYING 10.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE NORTHEAST CORNER OF SAID CERTIFICATE OF SURVEY NO. 276; THENCE N 86°29'45" W ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SOUTH AVENUE, 15.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 15.00 FEET, MEASURED AT RIGHT ANGLES, WESTERLY OF THE EASTERLY LINE OF SAID CERTIFICATE OF SURVEY NO. 276; THENCE S 03°09'13" W ALONG SAID PARALLEL LINE, 529.87 FEET; THENCE N 86°51'55" W, 15.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N 86°51'55" W, 393.99 FEET TO A POINT ON A TANGENT CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 67.00 FEET; THENCE SOUTHWESTERLY ALONG SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 64°58'19", AN ARC LENGTH OF 75.98 FEET TO A POINT ON A REVERSE CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 142.00 FEET, A RADIAL LINE TO LAST SAID POINT BEARS S 61°50'13" E; THENCE SOUTHWESTERLY ALONG SAID REVERSE CURVE THROUGH A CENTRAL ANGLE OF 46°57'19", AN ARC LENGTH OF 116.37 FEET TO A POINT ON A COMPOUND CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 107.00 FEET, A RADIAL LINE TO LAST SAID POINT BEARS S 14°52'55" E; THENCE SOUTHWESTERLY ALONG SAID COMPOUND CURVE THROUGH A CENTRAL ANGLE OF 17°08'17", AN ARC LENGTH OF 32.01 FEET TO A POINT ON A REVERSE CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 213.00 FEET, A RADIAL LINE TO LAST SAID POINT BEARS N 02°15'22" E; THENCE SOUTHWESTERLY ALONG LAST SAID REVERSE CURVE THROUGH A CENTRAL ANGLE OF 26°09'02", AN ARC LENGTH OF 97.22 FEET; THENCE S 66°06'21" W, 110.13 FEET; THENCE S 64°59'41" W, 381.33 FEET TO A POINT ON A TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 110.00 FEET; THENCE SOUTHWESTERLY ALONG LAST SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 28°25'21", AN ARC LENGTH OF 54.57 FEET; THENCE N 86°34'58" W, 59.07 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF RUSSELL STREET, SAID POINT BEING THE POINT OF TERMINUS OF SAID CENTERLINE; THE SIDELINES OF SAID 20.00 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED AS NECESSARY TO INTERSECT THE EASTERLY RIGHT-OF-WAY LINE OF RUSSELL STREET; CONTAINING 26,413 SQUARE FEET, MORE OR LESS.

LEGAL DESCRIPTION: AREA 2

AREA 2(a):

A STRIP OF LAND 30.00 FEET WIDE BEING A PORTION OF CERTIFICATE OF SURVEY NO. 276, ON FILE AND OF RECORD IN MISSOULA COUNTY, MONTANA; LOCATED IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN, MONTANA; SAID STRIP OF LAND LYING 15.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE NORTHEAST CORNER OF SAID CERTIFICATE OF SURVEY NO. 276; THENCE N 86°29'45" W ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SOUTH AVENUE, 15.00 FEET TO A POINT ON A LINE PARALLEL WITH AND 15.00 FEET, MEASURED AT RIGHT ANGLES, WESTERLY OF THE EASTERLY LINE OF SAID CERTIFICATE OF SURVEY NO. 276, SAID POINT BEING THE POINT OF BEGINNING; THENCE S 03°09'13" W ALONG SAID PARALLEL LINE, 353.80 FEET TO POINT "A"; THE SIDELINES OF SAID 30.00 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED AS NECESSARY TO INTERSECT THE SOUTHERLY RIGHT-OF-WAY LINE OF SOUTH AVENUE;

TOGETHER WITH A STRIP OF LAND 33.00 FEET WIDE BEING A PORTION OF SAID CERTIFICATE OF SURVEY NO. 276; SAID STRIP OF LAND LYING 18.00 FEET ON THE WESTERLY SIDE AND 15.00 FEET ON THE EASTERLY SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINABOVE DESCRIBED POINT "A"; THENCE S 03°09'13" W CONTINUING ALONG SAID PARALLEL LINE, 90.00 FEET TO POINT "B";

TOGETHER WITH A STRIP OF LAND 30.00 FEET WIDE BEING A PORTION OF SAID CERTIFICATE OF SURVEY NO. 276 AND A PORTION OF THAT TRACT OF LAND DESCRIBED IN BOOK S MISCELLANEOUS, PAGE 448, ON FILE AND OF RECORD IN MISSOULA COUNTY, MONTANA; SAID STRIP OF LAND LYING 15.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE HEREINABOVE DESCRIBED POINT "B"; THENCE S 03°09'13" W CONTINUING ALONG SAID PARALLEL LINE, 813.16 FEET TO POINT "C"; THENCE S 63°20'40" W, 115.22 FEET; THENCE S 03°07'17" W, 325.40 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID CERTIFICATE OF SURVEY NO. 276, SAID POINT BEING THE POINT OF TERMINUS OF SAID CENTERLINE; THE SIDELINES OF SAID 30.00 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED AS NECESSARY TO INTERSECT THE SOUTHERLY LINE OF SAID CERTIFICATE OF SURVEY NO. 276;

CONTAINING 51,197 SQUARE FEET, MORE OR LESS;

AREA 2(b):

TOGETHER WITH A TRACT OF LAND BEING A PORTION OF SAID CERTIFICATE OF SURVEY NO. 276; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

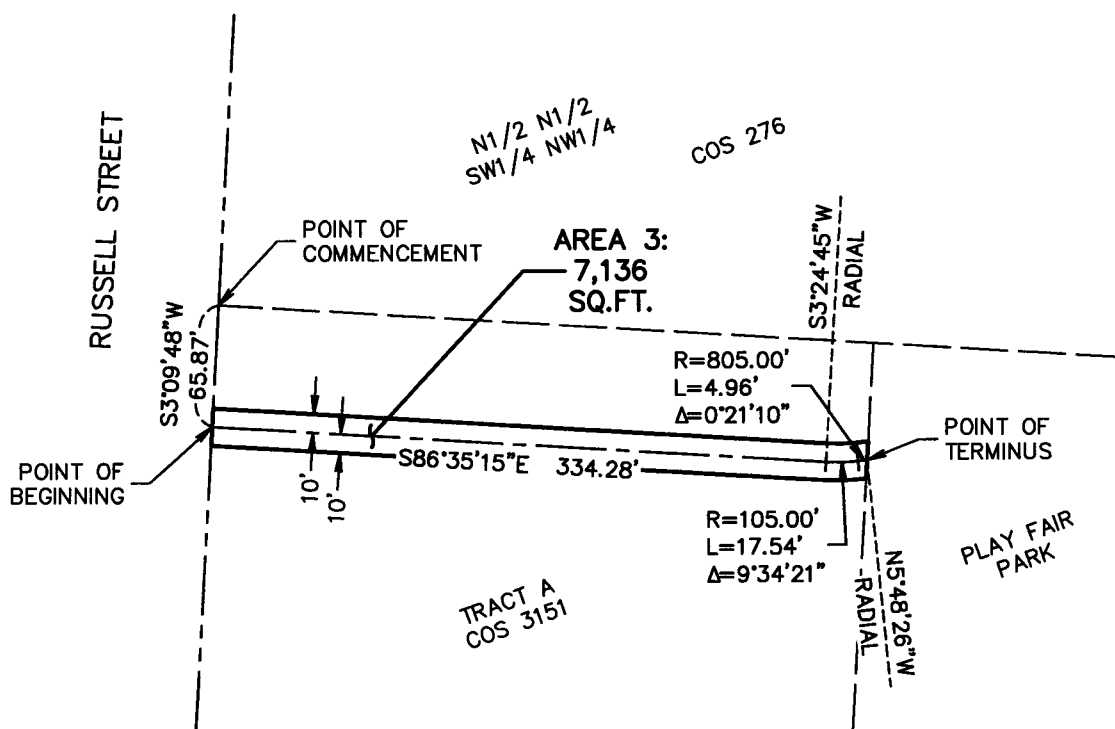
COMMENCING AT THE HEREINABOVE DESCRIBED POINT "C"; THENCE N 56°45'04" W, 17.34 FEET TO THE POINT OF BEGINNING; THENCE S 63°20'40" W, 13.00 FEET; THENCE N 39°15'52" E, 19.14 FEET; THENCE S 03°09'13" W, 9.00 FEET TO THE POINT OF BEGINNING; CONTAINING 51 SQUARE FEET, MORE OR LESS.

EXHIBIT "B"
LOCATED IN THE NW 1/4 OF SECTION 33,
T. 13 N., R. 19 W., P.M., M.
MISSOULA, MONTANA



WGM GROUP
WWW.WGMGROUP.COM

PROJECT: 11-12-02.14
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LAYOUT: Sht13
SURVEYED: ---
DESIGN: ---
DRAFT: CEG
APPROVE: KFA
DATE: MARCH 28, 2019
SHEET: 3 OF 5 SHEETS



BASIS OF BEARINGS:
GRID NORTH OF MONTANA STATE PLANE COORDINATE
SYSTEM - NORTH AMERICAN DATUM 1983 (CORS96).

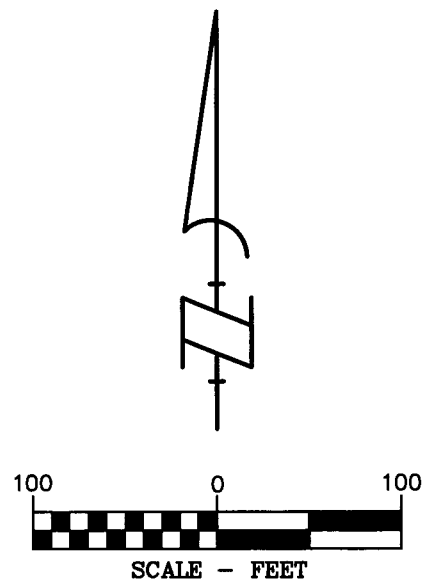


EXHIBIT "B"
LOCATED IN THE NW 1/4 OF SECTION 33,
T. 13 N., R. 19 W., P.M., M.
MISSOULA, MONTANA



WGM GROUP
WWW.WGMGROUP.COM

PROJECT: 11-12-02.14
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DESIGN: ---
DRAFT: CEG
APPROVE: KFA
DATE: MARCH 28, 2019
SHEET: 4 OF 5 SHEETS


LEGAL DESCRIPTION: AREA 3

A STRIP OF LAND 20.00 FEET WIDE BEING A PORTION OF TRACT A OF CERTIFICATE OF SURVEY NO. 3151, ON FILE AND OF RECORD IN MISSOULA COUNTY, MONTANA; LOCATED IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN, MONTANA; SAID STRIP OF LAND LYING 10.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

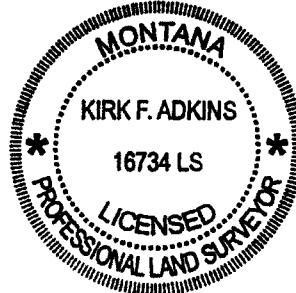
COMMENCING AT THE NORTHWEST CORNER OF SAID TRACT A; THENCE S 03°09'48" W ALONG THE EASTERLY RIGHT-OF-WAY LINE OF RUSSELL STREET, 65.87 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE S 86°35'15" E, 334.28 FEET TO A POINT ON A TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 105.00 FEET; THENCE NORTHEASTERLY ALONG SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 9°34'21", AN ARC LENGTH OF 17.54 FEET TO A POINT ON A REVERSE CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 805.00 FEET, A RADIAL LINE TO LAST SAID POINT BEARS N 05°48'26" W; THENCE NORTHEASTERLY ALONG SAID REVERSE CURVE THROUGH A CENTRAL ANGLE OF 0°21'10", AN ARC LENGTH OF 4.96 FEET TO A POINT ON THE EASTERLY LINE OF SAID TRACT A, SAID POINT BEING THE POINT OF TERMINUS OF SAID CENTERLINE; THE SIDELINES OF SAID 20.00 FOOT WIDE STRIP OF LAND TO BE LENGTHENED OR SHORTENED AS NECESSARY TO INTERSECT THE WESTERLY AND EASTERLY LINES OF SAID TRACT A; CONTAINING 7,136 SQUARE FEET, MORE OR LESS.

SURVEYOR'S STATEMENT*****

THIS EXHIBIT WAS PREPARED UNDER MY SUPERVISION.


KIRK F. ADKINS, P.L.S.
MONTANA LICENSE NO. 16734LS
FOR WGM GROUP, INC.

03/28/2019
DATE



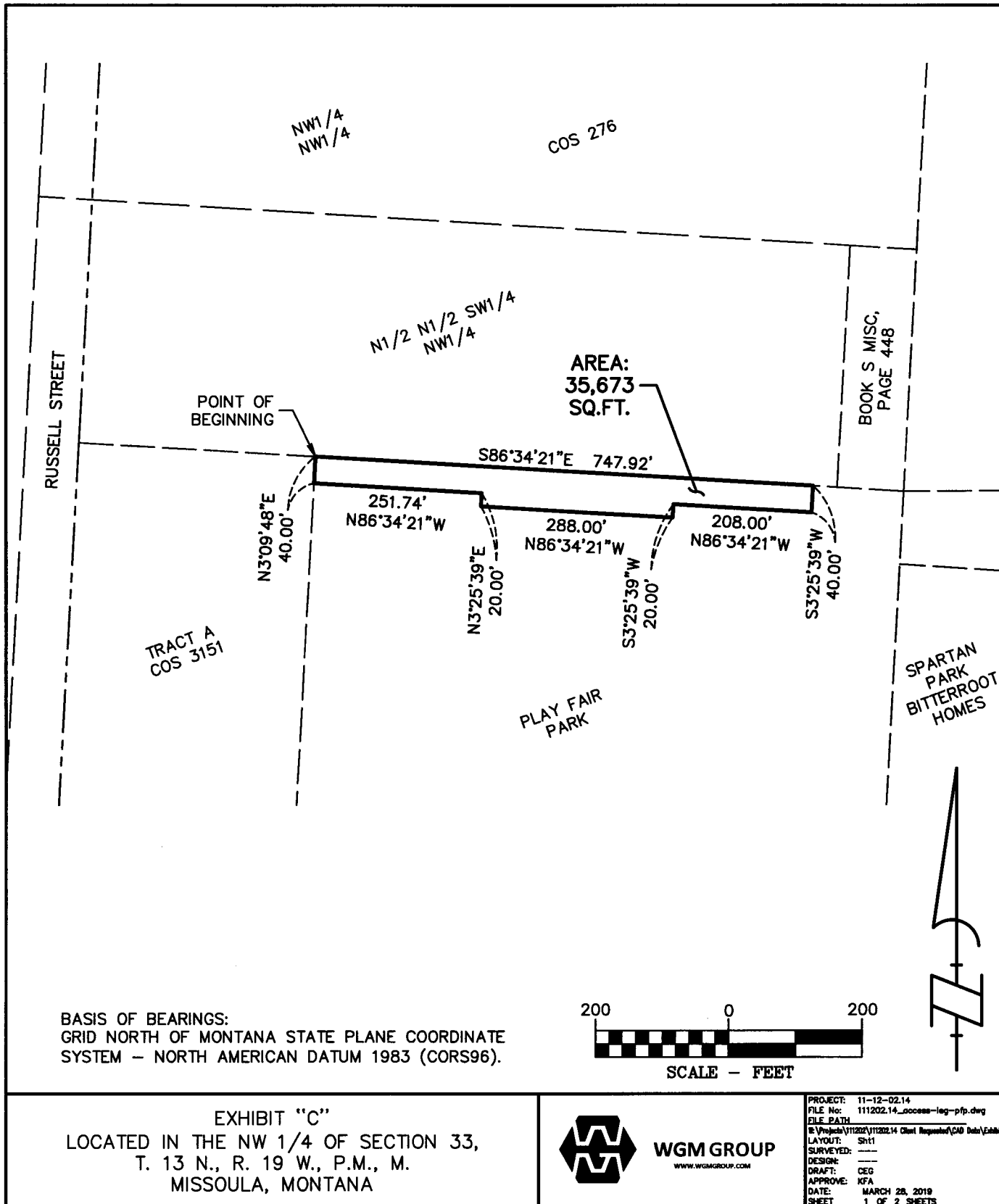
UNLESS SIGNED, SEALED, AND DATED, THIS IS
A PRELIMINARY OR UNOFFICIAL DOCUMENT AND
CANNOT BE RELIED UPON IN WHOLE OR PART.

EXHIBIT "B"
LOCATED IN THE NW 1/4 OF SECTION 33,
T. 13 N., R. 19 W., P.M., M.
MISSOULA, MONTANA



WGM GROUP
WWW.WGMGROUP.COM

PROJECT: 11-12-02.14
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SURVEYED: ---
DESIGN: ---
DRAFT: CEG
APPROVE: KFA
DATE: MARCH 28, 2019
SHEET: 8 OF 8 SHEETS



LEGAL DESCRIPTION*****

A TRACT OF LAND BEING A PORTION OF PLAY FAIR PARK, A RECORDED SUBDIVISION OF MISSOULA COUNTY, MONTANA; LOCATED IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN, MONTANA; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF TRACT A OF CERTIFICATE OF SURVEY NO. 3151, ON FILE AND OF RECORD IN MISSOULA COUNTY, MONTANA; THENCE S 86°34'21" E ALONG THE NORTHERLY LINE OF SAID PLAY FAIR PARK, 747.92 FEET; THENCE S 03°25'39" W, 40.00 FEET; THENCE N 86°34'21" W, 208.00 FEET; THENCE S 03°25'39" W, 20.00 FEET; THENCE N 86°34'21" W, 288.00 FEET; THENCE N 03°25'39" E, 20.00 FEET; THENCE N 86°34'21" W, 251.74 FEET TO A POINT ON THE EASTERLY LINE OF SAID TRACT A; THENCE N 03°09'48" E ALONG SAID EASTERLY LINE, 40.00 FEET TO THE POINT OF BEGINNING; CONTAINING 35,673 SQUARE FEET, MORE OR LESS.

SURVEYOR'S STATEMENT*****

THIS EXHIBIT WAS PREPARED UNDER MY SUPERVISION.



03/28/2018
DATE

KIRK F. ADKINS, P.L.S.
MONTANA LICENSE NO. 16734LS
FOR WGM GROUP, INC.



UNLESS SIGNED, SEALED, AND DATED, THIS IS A PRELIMINARY OR UNOFFICIAL DOCUMENT AND CANNOT BE RELIED UPON IN WHOLE OR PART.

EXHIBIT "C"
LOCATED IN THE NW 1/4 OF SECTION 33,
T. 13 N., R. 19 W., P.M., M.
MISSOULA, MONTANA



WGM GROUP
WWW.WGMGROUP.COM

PROJECT: 11-12-02.14
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DESIGN: ---
DRAFT: CEO
APPROVE: KFA
DATE: MARCH 28, 2019
SHEET 2 OF 2 SHEETS



**COUNTY RESOLUTION NO. 2013-025
CITY RESOLUTION NUMBER 7769**

**A JOINT RESOLUTION OF THE GOVERNING BOARDS AND ADVISORS OF THE
MISSOULA COUNTY AND MISSOULA COUNTY FAIRGROUNDS,
MISSOULA YMCA,
MISSOULA COUNTY PUBLIC SCHOOLS,
UNIVERSITY OF MONTANA AND MISSOULA COLLEGE,
AND THE CITY OF MISSOULA PARKS AND RECREATION
TO ESTABLISH A CENTRAL PARK PARTNERSHIP
FOR THE APPROXIMATELY 160 ACRES OF
PUBLICLY OWNED LANDS IN CENTRAL MISSOULA
(AS BOUNDED BY SOUTH AVENUE, BANCROFT STREET, RUSSELL
STREET, AND PATTEE/MACDONALD AVENUES)**

WHEREAS, approximately 160 acres of centrally located land in Missoula, Montana (CENTRAL PARK) is owned by the residents of our State, County and City for the public benefit and is currently used for schools, parks, recreation, trails, and the county fair [said land is depicted in the map attached hereto]; and

WHEREAS, this publicly-owned acreage is maintained, managed and beneficially used by and for the people through the City of Missoula Parks and Recreation, the Board of County Commissioners, the YMCA (as a long-term tenant), the University of Montana, and Missoula County Public Schools (collectively the PARTNERS); and

WHEREAS, the PARTNERS share similar missions and broad goals in providing quality services to the public through education, recreation, preservation and/or stewardship; and

WHEREAS, coordination, cooperation, and partnerships among the PARTNERS is a strongly supported community value, and can positively impact sustainability and support; and

WHEREAS, the 160 acres of land are currently used in diverse and beneficial ways, but the potential for improving access, efficiencies, quality and other benefits, is enhanced through partnering; and

WHEREAS, greater benefit and increased public support may occur if maintenance, security, utilities, access and other issues pertaining to the stewardship and use of the land are enhanced through establishment of an area-wide plan; and

WHEREAS, open and increased communication by the PARTNERS regarding planning, use, management and stewardship of the 160 acre CENTRAL PARK lands enhances our shared ability to serve citizens more efficiently, and to maximize the use of our publicly-funded resources; and

WHEREAS, the parties support the concept of PARTNERING for planning, programming and public services in the greater 160 acre CENTRAL PARK lands area, and also support the following concepts:

- Identifying the appropriate employee or delegate to act as liaison to the PARTNERSHIP;
- Maximizing use of all facilities by the community and in conjunction with our Partners;

- Sharing resources, including, but not limited to, equipment, parking, staffing, programming and services, where legal and viable to improve efficiencies;
- Planning together to benefit the greater good of the community, while remembering the needs of each PARTNER, (the University of Montana anticipates the eventual transfer of its Missoula College lands within the 160 acres, which will one day be owned and/or managed by another PARTNER and thus commits to considering the future needs of another owner or manager);
- Providing, permitting and promoting public access, specifically pedestrian and bicycle access, in such a way as to increase circulation while improving safety, security and support of the greater area;
- Providing coherent and engaging pedestrian and bicycle access and connectivity, such as shared wayfinding signage and appropriate landscape design implementation, so as to enhance the public perception and access to the 160 acre CENTRAL PARK lands;
- Communicating in a timely fashion project, initiatives, and events that may impact the PARTNERSHIP or one of the PARTNERS;
- Supporting current successful uses and users, if the general public benefits and supports that use;
- Establishing policies, systems and protocols that enhance efficiencies, planning, communications, management, maintenance, access, and use, or that minimizes waste and resource consumption; and
- Gathering information and exchanging ideas among the PARTNERS and communicating regularly to the PARTNERS' elected officials and administrators and to the public at large;

NOW, THEREFORE, BE IT RESOLVED THAT THE GOVERNING BOARDS AND ADVISORS OF MISSOULA COUNTY AND MISSOULA COUNTY FAIRGROUNDS, MISSOULA YMCA, MISSOULA COUNTY PUBLIC SCHOOLS, UNIVERSITY OF MONTANA AND MISSOULA COLLEGE, AND THE CITY OF MISSOULA PARKS AND RECREATION WISH TO ESTABLISH A CENTRAL PARK PARTNERSHIP FOR THE APPROXIMATELY 160 ACRES OF PUBLICLY OWNED LANDS IN CENTRAL MISSOULA (AS BOUNDED BY SOUTH AVENUE, BANCROFT STREET, RUSSELL STREET, AND PATTEE/ MACDONALD AVENUES).

BE IT FURTHER RESOLVED THAT NOTHING IN THIS RESOLUTION OR PARTNERSHIP DIRECTS OR OBLIGATES THE PARTIES (PARTNERS) HERETO BEYOND THE PREPARATION AND CONSIDERATION OF THESE RECOMMENDATIONS.

SIGNED AND ADOPTED THIS _____ DAY OF _____, 2013

MISSOULA COUNTY COMMISSIONERS

MISSOULA COUNTY PUBLIC SCHOOLS

/s/Michele Landquist 03/28/2013
Michele Landquist Date

/s/Toni Rehbein _____
Toni Rehbein, Date
Board of Trustee's Chairperson

/s/Bill Carey 03/28/2013
Bill Carey Date

/s/Alex Apostle _____
Alex Apostle, Date
Superintendent, MCPS

/s/Jean Curtiss 03/28/2013
Jean Curtiss Date

CITY OF MISSOULA PARKS AND RECREATION

UNIVERSITY OF MONTANA

/s/John Enge 03/28/2013
John Engen, Mayor Date
City of Missoula

/s/Hugh Jesse _____
Hugh Jesse Date
Director of Facilities Service

ATTEST:

MISSOULA YMCA

/s/Martha L. Rehbein 03/28/2013
Martha L. Rehbein, CMC
City Clerk

/s/Jon Lange _____
Jon Lange, Executive Director Date

CERTIFICATE AS TO RESOLUTION AND ADOPTING VOTE

I, the undersigned, being the duly qualified and acting recording officer of the City of Missoula, Montana (the "City"), hereby certify that the attached resolution is a true copy of Resolution No. 8345 entitled: **"Resolution Approving a Proposed Project as an Urban Renewal Project for Urban Renewal District III; Making Findings with Respect Thereto; Approving the Use of Tax Increment Revenues or Tax Increment Revenue Bonds to Pay, Reimburse or Finance Eligible Costs Thereof; and Making a Reimbursement Declaration"** (the "Resolution"), on file in the original records of the City in my legal custody; that the Resolution was duly adopted by the City Council of the City on June 10, 2019, and that the meeting was duly held by the City Council and was attended throughout by a quorum, pursuant to call and notice of such meeting given as required by law; and that the Resolution has not as of the date hereof been amended or repealed.

I further certify that, upon vote being taken on the Resolution at said meeting, the following Council members voted in favor thereof: 9 ayes, Stacie M. Anderson, Mirtha Becerra, Michelle Cares, John DiBari, Heather Harp, Jordan Hess, Gwen Jones, Bryan von Lossberg, Heidi West; 0 nays; 0 abstentions; and 3 absent, Julie Armstrong, Julie Merritt, Jesse L. Ramos

WITNESS my hand and seal officially this 10th day of June, 2019.

(SEAL)

/s/ Martha L. Rehbein

Martha L. Rehbein
City Clerk

RESOLUTION NO. 8345

Resolution Approving a Proposed Project as an Urban Renewal Project for Urban Renewal District III; Making Findings with Respect Thereto; Approving the Use of Tax Increment Revenues or Tax Increment Revenue Bonds to Pay, Reimburse or Finance Eligible Costs Thereof; and Making a Reimbursement Declaration

BE IT RESOLVED by the City Council (the "Council") of the City of Missoula, Montana (the "City"), as follows:

Section 1. Recitals and Authorizations.

1.01. Under Montana Code Annotated, Title 7, Chapter 15, Parts 42 and 43, as amended (the "Act"), the City is authorized to create urban renewal areas, prepare and adopt an urban renewal plan therefor and amendments thereto, undertake urban renewal projects therein, provide for the segregation and collection of tax increment with respect to property taxes collected in such areas, issue its bonds to pay the costs of such projects and to refund bonds previously issued under the Act and pledge to the repayment of the bonds the tax increment and other revenues derived from projects undertaken within the urban renewal area.

1.02. Pursuant to the Act and Ordinance No. 3163 adopted by the Council on December 11, 2000, as amended by Ordinance Nos. 3309 and 3557, adopted on December 12, 2005 and November 9, 2015, respectively, the City has created the City of Missoula Urban Renewal District III as an urban renewal area (the "District") and has approved the City of Missoula Urban Renewal District III Urban Renewal Plan (the "Urban Renewal Plan"), as an urban renewal plan. The Plan provides for the segregation and collection of tax increment revenues with respect to the District in accordance with the provisions of the Act.

1.03. Pursuant to Section 7-15-4288 of the Act, "the connection of the urban renewal area . . . to existing infrastructure outside the area" is a cost for which tax increment financing can be used. The Plan provides that encouraging park development and development of public amenities (including parks and trails) are goals for the District, and specifically authorizes, as urban renewal projects, the construction of various public improvements in the District, including but not limited to parks, trails, plazas and playgrounds.

1.04. The Missoula County Fairgrounds (the "Fairgrounds"), which is owned and operated by Missoula County (the "County"), is located outside of the District, but the north and west boundaries of the Fairgrounds border on the District. The County proposes to undertake the design, engineering and construction of a commuter trail system on and across the Fairgrounds (the "Project"). The Project will connect the District to existing trail, recreational and school infrastructure outside the District, as well as connecting parts of the District to other parts of the District on the north and west sides of the Fairgrounds at the intersection of Russell Street and Fairview Avenue, as well as the intersection of Stephens Avenue and South Avenue.

1.05. The Missoula Redevelopment Agency (the "MRA") has found that the Project is contemplated by the Plan and that the Project is an eligible activity for tax increment financing under Section 7-15-4288 of the Act. Therefore, the MRA recommends that the City approve the

Project as an urban renewal project and that the City finance or reimburse the County for costs of the Project using tax increment of the District.

Section 2. Approval of the Project as an Urban Renewal Project. The Council hereby approves the Project as an urban renewal project under the Act and the Plan. The Project is contemplated by and within the scope of the Plan and is eligible for tax increment financing under the Act.

Section 3. Findings. The Council hereby finds as follows:

- (a) no persons will be displaced from their housing by the Project;
- (b) the Plan and the Project conform to the City's growth policy;
- (c) the Plan and the Project will afford maximum opportunity, consistent with the needs of the City as a whole, for the rehabilitation or redevelopment in the District by private enterprise; and
- (d) taking into account the use of tax increment revenues or the proceeds of tax increment revenue bonds to pay or reimburse the County for costs of the Project, there is expected to be a sound and adequate financial program for the financing of the Project; and
- (e) the Project constitutes an urban renewal project within the meaning of the Act and the Plan.

Section 4. Development Agreement; Use of Tax Increment.

4.01. The City and the MRA will enter into a Development Agreement with the County, a copy of which has been presented to the Council and which is hereby approved (the "Development Agreement"). The Development Agreement is hereby approved in substantially the form attached. The Mayor and the City Clerk and the Chair (or Vice Chair) of the MRA are hereby authorized to execute and deliver the Development Agreement, substantially in the form presented to the Council, with such changes (including to the exhibits attached thereto) as may be approved by the Chair of the MRA, or his or her designee, in consultation with Dorsey & Whitney, LLP, as bond counsel, which approval shall be conclusively determined by the execution thereof.

4.02. The Council hereby approves the use of tax increment revenues or proceeds of tax increment bonds to pay or reimburse the County for costs of the Project, subject to the terms and conditions of the Development Agreement. No further Council action shall be required if the City's obligations under the Development Agreement are to be paid or satisfied with tax increment revenues then on hand and available therefor. If the City's obligations under the Development Agreement are to be financed with proceeds of tax increment revenue bonds, the forms of such bonds and the terms and conditions thereof shall be prescribed by a subsequent resolution or resolutions to be adopted by this Council.

Section 5. Reimbursement Expenditures.

5.01. Regulations. The City may issue tax-exempt bonds in one or more series (the "Bonds") to finance costs of the Project and pay costs associated with the financing. The United States Department of Treasury has promulgated regulations governing the use of proceeds of tax-exempt bonds, all or a portion of which are to be used to reimburse the City for project expenditures paid by the City prior to the date of issuance of such bonds. Those regulations (Treasury Regulations, Section 1.150-2) (the "Regulations") require that the City adopt a statement of official intent to reimburse an original expenditure not later than 60 days after payment of the original expenditure. The Regulations also generally require that the bonds be issued and the reimbursement allocation made from the proceeds of the bonds within 18 months (or three years, if the reimbursement bond issue qualifies for the "small issuer" exception from the arbitrage rebate requirement) after the later of (i) the date the expenditure is paid or (ii) the date the project is placed in service or abandoned, but (unless the issue qualifies for the "small issuer" exception from the arbitrage rebate requirement) in no event more than three years after the date the expenditure is paid. The Regulations generally permit reimbursement of capital expenditures and costs of issuance of the bonds.

5.02. Prior Expenditures. Other than (i) expenditures to be paid or reimbursed from sources other than the Bonds, (ii) expenditures constituting preliminary expenditures within the meaning of Section 1.150-2(f)(2) of the Regulations, or (iii) expenditures in a "de minimus" amount (as defined in Section 1.150-2(f)(1) of the Regulations), no expenditures for the Project have been paid by the City before the date 60 days before the date of adoption of this Resolution.

5.03. Declaration of Intent. The City reasonably expects that it may reimburse the expenditures made for the Project out of the proceeds of Bonds in an estimated maximum aggregate principal amount of approximately \$1,250,000 after the date of payment of all or a portion of the costs of the Project. All reimbursed expenditures shall be capital expenditures, a cost of issuance of the bonds or other expenditures eligible for reimbursement under Section 1.150-2(d)(3) of the Regulations.

5.04. Budgetary Matters. As of the date hereof, there are no City funds reserved, allocated on a long-term basis or otherwise set aside (or reasonably expected to be reserved, allocated on a long-term basis or otherwise set aside) to provide permanent financing for the expenditures related to the Project, other than pursuant to the issuance of the Bonds. The statement of intent contained in this Resolution, therefore, is determined to be consistent with the City's budgetary and financial circumstances as they exist or are reasonably foreseeable on the date hereof.

5.05. Reimbursement Allocations. The City's Finance Director shall be responsible for making the "reimbursement allocations" described in the Regulations, being generally the transfer of the appropriate amount of proceeds of the bonds to reimburse the source of temporary financing used by the City to make prior payment of the costs of the Project. Each allocation shall be evidenced by an entry on the official books and records of the City maintained for the Bonds or the Project and shall specifically identify the actual original expenditure being reimbursed.

PASSED AND APPROVED by the City Council of the City of Missoula, Montana, this
10th day of June, 2019.

/s/ John Engen

John Engen
Mayor

Attest: /s/ Martha L. Rehbein

Martha L. Rehbein
City Clerk

(S E A L)



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Administration and Finance

Item: Appointment to the Public Art Committee

Date: September 14, 2020

Sponsor(s): John Engen

Prepared by: Heidi Bakula

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
	<input checked="" type="checkbox"/> N/A

Action Required:
Confirm Mayor's Appointment.

Recommended Motion(s):
I move the City Council:

Confirm the Mayor's appointment of Hailey Kern to the Public Art Committee to fill a vacated term beginning immediately and expiring on June 30, 2022.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council acts to set hearing:	NA
Public Hearing:	NA
Deadline:	NA

Background and Alternatives Explored: None.

Financial Implications: None.

Links to external websites: None.

Application Form--Missoula Public Art Committee

Hailey Kern
Haileykern1@gmail.com

Applicant Background:

Are you a city resident? Yes
How long immediately prior to today's date have you been a city resident? 15 years
In which ward do you reside? 3

Are you a U.S. citizen? Yes
Are you registered to vote? Yes

Current Occupation: Founder, Cancer Support Community of Missoula
Current Employer: Becky Franks, Cancer Support Community of Montana (Bozeman)

Briefly describe your educational background: Some college at the University of Montana

List of community service experience: American Red Cross, Living Art of Montana, Big Brothers Big Sisters, Paxson elementary volunteer, Missoula marathon volunteer, Riverbank Run volunteer, Garden City Harvest, American Heart Association...the list goes on!

What is your interest in serving on this board, commission, or committee? I have a passion for the arts! I adore how universal the arts are- I love the conversations that occur around art, I believe it brings people together and creates conversation even in the hardest of times. I've worked very little with the city but my few experiences have been thought provoking and I appreciate the process. I wouldn't say I'm "qualified" for this position but if you are interested in a person who is Community driven and has a passion for the arts then that makes me qualified!

Do you have any special knowledge, interest, or experience that would qualify you for a position on this board, commission, or committee? I have experience in being a great listener; I have experience in being a thoughtful communicator. I believe those two things would make me a good candidate for this position.

References

Maria Chestnut
(406) 529-4945
Blaine St., Missoula, MT 59802

Melanie Matelich
(406) 239-7626
Paxson Elementary, Missoula, MT 59802



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Administration and Finance

Item: Local Option Fuel Tax Interlocal Agreement with Missoula County

Date: September 8, 2020

Sponsor(s): Jeremy Keene

Prepared by: Katie Emery

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input checked="" type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Approve the Local Option Fuel Tax Interlocal Agreement with Missoula County.

Recommended Motion(s):

I move the City Council: Approve and authorize the Mayor to sign an Interlocal Agreement with the Missoula County to define roles and responsibilities of the County and the City in the collection, administration, and distribution of revenues from the Local Option Fuel Tax.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council action (or sets hearing):	September 21, 2020
Public Hearing:	Click or tap here to enter text.
Deadline:	Click or tap here to enter text.

Background and Alternatives Explored:

On June 2, 2020, the citizens of Missoula County voted to adopt a two cent per gallon Local Option Fuel Tax (LOFT). It is estimated that the LOFT will generate \$1.1 million annually, which will be split equally between the City and County.

Financial Implications:

N/A

Links to external websites:

N/A

**LOCAL OPTION FUEL TAX
INTERLOCAL AGREEMENT BETWEEN
CITY OF MISSOULA
AND MISSOULA COUNTY**

This Interlocal Agreement (Agreement) is made and entered into between the City of Missoula (the “City”) and Missoula County (the “County”), both political subdivisions of the State of Montana. The purpose of this agreement is to define roles and responsibilities of the County and the City in the collection, administration, and distribution of revenues from the Local Option Fuel Tax (LOFT).

WHEREAS, Montana state law authorizes the people of a Montana County to impose up to a two (2) cents per gallon motor fuel excise tax, pursuant to Title 7, Chapter 14, Part 3 of the Montana Code Annotated entitled “LOCAL OPTION MOTOR FUEL EXCISE TAX”.

WHEREAS, June 2, 2020 the people of Missoula County pursuant to vote of the Missoula County electorate adopted a two (2) cent per gallon motor fuel excise tax to be imposed within Missoula County;

WHEREAS, it is estimated that the LOFT will generate \$1,100,000 annually.

Based on the foregoing, the parties agree as follows:

- 1. DURATION.** The duration or term of this Agreement shall be indefinite unless terminated pursuant to section 6 of this Agreement.
- 2. ORGANIZATION, COMPOSITION AND NATURE OF ANY SEPARATE LEGAL ENTITY CREATED BY THE CONTRACT.** The parties agree that a separate legal entity is not created by this Agreement. This Agreement does not void or supersede any other existing agreements involving the parties. Both the City and the County are independent units of local government with separate governing bodies.
- 3. PURPOSE OF INTERLOCAL CONTRACT.** The purpose of this Agreement is to clearly define roles and responsibilities of the City and County related to the collection, administration, and distribution of revenues from the LOFT.
- 4. MANNER OF COOPERATIVE UNDERTAKING AND ESTABLISHMENT OF BUDGET.** The parties agree to the following financial considerations:
 - 4.1.** The City is responsible for all City expenses unless otherwise provided for in this Agreement or by operation of law.
 - 4.2.** The County is responsible for all County expenses unless otherwise provided for in this Agreement or by operation of law.
 - 4.3.** The County will create a motor vehicle excise tax account as required by Mont. Code Ann. § 7-14-303(2).
 - 4.4.** Revenue from the County’s LOFT account will be dispersed to the City and County twice a year in accordance with Section 5.

4.5. City payments will be sent to:

City of Missoula Finance Department

435 Ryman St.
Missoula, MT 59802

5. MANAGEMENT AND ADMINISTRATION. The parties are responsible for the following management and administrative activities:

5.1. The Missoula County Treasurer, or his or her designee, will be responsible for collecting and dispersing LOFT revenue.

5.2. As required by Mont. Code Ann. § 7-14-302(2), one percent (1%) of the total revenue generated from the LOFT will be reimbursed or otherwise credited to retail sellers for the cost of complying with the requirements of the Missoula County Treasurer.

5.3. The City and County agree that should the Missoula County Treasurer determine that an administrative fee is needed, they will meet to determine a method for funding that request.

5.4. The City and County agree to split the cost of annual audits.

5.5. The Missoula County Treasurer will establish procedures to provide a refund to a person who has paid the tax but who can substantiate that the motor fuel was purchased for a use other than on the public roads and highways of this state.

5.6. The City and County will split the LOFT revenues equally after reimbursing 1% to the retail sellers and providing refunds to consumers in section 5.5.

6. TERMINATION. This Agreement may be terminated by either party unilaterally by giving notice of termination in writing at least thirty (30) days prior to the date of the intended termination. If for any reason the LOFT is terminated, the Agreement will automatically be terminated. In the event the Agreement is terminated any remaining revenues will equally be dispersed between the City and the County.

7. MANNER OF ACQUIRING, HOLDING AND DISPOSING REAL AND PERSONAL PROPERTY USED IN THE JOINT UNDERTAKING. No personal or real property shall be acquired, held and disposed of by the County or City in fulfillment of this Agreement.

8. RETIREMENT SYSTEM REPORTING. Each party is respectively responsible for any reports or payments of retirement system contributions for its employees.

9. INDEMNIFICATION. The City shall defend, indemnify and hold harmless the County, its employees and agents, from all claims, liabilities, causes of action or judgments, including costs and attorney fees, asserted by or awarded to third parties as a result of any negligent action or omission or willful misconduct of the City, its employees or agents in performance of work or services.

The County shall defend, indemnify and hold harmless the City, its employees and agents, from all claims, liabilities, causes of action or judgments, including costs and attorney fees, asserted by or awarded to third parties as a result of any negligent action or omission or willful misconduct of the County, its employees or agents in performance of work or services.

10. FILING OF INTERLOCAL AGREEMENT. The County shall file this agreement with the Missoula County Clerk and Recorder and with the Secretary of State.

11. AUTHORIZATION TO APPROPRIATE FUNDS. In accordance with Montana Code Annotated Section 7-11-108 the City and the County may appropriate funds for the purpose of performance of this Agreement and provide such personnel or services therefore as may be within its legal power to furnish.

Signed this _____ day of _____, 2020

MISSOULA BOARD OF COUNTY
COMMISSIONERS

CITY OF MISSOULA

BY:

BY:

Josh Slotnick
Chair

John Engen
Its: Mayor

David Strohmaier
Commissioner

ATTEST:

Marty Rehbein, City Clerk

Juanita Vero
Commissioner

ATTEST:

Tyler Gernant, Clerk and Recorder



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Safety and Health

Item: Confirmation of Officers

Date: August 27, 2020

Sponsor(s): Jaeson White

Prepared by: Laurie Clark

Ward(s) Affected:

- | | |
|---|---------------------------------|
| <input type="checkbox"/> Ward 1 | <input type="checkbox"/> Ward 4 |
| <input type="checkbox"/> Ward 2 | <input type="checkbox"/> Ward 5 |
| <input type="checkbox"/> Ward 3 | <input type="checkbox"/> Ward 6 |
| <input checked="" type="checkbox"/> All Wards | <input type="checkbox"/> N/A |

Action Required:

Confirm Officers Charles Burton, Tyler Swartz, Samuel Leyba, Nathan Champa, Timothy Muis, Clark Nissley, Daniel Buchholtz, Amanda Jay

Recommended Motion(s):

I move the City Council: confirm Officers Charles Burton, Tyler Swartz, Samuel Leyba, Nathan Champa, Timothy Muis, Clark Nissley, Daniel Buchholtz, Amanda Jay

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council action (or sets hearing):	September 21, 2020
Public Hearing:	Click or tap here to enter text.
Deadline:	Click or tap here to enter text.

Background and Alternatives Explored:

Police Officers are hired as probationary officers and are on probation for a period of one year. Their training includes 12 weeks at the Montana Law Enforcement Academy (unless previously academy-certified) and they are then in our department's Field Training Officer program for up to 14 weeks. After this six-month training period, officers are "on their own" responding to calls, etc. and are supervised by Corporals and Sergeants in their day-to-day activities.

Once they have satisfactorily completed the academy, FTO program and six additional months of probationary status, they are referred to City Council for confirmation.

Financial Implications:

Links to external websites:

City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Safety & Health

Item: Confirmation of Police Officers Canyon McKinstry & Jay Gillhouse

Date: **August 26, 2020**

Prepared by: **Laurie Clark**

Initiated by: Chief Jaeson White

Action Required:

Confirm Officers Charles Burton, Tyler Swartz, Samuel Leyba, Nathan Champa, Timothy Muis, Clark Nissley, Daniel Buchholtz, Amanda Jay

Recommended Motion:

I move the City Council confirm Officers Charles Burton, Tyler Swartz, Samuel Leyba, Nathan Champa, Timothy Muis, Clark Nissley, Daniel Buchholtz, Amanda Jay

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council acts:	September 21, 2020

Background and Alternatives Explored:

Police Officers are hired as probationary officers and are on probation for a period of one year. Their training includes 12 weeks at the Montana Law Enforcement Academy (unless previously academy-certified) and they are then in our department's Field Training Officer program for up to 14 weeks. After this six-month training period, officers are "on their own" responding to calls, etc. and are supervised by Corporals and Sergeants in their day-to-day activities.

Once they have satisfactorily completed the academy, FTO program and six additional months of probationary status, they are referred to City Council for confirmation.

Financial Implications:

Attachments:



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Safety and Health

Item: Justice Assistance Grant (JAG) Memorandum of Understanding

Date: September 9, 2020

Sponsor(s): Jaeson White;#108;#Scott Hoffman

Prepared by: Laurie Clark

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input checked="" type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Set and hold a public hearing on the Justice Assistance Grant Memorandum of Understanding

Timeline and Recommended Motions:

Referral to committee: September 14, 2020

Committee discussion: 09/16/2020

Council sets public hearing: 09/21/2020

Recommended motion: Set a public hearing on September 28, 2020 to approve a Memorandum of Understanding for the 2020 Edward J. Byrne Justice Assistance Grant between the City of the Missoula and Missoula County to accept funding for electronic control weapons and computer software programs and offset Missoula County's property clerk wages in the total amount of \$58,440.

Public Hearing: 09/28/2020

Recommended motion: Approve and authorize the Mayor to sign a Memorandum of Understanding for the 2020 Edward J. Byrne Justice Assistance Grant between the City of the Missoula and Missoula County to accept funding for electronic control weapons and computer software programs and offset Missoula County's property clerk wages in the total amount of \$58,440

Deadline: [Click or tap here to enter text.](#)

Background and Alternatives Explored:

Financial Implications:

Total grant award of \$58,400 for law enforcement programs; \$12,403 pass through to Missoula County.

Links to external websites:

**State of Montana
County of Missoula**

Memorandum of Understanding
Between the City of Missoula and the County of Missoula

2020 Edward Byrne Memorial Justice Assistance Grant

This Memorandum of Understanding is made and entered into this **11th day of August, 2020** by and between the **County of Missoula** acting by and through its governing body, the Missoula County Commissioners (hereinafter referred to as County) and the **City of Missoula** through its governing body, the Missoula City Council (hereinafter referred to as City) both of Missoula County, State of Montana.

Whereas, each governing body, in performing governmental functions or in paying for the performance of governmental functions hereunder, shall make that performance or those payments from current revenues legally available to that party; and

Whereas, each governing body finds that the performance of this Agreement is in the best interests of both parties, that the undertaking will benefit the public and that the division of costs fairly compensate the performing party for the services or functions, under this agreement; and

The City, as fiscal agent for the 2020 Edward Byrne Memorial Justice Assistance Grant, agrees to provide the City and County a total of \$58,440.00

The City and County believe it to be in the best interests to allocate the JAG funds as follows:

Now, therefore, the City and County agree as follows:

City agrees to pay County a total of \$12,403 from the JAG funds, if received.

County agrees to use the \$12,403 for the following programs:

- Property clerk.

City agrees to use the balance of the grant, \$46,037 for the following programs:

- Purchase electronic control devices (commonly referred to as Tasers)
- Continue subscription to on-line warrant program for Municipal & District Court judiciary.
- Continue Police One Academy subscription for briefing training and additional on-line training.

GMS Application Number: 2020-H8664-MT-DJ

Nothing in the performance of this Agreement shall impose any liability for claims against County.

Nothing in performance of this Agreement shall impose any liability for claims against City.

Each party to this agreement will be responsible for its own actions in providing services under this agreement and shall not be liable for any civil liability that may arise from the furnishing of the services by the other party.

The parties to this Agreement do not intend for any third party to obtain a right by virtue of this Agreement.

The parties to this Agreement do not intend for any third party to obtain a right by virtue of this Agreement.

CITY OF MISSOULA

COUNTY OF MISSOULA

Jaeson D. White, Chief of Police

TJ McDermott, Sheriff

John Engen, Mayor

Josh Slotnick, County Commissioner, Chair

ATTEST:

Marty Rehbein, CMC

Dave Strohmaier, County Commissioner

APPROVED AS TO FORM & CONTENT:

Jim Nugent, City Attorney

Juanita Vero, County Commissioner

ATTEST:

Tyler R. Gernant, Clerk and Recorder



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Resolution Requesting Distribution of Funds from MDT's Bridge and Road Safety and Accountability (BaRSAA) Program

Date: September 10, 2020

Sponsor(s): Brian Hensel and Jeremy Keene

Prepared by: Katie Emery

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input checked="" type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Adopt a resolution requesting funds from the Montana Department of Transportation's (MDT) Bridge and Road Safety and Accountability Program (BaRSAA), committing to the contribution of matching funds, and authorizing the Mayor to execute further documents as may be necessary for the distribution of funds.

Recommended Motion(s):

I move the City Council: Adopt a resolution requesting that MDT distribute the City of Missoula's 2020 allocated share of Bridge and Road Safety and Accountability Act (BaRSAA) Program funds, committing to the City's contribution of five percent in matching funds, and authorizing the Mayor to execute further documents as may be necessary for the distribution of funds.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council action (or sets hearing):	September 21, 2020
Public Hearing:	N/A
Deadline:	N/A

Background and Alternatives Explored:

This resolution has been prepared in accordance with MDT's policies for the distribution of BaRSAA funds. A copy of the guidance memo prepared by the Montana League of Cities and Towns is attached. The program enables local governments to leverage five percent in matching funds against state gas tax dollars for local roadway improvements.

Funds have been allocated to the City of Missoula for 2020 in the amount of \$1,277,511.16. Staff recommends \$250,815 of those funds be directed to the improvement projects completed in FY2020, shown in Appendix A of the proposed resolution, and \$1,026,696.16 of those funds be directed to the improvement projects to be completed in FY2021, shown in Appendix B of the proposed resolution. In addition, \$13,646.72 from the 2019 BaRSAA disbursement were allocated to projects shown in Appendix C. These funds were left over from the Van Buren Ave. at Missoula Ave. Roadway Approach Improvement Project, which came in under budget. MDT requires that City Council reallocate these funds through a resolution.

Financial Implications:

Matching funds will be provided as described in Appendices A, B, and C of the resolution.

Links to external websites:

N/A

RESOLUTION NUMBER ____

**A RESOLUTION REQUESTING DISTRIBUTION OF
BRIDGE AND ROAD SAFETY AND ACCOUNTABILITY PROGRAM FUNDS**

WHEREAS, the Bridge and Road Safety and Accountability Account created by HB 473 requires the Montana Department of Transportation to allocate accrued funds to cities, towns, counties, and consolidated city-county governments for construction, reconstruction, maintenance, and repair of rural roads, city or town streets and alleys, bridges, or roads and streets that the city, town, county, or consolidated city-county government has the responsibility to maintain; and,

WHEREAS, a city, town, county, or consolidated city-county government that requests funds under the Bridge and Road Safety and Accountability Account must match each \$20 requested with \$1 of local government matching funds; and,

WHEREAS, a city, town, county, or consolidated city-county government requesting distribution of allocated funds may make such a request to the Department of Transportation between March 1 and November 1 of the year the funds were allocated; and,

WHEREAS, the City would also like to request distribution of its 2020 BaRSAA allocation from MDT; and

WHEREAS, a description of the projects to be funded as well as the sources of the 5 percent local match are detailed in Appendices A and B; and

WHEREAS, the City of Missoula's 2019 BaRSAA funds were distributed to the City in May 2019 in accordance with Missoula Resolution 8335; and

WHEREAS, the Van Buren Ave. at Missoula Ave. Roadway Approach Improvement Project detailed in Resolution 8335 was completed but came in under budget; therefore, the City did not expend all of the BaRSAA funds allocated to the project; and

WHEREAS, the City would like to reallocate the remaining funds to the projects shown in Appendix C in the amount of \$13,646.72.

THEREFORE, NOW BE IT RESOLVED THAT:

1. City of Missoula requests distribution of its \$1,277,511.16 allocated share of 2020 Bridge and Road Safety and Accountability funds to be used for the projects identified in Appendices A and B.
2. City of Missoula requests reallocation of \$13,646.72 of its allocated share of 2019 Bridge and Road Safety and Accountability funds to be used for the projects shown in Appendix C.
3. That John Engen, the Mayor of the City of Missoula, is hereby empowered and authorized to execute such further documents as may be necessary to facilitate the distribution of said funds.

PASSED AND ADOPTED this ____ day of _____, 2020.

ATTEST:

Martha L. Rehbein, CMC
City Clerk

(SEAL)

APPROVED:

John Engen
Mayor

Appendix A

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2020 construction season will be as follows:

Street Chip Seal Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Garfield St. – S. 3 rd St. W. to Mount Ave.	\$18,418	\$921	Road District
Great Northern Ave. – W. Broadway to Mullan Rd.	\$25,731	\$1,287	Road District
England Blvd. – Reserve St. to Grizzly Ct.	\$5,756	\$288	Road District
Fort Missoula Rd. – Sgt. Sanders St. to Reserve St.	\$17,644	\$882	Road District
Fort Missoula Regional Park	\$7,356	\$368	Road District
Shaver Dr. – Lower Miller Creek Rd. to Jeff Dr.	\$16,147	\$807	Road District
Benton Ave. – Russell St. to Brooks St.	\$5,116	\$256	Road District
Gerald Ave. – S. 6 th St. E. to Daly Ave.	\$4,539	\$227	Road District
Expressway – Reserve St. to Grizzly Ct.	\$54,751	\$2,738	Road District
Grizzly Ct. – Expressway to End of Street	\$3,048	\$152	Road District
E. Harrier – Airway Blvd. to Cul-de-sac	\$5,353	\$268	Road District
W. Harrier – Airway Blvd. to Expressway	\$14,892	\$745	Road District
Trumpeter Ct. – Expressway to End of Street	\$3,633	\$182	Road District
Trumpeter Wy. – Expressway to W. Harrier	\$4,191	\$210	Road District
Curlew Ct. – Expressway to End of Street	\$3,543	\$177	Road District
Momont Rd. – Expressway to Industrial Rd.	\$4,804	\$240	Road District
Alloy South – Expressway to Industrial Rd.	\$4,492	\$225	Road District
Sandpiper Dr. – Expressway to Expressway	\$11,929	\$596	Road District
Kestrel Dr. – Tanager Wy. to Expressway	\$11,107	\$555	Road District

Street Chip Seal Projects	Requested BaRSAA Funds	5% Match	Local Match Source
S. 14 th St. W. – Eaton St. to Reserve St.	\$6,194	\$310	Road District
Stoddard St. – Scott St. to Milton St.	\$3,654	\$183	Road District
Defoe St. – Worden Ave. to Waverly St.	\$7,463	\$373	Road District
W. Kent Ave. – Bancroft St. to Park St.	\$6,639	\$332	Road District
<hr/>			
Total Request	\$250,815	\$12,541	

Appendix B

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2021 construction season will be as follows:

Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Street Chip Seal Projects			
Canyon River Rd. – Entire Street	\$17,368	\$868	Road District
Anglers Bend Wy. – Entire Street	\$26,354	\$1,318	Road District
Bandmann Trl. – Entire Street	\$11,046	\$552	Road District
Cahill Rise – Entire Street	\$7,631	\$382	Road District
Deer Creek Rd. – Bridge to South of I-90	\$15,873	\$794	Road District
Potter Park Lp. – Entire North/South Section	\$6,072	\$304	Road District
Wilkie St. – Entire Street	\$4,929	\$246	Road District
Wheeler Dr. – Entire Street	\$6,285	\$314	Road District
Ryman St. – Broadway to W. Railroad St.	\$8,138	\$407	Road District
Woody St. – Broadway to W. Railroad St.	\$6,581	\$329	Road District
N. Higgins Ave. – Broadway to W. Railroad St.	\$9,433	\$472	Road District
Van Buren/Rattlesnake Dr. – North of Roundabout to Herbert St.	\$22,007	\$1,100	Road District
Grant St. – Brooks St. to Alley North of 34 th St.	\$6,857	\$343	Road District
Dore Ln. – Brookes St. to 39 th St.	\$5,030	\$252	Road District
S. 7th St. W. – Kemp St. to Reserve St..	\$6,767	\$338	Road District
Margaret St. – S. 14 th St. W. to South Ave. W.	\$9,775	\$489	Road District
Kemp St. – S. 14 th St. W. to South Ave. W.	\$11,131	\$557	Road District
W. Kent St. – Reserve St. to Johnson St.	\$11,172	\$559	Road District

Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Strand Ave. – Margaret St. to East of Grant St.	\$10,415	\$521	Road District
Kensington Ave. – Margaret St. to East of Grant St.	\$11,933	\$597	Road District
Burlington Ave. – Clark St. to East of Grant St.	\$11,990	\$600	Road District
North Ave. – Johnson St. to Reserve St.	\$11,841	\$592	Road District
South Ave. – Higgins Ave. to Maurice Ave.	\$11,600	\$580	Road District
Street Mill & Overlay Projects			
C.S. Porter School – North Ave., 26 th St., Central Ave.	\$51,535	\$2,577	Road District
Missoula Ave. – Van Buren to Lolo St.	\$58,252	\$2,913	Road District
Ben Hogan Dr. – Broadview Pl. to Highland Park Dr.	\$45,243	\$2,262	Road District
High Park Wy. – 39 th St. to Simons Dr.	\$54,505	\$2,725	Road District
Other Improvement Projects			
Westside Area Mobility	\$171,936	\$8,597	Road District
Mullan Road Reconstruction	\$165,000	\$8,250	Developers
Burton	\$50,000	\$2,500	MRA/TIF
Russell/Fairgrounds	\$60,000	\$3,000	Grants, Fairgrounds, Transit
Ivy/Franklin	\$70,000	\$3,500	Road District, SID
Maple	\$50,000	\$2,500	Road District
Total Request	\$1,026,696.16	\$38,823.56	

Appendix C

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2020 construction season will be as follows:

Street Chip Seal Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Industrial Rd.	\$12,126.00	\$607.00	Road District
Kestral Ct.	\$1,520.72	\$76.00	Road District
	<hr/> \$13,646.72	<hr/> \$683.00	

RESOLUTION NUMBER 8335

A RESOLUTION REQUESTING DISTRIBUTION OF BRIDGE AND ROAD SAFETY AND ACCOUNTABILITY PROGRAM FUNDS

WHEREAS, the Bridge and Road Safety and Accountability Account created by HB 473 requires the Montana Department of Transportation to allocate accrued funds to cities, towns, counties, and consolidated city-county governments for construction, reconstruction, maintenance, and repair of rural roads, city or town streets and alleys, bridges, or roads and streets that the city, town, county, or consolidated city-county government has the responsibility to maintain; and,

WHEREAS, a city, town, county, or consolidated city-county government that requests funds under the Bridge and Road Safety and Accountability Account must match each \$20 requested with \$1 of local government matching funds; and,

WHEREAS, a city, town, county, or consolidated city-county government requesting distribution of allocated funds may make such a request to the Department of Transportation between March 1 and November 1 of the year the funds were allocated; and,

WHEREAS, a description of the projects to be funded (or the money used to match federal funds) are detailed in Appendix A; and,

WHEREAS, the 5% local match for the allocated funds has been budgeted in the following amounts as listed below, for a total match of \$39,760.00.

- \$10,000.00 for asphalt repair on 5th and 6th Streets—Higgins Ave. to Russell St. from Road District,
- \$2,480.00 for mill and overlay work on 23rd St.—55th to Hillview Way and 55th St.—23rd St. to Hillview Way from Road District #1,
- \$1,575.00 for chip and seal work on Benton St.—Russell St. to Belview Dr. from Road District,
- \$3,138.00 for mill and overlay work on England Blvd.—Reserve St. to Great Northern Ave. from Road District,
- \$2,256.00 for mill and overlay work on Garfield St.—S. 4th St. to S. 14th St. from Road District,
- \$921.00 for mill and overlay work on Great Northern Ave.—W. Broadway to American Way from Road District,
- \$324.00 for mill and overlay work on Greenough Dr.—Vine St. through I-90 Underpass from Road District,
- \$485.00 for mill and overlay work in the driving lanes on Jaiden Ln.—Scott Allen Dr. to 5000 Jaiden Ln. from Road District,
- \$1,185.00 for street reconstruction on Kensington Ave./Margaret St./Eaton St. from Road District,
- \$499.00 for chip and seal work in driving lanes on Martinwood Rd./Old Pond Rd./Mountain View Dr. from Road District,
- \$2,397.00 for mill and overlay work on Mainview Dr.—Hillview Way to 5030 Skyview Dr. from Road District,

- \$1,250.00 for a safety improvement project on Orange St. and Stephens Ave. from City Engineering Operating Budget,
- \$2,500.00 for a roadway approach improvement project on Van Buren Ave. at Missoula Ave. from City Engineering Operating Budget, and
- \$10,750.00 for a pavement installation project on Waterworks Hill from the Water Fund.

THEREFORE, NOW BE IT RESOLVED THAT:

1. City of Missoula requests distribution of its \$795,202.00 allocated share of Bridge and Road Safety and Accountability funds to be used for the projects identified in Appendix A.
2. That John Engen, the Mayor of the City of Missoula, is hereby empowered and authorized to execute such further documents as may be necessary to facilitate the distribution of said funds.

PASSED AND ADOPTED this 6th day of May, 2019.

ATTEST:

/s/ Martha L. Rehbein

Martha L. Rehbein, CMC
City Clerk

(SEAL)

APPROVED:

/s/ John Engen

John Engen
Mayor

Appendix A

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2019 construction season will be as follows:

Project	Requested BaRSAA Funds	5% Match	Local Match Source
5 th and 6 th Streets—Higgins Ave. to Russell St. Asphalt Repair Project	\$200,000.00	\$10,000.00	Road District
23 rd St.—55 th to Hillview Way and 55 th St.—23 rd St. to Hillview Way Mill and Overlay Project	\$49,600.00	\$2,480.00	Road District
Benton St.—Russell St. to Belview Dr. Chip and Seal Project	\$31,505.00	\$1,575.00	Road District
England Blvd.—Reserve St. to Great Northern Ave. Mill and Overlay Project	\$62,762.00	\$3,138.00	Road District
Garfield St.—S. 4 th St. to S. 14 th St. Mill and Overlay Project	\$45,117.00	\$2,256.00	Road District
Great Northern Ave.—W. Broadway to American Way Mill and Overlay Project	\$18,425.00	\$921.00	Road District
Greenough Dr.—Vine St. through I-90 Underpass Mill and Overlay Project	\$6,474.00	\$324.00	Road District
Jaiden Ln.—Scott Allen Dr. to 5000 Jaiden Ln (driving lanes) Mill and Overlay Project	\$9,690.00	\$485.00	Road District
Kensington Ave./Margaret St./Eaton St. Street Reconstruction Project	\$23,708.00	\$1,185.00	Road District
Martinwood Rd./Old Pond Rd./Mountain View Dr. Chip and Seal Project (driving lanes)	\$9,976.00	\$499.00	Road District
Mainview Dr.—Hillview Way to 5030 Skyview Dr. Mill and Overlay Project	\$47,945.00	\$2,397.00	Road District
Orange St. and Stephens Ave.— Safety Improvement Project	\$25,000.00	\$1,250.00	City Engineering Operating Budget
Van Buren Ave. at Missoula Ave. Roadway Approach Improvement Project	\$50,000.00	\$2,500.00	City Engineering Operating Budget
Waterworks Hill Pavement Project	\$215,000.00	\$10,750.00	Water Fund
Total Request	\$795,202.00	\$39,760.00	



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Surplus Resolution

Date: September 2, 2020

Sponsor(s): Scot Colwell

Prepared by: Scot Colwell

Ward(s) Affected:

- | | |
|---|---------------------------------|
| <input type="checkbox"/> Ward 1 | <input type="checkbox"/> Ward 4 |
| <input type="checkbox"/> Ward 2 | <input type="checkbox"/> Ward 5 |
| <input type="checkbox"/> Ward 3 | <input type="checkbox"/> Ward 6 |
| <input checked="" type="checkbox"/> All Wards | <input type="checkbox"/> N/A |

Action Required:

Please approve a resolution declaring certain City of Missoula Property as Surplus and Authorizing its disposal and or sale. Please see attached surplus resolution.

Recommended Motion(s):

I move the City Council: Approve a resolution declaring certain City of Missoula Property as Surplus and Authorizing its disposal and or sale.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council action (or sets hearing):	N/A
Public Hearing:	N/A
Deadline:	N/A

Background and Alternatives Explored:

The items on the resolution have served their useful life for the City of Missoula's purposes and needs and are no longer being used or operated by the City or have become too costly to operate and maintain.

Financial Implications:

As a way of partnering with community organizations two vehicles from the resolution list will be donated to the Missoula non-profit, Missoula Works. The two vehicles that will be donated will be units 587 and 234 on the resolution list. All other items determined to have value will be sold at auction. Any items that cannot be sold at auction will be sold for scrap or salvage value. Any items that have no scrap or salvage value will be disposed of properly and in compliance with EPA standards. All proceeds from the sale of surplus properties will be returned to the purchasing fund. Proceeds from items purchased with General Fund money will be returned to the General Fund. Proceeds purchased with money from Wastewater Treatment, Parking Commission, or

other enterprise funds will be returned to that corresponding fund. Note CMAQ and MACI equipment must meet the contract requirement to be put in a special fund to be used for air quality purchases.

Links to external websites:

RESOLUTION NUMBER _____

A RESOLUTION OF THE CITY COUNCIL DECLARING CERTAIN CITY OF MISSOULA PROPERTY AS SURPLUS AND AUTHORIZING ITS DISPOSAL.

WHEREAS, the following items of City owned property have served their useful life for the City of Missoula's purposes and needs and are no longer being used or operated by the City; and

WHEREAS, the City does not anticipate using or operating said property at any time in the future; and

WHEREAS, Section 7-8-4201, M.C.A.(2011) provides that:

7-8-4201. Disposal or lease of municipal property.

(1) Subject to the provisions of subsection (2) the city or town council may sell, dispose of, donate, or lease any property belonging to the city or town.

(2) (a) Except for property described in subsection (3), the lease, donation, or transfer must be made by an ordinance or resolution passed by a two-thirds vote of all the members of the council.

(b) Except for property acquired by tax deed or property described in subsection (3), if the property is held in trust for a specific purpose, the sale or lease must be approved by a majority vote of the electors of the municipality voting at an election called for that purpose. The election must be held in conjunction with a regular or primary election.

(3) If a city or town owns property containing a historically significant building or monument, the city or town may sell or give the property to nonprofit organizations or groups that agree to restore or preserve the property. The contract for the transfer of the property must contain a provision that:

(a) requires the property to be preserved in its present or restored state upon any subsequent transfer; and

(b) provides for the reversion of the property to the city or town for noncompliance with conditions attached to the transfer.

(4) This section may not be construed to abrogate the power of the board of park commissioners to lease all lands owned by the city that were acquired for parks within the limitations prescribed by [7-16-4223](#).

(5) A city or town may donate land or sell the land at a reduced price to a corporation for the purpose of constructing:

(a) a multifamily housing development operated by the corporation for low-income housing;

(b) single-family houses. Upon completion of a house, the corporation shall sell the property to a low-income person who meets the eligibility requirements of the corporation. Once the sale is completed, the property becomes subject to taxation.

(c) improvements to real property or modifying, altering, or repairing improvements to real property that will enable the corporation, subject to the restrictions of Article X, section 6, of the Montana constitution, to pursue purposes specified in the articles of incorporation of the corporation, including the sale, lease, rental, or other use of the donated land and improvements.

(6) Land that is transferred pursuant to subsection (5) must be used to permanently provide low-income housing. The transfer of the property may contain a reversionary clause to reflect this condition.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MISSOULA, MONTANA, that the following City property is approved for sale, lease, transfer or disposal:

<u>Unit</u>				
<u>Number</u>	<u>FAM</u>	<u>Description</u>	<u>Serial Number</u>	<u>Department</u>
14	6642	1996 Chevy Lumina Van	1GN DU06E4TT114196	Police
18	8175	2004 Nissan Sentra	3N1CB51D04L893045	Police
21	8141	2006 Nissan Titan	1N6AA06BX6N512075	Police
42	6684	2005 Ford Expedition	1FMPU16585LA67054	Police
43	9622	2014 Dodge Charger	2C3CDXAT9EH187278	Police
45	9621	2014 Dodge Charger	2C3CDXAT5EH187276	Police
46	8148	2010 Dodge Charger	2B3AA4CT4AH182119	Police
51	8123	2013 Dodge Charger	2C3CDXAT0DH537850	Police
52	8128	2013 Dodge Charger	2C3CDXAT8DH537854	Police
63	8126	2013 Dodge Charger	2C3CDXAT2DH537848	Police
70	9616	2014 Dodge Charger	2C3CDXAT7EH187277	Police
71	9615	2014 Dodge Charger	2C3CDXAT7EH187280	Police
72	9614	2014 Dodge Charger	2C3CDXAT9EH187281	Police
73	9599	2014 Dodge Charger	2C3CDXAT0EH187279	Police
80	9851	2014 Dodge Charger	2C3CDXKT6EH371463	Police
84	9855	2014 Dodge Charger	2C3CDXKT4EH371462	Police
90	5539	1990 Chevy 1 ton	1GCKP32N8L3322841	Police
121	6022	2002 International Vactor	1HTGGAET82H535247	Streets
123	1285	1982 CAT 120 Grader	61M09963	Streets
175	7327	1996 Ford CA 8000	1FDYH81E9TVA28953	Streets
213	7002	1996 Dodge Ram 1500	1B7HC16X5TS582089	Parks
234	4388	1993 Chevy 1500	1GCEK14Z4PE150219	Parks
252	8083	1998 Mitsubishi Minicab	U42T0514745	Parks
253	8084	2000 Honda ACTY	HA71115739	Parks
255	8085	1996 Mitsubishi Minicab	U42T0422026	Parks
286	8003	Toro 580 D 16' mower	260000133	Parks
296	8055	1999 Dodge 1500	1B7HC16Y4XS305030	Parks
450	10210	2007 Chevy Van	1GNHG31U071118754	Water
465	10225	2002 Ford F350	1FDSX35S22EB02160	Water
562	N/A	2000 John Deer JDF1145	M01145X180371	Sign
563	N/A	2004 Artic Cat 400	4UFO4ATV24T204734	Sign
586	4171	1984 Hyster MH140XL	A177B8135E	Sign
587	6601	2002 Chevy 1500	2GCEK19V321211818	Sign
633	4289	1982 John Deer 544C	406795	Cemetery
651	1971	1971 Leroi Air Compressor	203382	Cemetery
810	N/A	1999 Dodge Grand Caravan	2B4G924G1XR193446	IT

1271	9590	2012 Honda ST1300 PA	JH2SC5150CK000006	Police
1276	9592	2012 Honda ST1300 PA	JH2SC5152CK000007	Police
1367	8170	2008 Honda ST1300 PA	JH2SC51777M500076	Police
B223	N/A	2010 Stihl BR600 Blower	502121857	Parks
B254	N/A	2008 Stihl BG55 Blower	268117304	Parks
M202	N/A	2010 Husqvarna 7021R	062210M016866	Parks
M205	N/A	2010 Husqvarna 7021R	052510M015705	Parks
RT210	N/A	2012 Honda FG110	FAAA-1359393	Parks
SB5	N/A	1998 BCS	105541	Sign
WE175	N/A	2001 Troy built	52058-1201948	Parks
N/A	N/A	Chevy 1500		Water
N/A	N/A	Tire Spreader		Fleet
N/A	2911	16" lodge and Shipley Lathe		Fleet

AND BE IT FURTHER RESOLVED BY THE COUNCIL OF THE SAID CITY OF MISSOULA, MONTANA, that if any property is sold to other than a county or political subdivision, bids will be taken pursuant to 7-5-4307 MCA;

AND BE IT FURTHER RESOLVED BY THE COUNCIL OF THE SAID CITY OF MISSOULA, MONTANA, that if any property is sold or transferred to a county or political subdivision, the sale or transfer shall be subject to provisions of Section 7-8-101 MCA.

PASSED AND ADOPTED this _____ day of _____, 2017

ATTEST:

APPROVED:

Martha L. Rehbein
City Clerk

John Engen
Mayor

(SEAL)



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Reappointments to the Bicycle and Pedestrian Advisory Board

Date: September 14, 2020

Sponsor(s): John Engen

Prepared by: Heidi Bakula

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
	<input checked="" type="checkbox"/> N/A

Action Required:
Confirm Mayor's Appointment.

Recommended Motion(s):
I move the City Council:

Confirm the Mayor's reappointments of James Walter and Ryan Bundy to the Bicycle and Pedestrian Advisory Board for terms beginning October 1, 2020 and expiring on September 30, 2023.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council acts to set hearing:	NA
Public Hearing:	NA
Deadline:	NA

Background and Alternatives Explored: None.

Financial Implications: None.

Links to external websites: None.

Application Form -- Bicycle and Pedestrian Advisory Board

10/16/2019

Ryan Bundy
ryan.bundy@gmail.com
(406) 529-0270

In which ward do you reside? 3

Applicant Background

Are you a citizen of the United States of America? Yes
Are you a registered voter? Yes
How long immediately prior to this date have you been continuously a legal resident of the City of Missoula? 6 years
How long immediately prior to this date have you been continuously a legal resident of the State of Montana? 6 years

Current Occupation: architectural designer / project manager
Current Employer: MMW Architects

Briefly describe your educational background: Masters in Architecture

List of community service experience: Served on the Board of MUD, Missoula Urban Demonstration project 2013 - 2017

What is your interest in serving on this board, commission, or committee? As a person working in the architecture and construction world, and being a daily alternative transportation commuter, I have unique insight and passion for our city's urban planning efforts, especially as it relates to trail infrastructure and improving transportation options as the cities grows.

Do you have any special knowledge, interest, or experience that would qualify you for a position on this board, commission, or committee? see above.

References

Colin Woodrow
(406) 552-8303

Lucas Dupuis
(406) 880-1126

Application Form -- Bicycle and Pedestrian Advisory Board

James Walter
Bamaorganics@gmail.com
(334) 201-8104

In which ward do you reside? 4

Applicant Background

Are you a citizen of the United States of America? Yes

Are you a registered voter? Yes

How long immediately prior to this date have you been continuously a legal resident of the City of Missoula? 1.5 yrs

How long immediately prior to this date have you been continuously a legal resident of the State of Montana? 1.5 yrs

Current Occupation: stay at home father / independent metal fabricator

Current Employer: self employed

Briefly describe your educational background: Industrial welding and metal fabrication training and career in the field for over a decade

List of community service experience: Actively participate in Environmental organizations and Board member of local Bicycle non-profit (Pedal Missoula)

What is your interest in serving on this board, commission, or committee? I believe it is in the interest of our community to expand the opportunities to travel by bicycle off road, to make urban adjacent commuting safer and healthier.

Do you have any special knowledge, interest, or experience that would qualify you for a position on this board, commission, or committee? I have traveled most every accessible trail surrounding the city and often times taken my kids with me. I always commute to our recreational areas by bicycle and see many areas of possible improvement. I have lived in two different wards and experienced the negative and positive aspects of cycling throughout the city from them.

References

Toffer Lehnerr
(206) 409-3058

Ben Horan
(406) 351-0069

James Walter

Pedestrian Advisory Board
33 yr old father of two kids
Welding/metal fabrication
By trade

James Walter

334 201 8104

Bamaorganics@gmail.com

Non motorized activities

Cycle commuting with 2yr old and 4yr old

Mountain biking

Biking to hike with kids

Gravel cycling

Biking to parks with kids

Bikepacking

Family grocery shopping with cargo trailer

Bicycle bow hunting

Running greenway trails with kids.

Bike fly fishing

Advocacy

Pedal Missoula

Board member / treasurer

- Organize community cycling events to boost community engagement
- Participate in long-term planning and organizational strategy

Mtb Missoula

Annual family member/ supporter

- Work on volunteer trail crews to clean and maintain local single track
- Participate in local fundraising events.

Free Cycles Missoula

Volunteer and patron

- Built display system for showroom with recycled bike parts
- Participate in group bicycle rides with staff and community members

Soil Cycle

Volunteer and patron

- Bike finished compost to Soil Cycle subscribers throughout Missoula
- Attend community fundraising events

Whether I am dropping my son at pre-k, joining my friends for a morning cup of coffee, or traveling deep into the Rattlesnake to hunt, I am almost always traveling by bicycle. I envision a Missoula where mountain bikers can easily move from urban space to trailheads to wild places and back again. As an

advisory board member, I hope to promote innovative urban singletrack development, as well as cycling connectivity to local open space.

REZONING STAFF REPORT

Agenda item:	Adopt the Remington Flats Neighborhood Character Overlay Zone and Rezone Tract 9 of COS No. 3176 from RT5.4 Residential to RT5.4 Residential with the Remington Flats Neighborhood Character Overlay
Report Date(s):	9/9/2020
Case Planner:	Dave DeGrandpre, Planning Supervisor
Public Meetings & Hearings:	Planning Board (PB) hearing: 9/15/2020 City Council (CC) 1st reading and referral: 9/21/2020 Land Use & Planning (LUP) pre-hearing: 9/30/2020 City Council hearing: 10/5/2020
Fee Owner:	Zootown Investments, LLC 2336 Aspen Grove Missoula, MT 59801
Applicant:	Denali Development, LLC 2336 Aspen Grove Missoula, MT 59801
Representative:	Brian Throckmorton 406 Engineering 1201 S. 6 th Street, W., #102 Missoula, MT 5980
Location of request:	Mullan Master Plan Area west of Reserve Street and immediately north of the 44 Ranch Subdivision in the Capt. John Mullan Neighborhood Council area and Ward 2.
Legal description:	Tract 9 of COS No. 3176 in the NE ¼ of the SW ¼ of Section 12, Township 13 North, Range 20 West, P.M.M.
Legal ad:	The legal ad was published in the <i>Missoulian</i> on August 30 and September 6, 2020. The site was posted on August 31, 2020. Adjacent property owners and the physical addresses within 150 feet of the site were notified by certified or first class mail on August 31, 2020.
Zoning:	RT5.4 Residential.
Growth Policy:	<i>Our Missoula: City Growth Policy 2035</i> recommends a land use designation of Residential Medium – 3 to 11 Dwelling Units Per Acre.

STAFF RECOMMENDATION

APPROVE adoption of an ordinance to establish the Remington Flats Neighborhood Character Overlay District and to rezone the subject property from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay District based on the findings of fact in the staff report.

RECOMMENDED MOTIONS

PB p/h: 9/15/20	APPROVE the adoption of an ordinance to establish the Remington Flats Neighborhood Character Overlay District and to rezone Tract 9 of COS No. 3176 in the NE ¼ of the SW ¼ of Section 12, Township 13 North, Range 20 West from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay District based on the findings of fact in the staff report.
CC first reading:	[First reading and preliminary adoption] Set a public hearing on October 5, 2020; preliminarily adopt an ordinance to establish the Remington Flats Neighborhood Character Overlay District and

9/21/20	to rezone Tract 9 of COS No. 3176 in the NE ¼ of the SW ¼ of Section 12, Township 13 North, Range 20 West from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay District based on the findings of fact in the staff report, and refer the ordinance to the Land Use and Planning Committee for presentation on September 30, 2020.
LUP: 9/30/20	Discussion only – pre-public hearing.
CC p/h: 10/5/20 May be continued to 10/19/20	[Second and final reading] (Adopt/Deny) an ordinance to establish the Remington Flats Neighborhood Character Overlay District and to rezone Tract 9 of COS No. 3176 in the NE ¼ of the SW ¼ of Section 12, Township 13 North, Range 20 West from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay District based on the findings of fact in the staff report.

I. INTRODUCTION

Development Services has received an application from Brian Throckmorton of 406 Engineering representing Denali Development, LLC to establish a Remington Flats Neighborhood Character Overlay Zoning District and to rezone 20.01 acres located in the Mullan Master Plan Area and immediately north of the 44 Ranch Subdivision from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay. Establishment of this district and rezoning of the property is proposed to happen concurrently with preliminary approval of the Remington Flats Phased Subdivision Plat and Application.

Staff has reviewed the applicant's submittal packet and bases the recommendation of approval on the following findings of fact.

II. REZONING REVIEW CRITERIA

Findings of Fact:

Overlay Districts, General:

1. Overlay district regulations may be established only in accordance with the zoning amendment procedures of Title 20.85.040.
2. Overlay zoning district regulations apply in combination with underlying (base) zoning district regulations and all other applicable regulations of the zoning ordinance. When overlay district standards conflict with standards that would otherwise apply, the regulations of the overlay zoning district govern.
3. After an overlay district is established, the overlay district may be applied to specific property in accordance with the zoning amendment procedures.

Neighborhood Character Overlay Districts:

4. As per Title 20 Section 20.25.040, neighborhood character overlay districts are intended to:
 - A. Recognize and protect the physical character of neighborhoods that exhibit unique development building patterns;
 - B. Encourage neighborhood investment in the form of construction and development that conform to the size, orientation and setting of existing buildings in the neighborhood;
 - C. Implement adopted neighborhood plans;
 - D. Foster development and redevelopment that are compatible with the scale and physical character of original buildings in the neighborhood through the use of development/design standards;
 - E. Ensure a stabilized tax base, and
 - F. Promote natural and cultural assets.

Remington Flats Neighborhood Character Overlay District:

5. The Remington Flats Neighborhood Character Overlay District is intended to be 'overlain' on top of the RT5.4 Residential district applied to the Remington Flats Subdivision property.
6. Remington Flats is a 152-lot residential subdivision planned to be developed in 7 phases over approximately 7 years. The property is located in the Mullan Master Plan Area immediately north of the 44 Ranch development. Historically the property has been used for hay and cattle growing. It is undeveloped except for a small irrigation ditch segment in the southwest corner. To the north is agricultural land, to the west is vacant Missoula Airport Authority land, and to the east is agricultural land where a multi-dwelling and mixed-use subdivision is in the early stages of review. The subdivision is proposed with lot sizes ranging from 1,986 to 5,161 square feet intended to accommodate single-unit detached homes and two- and three-unit townhomes. Urban Collector roadway Chuck Wagon Drive is planned along the west property boundary. A new public street network is proposed along with landscaped boulevards and sidewalks that would connect with existing and planned development.
7. Building standards for the RT5.4 Residential district include 20-foot front and rear setbacks, 7.5 interior lot and 10-foot side street setbacks, and a maximum building height of 35 feet. Detached dwellings and two-unit / townhouse building types are permitted. Mixed-use buildings are also permitted, but few uses other than residential are allowed.

8. The Remington Flats Neighborhood Character Overlay District does not seek to modify any of the land uses in the RT5.4 Residential district. Instead, the intent is to provide a slightly denser development pattern and more diverse variety of building types by:
 - A. Allowing up to three-unit townhomes instead of limiting development to two-unit structures; and
 - B. Reducing front setbacks to 10 feet (except for garages, which would remain set back at least 20 feet to accommodate driveway parking) and reducing interior side setbacks from 7.5 to 5 feet.

Review Procedure

9. To establish a neighborhood character overlay district, the zoning amendment procedures of Title 20 Section 20.85.040 must be followed. The following actions have been or are scheduled to be taken in accordance with the procedural requirements:
 - A. Public hearings are scheduled for September 15, 2020 (Planning Board) and October 5, 2020 with possible extension to October 19, 2020 (City Council).
 - B. Notice of the hearings was published in the Missoulian August 30 and September 6.
 - C. Notice of the hearings was mailed first class to the subject property owner and physical address as well as owners and physical addresses of property within 150 feet of the subject parcels on August 31.
 - D. Notices were physically posted on the subject property August 31.

Criteria to Establish the Remington Flats Neighborhood Character Overlay District (/NC-RF):

10. Does the area possess urban design, architectural, or other physical development characteristics that create an identifiable setting, character and association?

Somewhat. If future development of the property occurs as provided under the base zoning and /NC-RF overlay, the district will provide a new urban-scale residential neighborhood with a larger variety of dwellings than currently allowed under the RT5.4 Residential base zoning. The NC-RF district would allow traditional detached single-unit homes, two-unit townhomes, and three-unit townhomes on a variety of lot sizes. The lots would all front on city streets with boulevards and sidewalks and connect to adjoining established and planned development. Overall, this subdivision would be likely to blend in with the single-unit structures on larger lots to the south and multi-dwelling and mixed-use development that is planned to the east.

The /NC-RF overlay does not include traditional or character-based architectural standards other than allowing garages and carports to occupy any percentage of the building front facades. Because most of the lots are not planned with alley access, this is likely to result garages occupying a large percentage of building fronts and street fronts. This is a development style that some communities are seeking to move away from, but the developers have indicated is often preferred by consumers.

11. Is the district a contiguous area of at least five acres?

Yes, the district is planned to span 20.01 acres.

12. Is the zoning is made in accordance with a growth policy.

Yes, for the following reasons:

- A. The Future Land Use Map of the *Our Missoula*, City Growth Policy 2035 provides a designation in this area of Residential Medium Density – 3 to 11 Units Per Acre. The /NC-RF overlay and Remington Flats Subdivision provide a density of 7.6 dwelling units per acre.
- B. The Growth Policy cites a 'focus inward' policy that promotes compact and dense development along major transportation corridors. The /HC-RF district would allow for compact development by permitting up to three attached townhouse units and lots as small as 1,986 square feet to be served by planned Urban Collector Chuck Wagon Drive along the west property boundary and the existing nearby Urban Collector George Elmer Drive approximately 650 feet to the east. These two streets are planned to link Mullan Road (south) with West Broadway (north) and England Boulevard (east) in the future.
- C. The City Growth Policy states Missoula aspires to be a community where members of all income groups can find decent housing and positive steps must be taken to address the availability of safe, affordable

housing. By allowing greater diversity of lot sizes and residential building types, this district would provide for well-built new housing for a variety of income levels.

13. Is the zoning designed to secure safety from fire and other dangers?

Yes, the zoning is intended to be applied to a development outside of a floodplain and outside of the wildland-urban interface. The development is planned with adequate access and circulation and served by City fire and police protection, water and sewer.

14. Is the zoning designed to promote public health, safety, and the general welfare?

Yes, the zoning would be applied to a residential development with streets with sidewalks and within ¼ mile of a neighborhood park. The development would be served by municipal water and sewer services. Solid waste services are available. Schools are close by. The zoning is intended to allow for a mixture of medium-density residential housing types in a cohesive neighborhood away from hazardous land or safety dangers.

15. Is the zoning designed to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements?

Yes, the zoning and development would allow adequate vehicular and pedestrian access, be served by municipal water and sewer, and local schools and parks. Hospitals, shopping, dining, employment, and other services are close by.

16. Would the zoning provide adequate light and air?

Yes, the maximum building height under the zoning is 35 feet and the maximum number of attached homes would be three. There is no reason to believe adequate light and air would not be provided under the zoning.

17. How would the zoning impact motorized and non-motorized transportation?

The area is planned for medium density residential development at a density of 3 – 11 homes per acre. The zoning and subdivision would provide for 7.6 homes per acre. Improvements to the intersections of George Elmer Drive / Mullan Road and Chuck Wagon Drive / Mullan Road are planned to alleviate congestion and through the subdivision review process, this subdivision would contribute to those improvements. The subdivision would also provide pedestrian facilities to serve the local residents. Overall, the zoning would have a negligible impact on motorized and non-motorized transportation systems.

18. Would the zoning promote compatible urban growth?

Yes, to the south is a residential subdivision and to the east is a planned multi-dwelling and mixed-use development. Although the zoning would allow a slightly denser development pattern and a larger range of residential building types than directly to the south, the zoning would allow development that is of relatively modest scale (i.e., not high-rises) within a growing residential area.

19. Does the zoning consider the character of the district and its peculiar suitability for particular uses?

Yes, the area is residential in nature and this district would continue that land use. The area is relatively flat, devoid of hazards, is served by transportation, water, sewer, and other municipal infrastructure, and is located in close proximity to employment centers, shopping, dining, and a host of services. Therefore, the zoning is well designed for the character of the district and its peculiar suitability for the proposed land use.

20. Would the zoning conserve the value of buildings and encourage the most appropriate use of land throughout the jurisdictional area?

Yes, the zoning would conserve (i.e., not impact) the value of nearby buildings. Through the growth policy development process, the community decided the most appropriate use of land in this area is medium density residential development. The zoning would help to implement that vision.

21. Would the zoning correct an error or inconsistency in the zoning ordinance or meet the challenge of a changing condition?
The zoning would not correct an error or inconsistency in the zoning ordinance. Rather the zoning, by allowing a variety of lot sizes and housing types, would help to meet the well documented challenge of providing various housing types at different price points in the Missoula area.
22. Is the zoning in the best interest of the City as a whole?
The zoning would allow for a mixture of lot sizes and building types to address a pressing need for housing stock at varying price points. The area is planned for this type of development with adequate transportation, water, sewer, fire and police protection, schools, and other services. The district would be located near shopping, dining, and employment, and be a short distance from the airport and interstate highway. In summary, adoption of the /NC-RF Overlay District is in the best interest of the City as a whole.
23. Are there any recommended district-specific development and design standards?
None are recommended, although architectural treatments such as articulated front entryways, window treatments, building materials, front porches, and other elements of traditional neighborhood design could be added to the project covenants to help create an attractive neighborhood as it develops.
24. Are there any planning and zoning implications related to the designation of the proposed area and application of the district-specific development and design standards?
Other than the provision of more and varied housing in accordance with the growth policy, no other planning or zoning implications are expected.

III. ATTACHMENTS

Please see the application materials.

Remington Flats Subdivision

Neighborhood Character Overlay:

A. Purpose:

The Remington Flats Neighborhood Character Overlay District is intended to create a variety of housing options serving households with diverse incomes within a newly planned subdivision. The District will allow a mixing of different socioeconomic households to create a more diverse and rounded community.

B. Applicability:

- a. The standards apply to property legally described in the ordinance and in the location Map.
- b. Unless specifically addressed in the overlay, all applicable Title 20 zoning ordinances regulations and all standards for zoning district RT5.4 Residential apply.

C. Location:

Remington Flats Subdivision, see Map

D. Parcel and Building Standards:

- a. Setbacks
 - i. The minimum setback requirements of the RT5.4 Residential zoning district apply, except as follows: front set back shall be 10-feet from any building component including porches except for the street side of any garage shall be a 20-foot set back from the property line; interior side setbacks shall be 5-feet minimum.
- b. Residential Building Types
 - i. Detached house, two-unit townhouse and three-unit townhouse are permitted in the overlay with each unit on its own platted lot within the subdivision

E. Allowed and Prohibited Uses:

Per Title 20 City Zoning Ordinance Standards

F. Parking:

Per Title 20 City Zoning Ordinance Standards

G. Townhouse Standards:

Townhouse standards apply per Title 20 City Zoning Ordinance Standards except as follows:

- a. Parking and Access requirements per Title 20 shall apply except as follows; garage or carport width shall have no maximum or percentage of facade for each dwelling unit; there shall be no minimum distance requirements between driveways of each unit though an effort shall be made to maximize on street parking.

EXECUTIVE SUMMARY

CASE PLANNER: Dave DeGrandpre

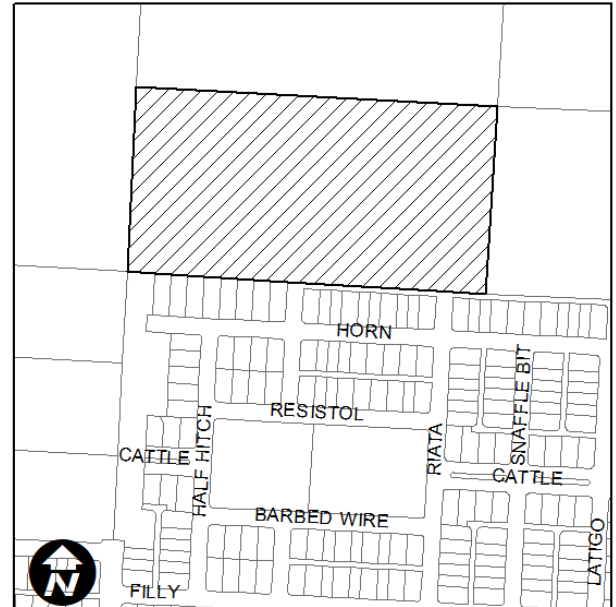
REVIEWED AND APPROVED BY: Mary McCrea

PUBLIC HEARING DATES: Planning Board: 9/15/20
City Council: 10/5/20

80-DAY LIMIT: Expires 11/3/20

APPLICANT: Denali Development, LLC
2336 Aspen Grove
Missoula, MT 59801

FEE OWNER: Zootown Investments, LLC
2336 Aspen Grove
Missoula, MT 59801



AGENT: Brian Throckmorton, P.E.
406 Engineering
1201 S. 6th Street W., #102
Missoula MT 59801

LOCATION: Mullan Master Plan Area west of Reserve Street and immediately north of the 44 Ranch Subdivision

LEGAL DESCRIPTION: Tract 9 of COS No. 3176 in the NE ¼ of the SW ¼ of Section 12, Township 13 N, Range 20 W, P.M.M.

LEGAL NOTICE: Adjacent property owners were notified by certified mail on August 31, 2020. Two subdivision posters were placed on the property on August 31, 2020. Legal notice was published in the Missoulian August 30 and September 6, 2020.

ZONING: RT5.4 Residential and requesting a Remington Flats Neighborhood Character Overlay

GROWTH POLICY: The *2035 Our Missoula City Growth Policy* provides a land use designation of Residential Medium – 3 to 11 dwelling units per acre.

SURROUNDING LAND USES

North: Agriculture
South: Residential
East: Agriculture
West: Airport

SURROUNDING ZONING

C-RR1 Rural Residential (County)
44 Ranch Special District
C-RR1 Rural Residential
C-RR1 Rural Residential

PROPOSAL

1. Request to vary from Section 3-020.2(A)2 limiting maximum block length to 480 feet in subdivisions.
2. Request to vary from Section 3-020.2(A)2 limiting maximum block length to 480 feet in subdivisions.
3. Request to vary from Section 3-020 Table .2A to allow rights-of-way for Low Density Urban Local Streets to be 64 feet instead of 70.
4. Request to vary from Section 3-020 Table .2A for Urban Collector right-of-way width and half-street improvements.
5. Remington Flats Phased Subdivision Plat and Application.

STAFF RECOMMENDATION

1. **Approval** of the variance request to allow the block for Lots 1–9 to be longer than 480 feet.
2. **Approval** of the variance request to allow the block for Lots 122–135 to be longer than 480 feet.
3. **Approval** of the variance request to allow Winchester Drive, Browning Road, Tenderfoot Way, Ruger Road, and Riata Road to be built within 64-foot rights-of-way instead of 70.
4. **Approval** of the variance request to allow Chuck Wagon Drive to be built as a half-street Urban Collector (with parking) within a 40-foot right-of-way width instead a full street section built within a 90-foot right-of-way.
5. **Preliminary Approval** of the Remington Flats Phased Subdivision plat and application.

REMINGTON FLATS PHASED MAJOR SUBDIVISION

SEPTEMBER 8, 2020

I. INTRODUCTION

Remington Flats is a 152-lot major subdivision planned to be constructed in seven phases on 20.01 acres. The property is located in the Mullan Master Plan Area west of Reserve Street and immediately north of the 44 Ranch Subdivision. The landowner has petitioned City Council to annex the tract of land into the city limits and apply an initial zoning of RT5.4 Residential. Concurrently, the landowner seeks to subdivide the property and rezone it by adding a Remington Flats Neighborhood Character Overlay District. This report discusses the subdivision. A rezoning report is provided separately.

The *2035 Our Missoula City Growth Policy* Future Land Use Map provides a land use designation in this area of Residential Medium – 3 to 11 dwelling units per acre. The proposed density of the subdivision is 7.6 dwelling units per acre. The proposed lot sizes range from 1,986 to 5,191 square feet.

The standard RT5.4 Residential district limits residential development to single- and two-unit houses and townhouses. The proposed Remington Flats Neighborhood Character Overlay would allow for up to three attached townhouse units and allow for smaller setbacks than would normally apply.

The total lotted area of the subdivision is 13.02 acres out of the 20.01 acres, with the remainder in dedicated rights-of-way. The parkland dedication requirement is 1.43 acres. Cash in lieu of parkland is proposed.

Chuck Wagon Drive, a planned Urban Collector, is proposed to extend north from the 44 Ranch Subdivision along the western property boundary. The 80-foot right-of-way for Chuck Wagon Drive ends at the southwestern corner of the property. The subdivider is proposing to build a half-street within the existing dedicated 40-foot of right-of-way along the west boundary. The City hopes / plans to acquire an additional 40 feet of right-of-way from the Missoula Airport Authority (the adjoining landowner) to allow completion of Chuck Wagon Drive along the property and further north.

Urban Local streets are proposed to be built and connect to the existing 44 Ranch Subdivision to the south and a forthcoming subdivision to the east. Street frontages are designed with landscaped boulevards and sidewalks.

The property is within the Urban Growth Area, the Waste Water Service Area, and the Air Stagnation Zone. All new homes are planned to connect to City water and sewer.

The applicant requests four variances. Two of the variances are for block lengths and two are for right-of-way widths.

II. SUBDIVISION FINDINGS OF FACT

A. GROWTH POLICY COMPLIANCE

Findings of Fact:

1. City of Missoula Subdivision Regulations Section 3-010.1.I. requires that subdivisions be reviewed for compliance with the growth policy and its amendments.

2. The *2035 Our Missoula City Growth Policy* contains a future land use map with land use designations that visually depict the community's desired direction as it meets new growth challenges and changing times. The land use descriptions and recommended locations help to set a broad understanding of future land use patterns that enables city services and agencies along with residents, property owners, and neighborhoods to plan effectively for the future. The mapping is a visual representation of the balanced, value-based review of the goals, objectives, and actions recommended as part of the growth policy. (*2035 City Growth Policy page 114*)
3. The *2035 Our Missoula City Growth Policy* future land use map provides a land use designation of Residential Medium Density – 3 to 11 dwelling units per acre for the property. (*2035 City Growth Policy Future Land Use Designation Map*)
4. The subdivision is intended to create 152 lots from the 20.01 acres, for a density of 7.6 dwelling units per acre. (*Preliminary Plat*)

Conclusions of Law

1. The proposed Remington Flats Phased Subdivision substantially complies with the *2035 Our Missoula City Growth Policy*.

B. PRIMARY CRITERIA COMPLIANCE

CRITERION 1: EFFECTS ON AGRICULTURE & AGRICULTURAL WATER USER FACILITIES

Findings of Fact: Agriculture

1. The USDA Natural Resources Conservation Service lists one soil type on this tract: Desmet loam. This soil type is classified as "Prime Farmland if Irrigated." (*Subdivision Application Section H, NRCS Soil Report*)
2. The application submittal states the land was historically used for raising livestock and growing hay in the past, although not within the past several years. (*Subdivision Application pages 7-8*)
3. The property is currently zoned by Missoula County as C-RR1 Residential, which provides a maximum residential density of one dwelling unit per acre. The existence of County residential zoning on the parcels anticipates a land use of residential rather than agricultural purposes. The *Our Missoula City Growth Policy* designates the property for urban scale residential development. (*Subdivision Application page 3, City Growth Policy*)

Agricultural Water User Facilities

4. The property has irrigation water rights, which are proposed to be abandoned or transferred from the property. (*Subdivision Application pages 8-9*)
5. At the southwest corner of the property is a culverted irrigation ditch. This is the only agricultural water user facility on the property and is proposed to be re-culverted with the extension of Chuck Wagon Drive. (*Site Map Existing Conditions Exhibit, Subdivision Application page 14*)

Conclusions of Law:

1. This subdivision would prevent use of productive soils for agriculture. However, the property is zoned for residential use and is planned for urban scale residential development.

2. No impacts to agricultural water users or water user facilities are foreseen as a result of this subdivision.

CRITERION 2: EFFECTS ON LOCAL SERVICES

Transportation and Drainage

Findings of Fact:

Streets and Alleys

1. Access to the subdivision would be from Chuck Wagon Drive, classified as an Urban Collector Street, and Tenderfoot Way and Riata Road, classified as Low Density Urban Local Streets. Winchester Drive and Remington Drive are also proposed to provide access to subdivision lots and to connect to the east where future development is planned. The subdivider would be responsible for designing and building/upgrading all of the transportation facilities within the subdivision in accordance with City Public Works Standards and Specifications and the City Subdivision Regulations (except as may be modified by variance). The plans must comply with Americans with Disabilities Act requirements and be approved by the City Engineer. (*Project Summary, Preliminary Plat, Subdivision Regulations Section 3-020.2.*)
2. The subdivision application submittal includes a traffic impact study. The study indicates that due to vehicle trips generated from this and other nearby subdivisions, a right-turn deceleration lane will likely be needed on Mullan Road for westbound traffic at the Chuck Wagon Drive intersection by Phase 2 of Remington Flats development. Improvements to that intersection are currently being planned. (*Traffic Impact Study*)
3. Street names are provided on the preliminary plat. Section 3-020.12 of the City Subdivision Regulations requires the street naming plan to be reviewed and approved prior to final plat approval. This requirement is reflected in a recommended condition of preliminary plat approval. (*Preliminary Plat Sheets, City Subdivision Regulations Section 3-020.12*)
4. Section 3-020.4(H)(2) of the City Subdivision regulations requires street signs and traffic control devices to be approved by the City Engineer and consistent with the Manual on Uniform Traffic Control Devices adopted by the Montana Department of Transportation. A recommended condition of approval requires signage plans to be reviewed and approved by City Fire and the City Engineer and installation of signage meeting the above-named standards prior to platting of each phase.
5. All streets and alley rights-of-way are proposed to be dedicated to the public. Section 3-020.3(A)(1) of the City Subdivision regulations requires each public road to provide for construction and perpetual maintenance of the road. Section 5-050.4(M & N) of the City Subdivision regulations requires the Special Improvement District (SID) statement to be provided on the plat and on each instrument of conveyance. A condition of approval is recommended requiring a SID statement on the plat and in the subdivision covenants for future improvements and maintenance to all streets and alleys providing access to the subdivision lots.
6. Section 3-060.1 of the City Subdivision Regulations requires easements be provided for vehicular and pedestrian access, utilities, and irrigation ditches and City Engineer approval of the easements. A condition of approval requires that the location and width of all easements including streets, utilities, and the irrigation ditch shall be approved by the City Engineer prior to final plat approval of each phase.

7. The Missoula Public Works Standards and Specifications state the need for street lighting shall be considered for all new streets based on functional classification, traffic volumes, and other factors. The Missoula Public Works Director has recommended street lighting along Chuck Wagon Drive, with maintenance to occur through a lighting district or similar ongoing source of funding. A condition of approval requires the subdivider to install street lighting along Chuck Wagon Drive on the property as phases are developed and to petition to create a new street lighting district. (*Missoula Public Works Standards and Specifications Manual Section 7.3.6, Personal Communication with Public Works Director Keene 9/4/20*)
8. Subdivision Regulations Section 3-020.2 and .3C requires improvements to streets within or adjacent to a subdivision to meet the standards prescribed in Table .2A.

Chuck Wagon Drive

9. Chuck Wagon Drive is classified as an Urban Collector (with parking). City of Missoula Subdivision Regulations Table .2A shows Urban Collectors with parking require a minimum 90-foot wide right-of-way that includes two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks (approximately 59 feet total, with a small amount of additional space for maintenance). Table .2A also includes the possibility of a center turn lane, which would require additional space. (*Subdivision Regulations, Table .2A*)
10. The existing publicly dedicated right-of-way for Chuck Wagon Drive extending northward from Mullan Road to the southwestern corner of the property is 80 feet wide. Along the west boundary of the subject property, a 40-foot wide right-of-way strip was publicly dedicated. The subdivider has requested a variance to build half-street improvements within the 40-foot right-of-way for Chuck Wagon Drive along the west property boundary, with the expectation that additional right-of-way will be acquired along the adjacent Missoula Airport Authority property at some point in the future so the road can be completed. This variance request is addressed below. (*Certificate of Survey No. 5699, Variance Request #4*)
11. Chuck Wagon Drive is an existing road that currently ends approximately 1,000 feet south of the subject property. Although plans exist to extend Chuck Wagon Drive from Mullan Road to property, it is being developed in conjunction with other subdivisions so the timing is uncertain. The Remington Flats subdivider has proposed to address this situation by installing the road base from the end of the existing road to the subdivision as part of Phase 1 improvements, allowing construction traffic to use this road instead of the adjoining streets in the 44 Ranch Subdivision. The subdivider would then pave this stretch of road as part of Phase 2 improvements to connect to Mullan Road. The developer's off-site improvements to Chuck Wagon Drive would include two 11-foot paved drive lanes, two-foot shoulders, and roadside ditches, with remaining improvements necessary to complete the road to City standards to be made by other subdividers. (*Preliminary Plat, Project Summary*)
12. The subdivision submittal includes a traffic impact study (TIS) that estimates at full build-out, the subdivision would generate 1,435 new daily vehicle trips. The TIS evaluates potential impacts from this and other development on the intersections of George Elmer Drive / Mullan Road and Chuck Wagon Drive / Mullan Road. The TIS projects that without improvements, these intersections will function below acceptable levels of service by 2026.
13. Improvements to the intersection of George Elmer Drive / Mullan Road are planned to be funded in part through the Mullan BUILD grant and in part through City and County

contributions. The City and County are exploring cost recovery mechanisms from subdividers who will benefit from these investments. Conditions of approval include a requirement for the subdivider and/or future residents to contribute a proportionate share to George Elmer Drive / Mullan Road intersection improvements including potential participation in a special improvement district, impact fees, latecomers fees, or other mechanism. This is reflected in a recommended condition of approval.

14. Chuck Wagon Drive is not a Mullan BUILD project road so improvements to the intersection with Mullan Road that are made necessary by this and other subdivisions must be made by subdividers in conjunction with the City. Assistant City Engineer Troy Monroe indicated the costs of improvements to this intersection to be \$827,954 (2021 dollars). Impact fees are planned to pay for \$300,000 of the cost and the subdividers of Remington Flats, 44 Ranch, and Heron's Landing and others are to pay for the remainder. Based on trip generation estimates in the three subdivision traffic impact studies, Mr. Monroe calculated Remington Flats to be responsible for up to 15.7% of the costs of these intersection improvements, or \$83,084 (figures subject to change). A condition of approval is included that would require funds to be paid to the City for these improvements prior to final plat filing of each phase.

Winchester Drive, Browning Road, Tenderfoot Way, Ruger Road, Riata Road, and Remington Drive

15. Subdivision Regulations Table .2A identifies Low Density Urban Local Streets as those streets serving less than 12 dwelling units per acre and having an average daily traffic of up to 2,500 vehicle trips. Table .2A shows Low Density Urban Local Streets to have a minimum 70-foot wide right-of-way that includes two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks (approximately 59 feet total) with additional space necessary for maintaining the sidewalks. The subdivider has requested a variance to build the above street improvements within 64-foot rights-of-way instead of 70. This request is addressed below. (*Variance Request #3*)
16. Tenderfoot Way and Riata Road are north – south streets that are planned to provide connections to the 44 Ranch Subdivision to the south and potential future development to the north. Winchester Drive and Remington are east – west streets that are planned to provide connectivity to future development to the east. (*Preliminary Plat, Project Summary*)

Parking

17. Preliminary Plat Sheet 3 of 3 shows potential parking within the subdivision. The Project Summary states, "With the current layout of 152 lots a conservative estimate of 545 parking spaces will be available within Remington Flats. This far exceeds the 304 parking spaces required per City of Missoula regulations." [It should be noted Title 20 Section 20.60.020 requires two off-street parking spaces per detached house, lot line house, and townhouse.] The off-street parking requirement is proposed to be met via alley loaded garages, front loaded garages, and driveway parking, with on-street parking providing additional spaces. Metropolitan Planning Organization staff recommends requiring front setbacks for garage entrances to be 20 feet instead of 10 to ensure driveways can be used for vehicle parking. This recommendation is addressed in the separate rezoning report for the Remington Flats Neighborhood Conservation Overlay District. (*Preliminary Plat, Project Summary, July 10, 2020 Agency Comment from Aaron Wilson*)

Drainage

18. The City of Missoula Storm Water Specifications and Design Standards and Section 3-040 of the City Subdivision Regulations provide minimum standards for site grading and control of stormwater runoff.
19. The subdivision application submittal contains a grading and drainage report that evaluates pre- and post-development conditions. The proposed method of managing storm runoff is grading the site and developing a system with drywell sumps and infiltration chambers to collect and infiltrate runoff. (*Storm Drainage Report*)
20. The subdivision application submittal contains a technical memorandum that assesses the potential effects of drywell sumps on water table elevations, the potential for infiltration of runoff via sumps to flood crawl spaces or basements on the property and surrounding area, and whether use of sumps is likely to have an adverse effect on groundwater quality. The analysis concludes that drywell sumps would result in minimal (less than one foot) mounding of groundwater under and near the site, even during a simulated 100-year flood event. It also concludes that during such an extreme event, groundwater could rise to within 9-10 feet of the ground surface along the west property boundary so basements are not recommended. Finally, the memorandum concludes the use of sumps will not result in significant water quality impacts. (*Newfields Technical Memorandum*)
21. Section 3-040.2 and Section 5-020.11 of the City Subdivision Regulations require a complete grading and drainage plan showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas to be submitted prior to final plat approval meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities must be constructed in accordance with the approved plan as per Section 5-020.11.B and due to the phased development, must be constructed to accommodate the planned runoff from all upgradient phases. A recommended condition of approval reflects these requirements.

Transit

19. Section 3-010.7 and 3-020.1 of the City Subdivision Regulations require subdividers to provide safe, efficient, and convenient transportation corridors for motorists, pedestrians, bicyclists and bus riders. Section 3-020.4.E requires subdivision circulation systems to provide for various modes of transportation such as automobiles, pedestrians, bicycles, buses, and emergency vehicles. The City of Missoula Annexation Policy states that where appropriate, proposed annexation areas should be conditions to join the Missoula Urban Transportation District.
20. The property is not currently within the Missoula Urban Transportation District, which is necessary to provide for future transit service. A recommended condition of approval is the subdivider be required to petition into the district prior to final plat approval of the first phase. *Missoula Urban Transportation District Parcel Viewer online map*

Non-Motorized Transportation

21. City Subdivision Regulations Section 3-020.15 requires sidewalks and boulevards adjacent to all streets in accordance with Table .2A.
22. The subdivision application submittal includes preliminary plat sheets that show five-foot wide sidewalks along street frontages.

Conclusions of Law:

1. The subdivision will meet the Subdivision Regulations requirements for streets and non-motorized improvements if the variance requests are approved and the conditions of approval are imposed and met.
2. The subdivision will meet the City of Missoula Storm Water Specifications and Design Standards and grading and drainage standards in the Missoula City Subdivision Regulations if the condition of approval is imposed and met.
3. Final grading, drainage and stormwater plans will be reviewed and approved by Montana DEQ and the City Engineer prior to final plat approval of each phase.
4. The subdivision will meet the transit standards in the City Subdivision Regulations if the condition of approval is imposed and met.

Water System and Sewer System

Findings of Fact:

1. The property is within the Missoula Wastewater Facility Service Area and planned to be connected to existing water and sanitary sewer mains that were extended into the area for the 44 Ranch development, Flynn Ranch development, and RSID #8474 sewer mains along north side of Mullan Road. (*Utility Plan Exhibit, Subdivision Application*)
2. The subdivision application submittal includes water and sanitation reports. The City of Missoula provided a letter stating the intent to provide water and sewer service to the subdivision in December of 2019. Individual water and sanitary sewer mains internal to the subdivision are planned to be extended as the project builds out. (*Water and Sanitation Report, Utility Plan Exhibit, December 27, 2019 Letter from Missoula Development Services*)
3. As per Sections 3-070.01 and 3-070.04 of the City Subdivision Regulations, water supply and sewage disposal systems require review and approval from the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of any phase. This is required as a condition of approval.

Conclusions of Law:

1. City water and sewer are available to the subdivision.
2. Review of water and sewer systems is under the jurisdiction of City Engineering and state and local health authorities under the Montana Sanitation in Subdivision Act.
3. Water and sewer systems will meet the subdivision regulations if the conditions of approval are imposed and met.

Solid Waste

Findings of Fact:

1. Republic Services is expected to provide disposal service to the subdivision. (*Subdivision Application page 17*)
2. Solid waste systems must meet the minimum standards of the Montana Department of Environmental Quality and City/County Health Code as per Section 3-070.1 of the City Subdivision Regulations. This requirement is a recommended condition of approval.

Conclusions of Law:

1. Solid waste disposal service are expected to be available to the subdivision and in compliance with Subdivision Regulations.
2. Review of solid waste disposal is under the jurisdiction of state and local health authorities under the Montana Sanitation in Subdivision Act.

Parks and Recreation

Findings of Fact:

1. Section 3-080.3A of the City Subdivision Regulations requires parkland dedication equal to 11% of the net lotted area in subdivisions for residential lots of 0.5 acres or smaller. All of the lots in the Remington Flats subdivision are smaller than 0.5 acres.
2. The total lotted acreage of the subdivision is 13.02 acres. Eleven percent of 13.02 acres is 1.43 acres, the amount needed to meet the parkland dedication requirement. (*Parkland Dedication Exhibit, Subdivision Application page 20, Covenants, Conditions and Restrictions*)
3. Section 3-080.6 and .7 of the City Subdivision Regulations provides for cash donation in lieu of land dedication. The subdivision application states this subdivision is within the service area of the public park directly to the south in the 44 Ranch Subdivision so the subdivider proposes to meet the parkland dedication requirement through cash in lieu of parkland. The City Parks and Recreation Department has indicated support for this approach and can use the money for improvements to the existing park. (*Subdivision Application pages 20-21, April 3, 2020 letter from Missoula Parks and Recreation*)
4. Per Section 5-050.4 of the City Subdivision Regulations, a boulevard landscaping plan is required to be reviewed and approved prior to final platting. A recommended condition of approval is for the subdivider to submit boulevard landscaping plan to be approved by the City Parks and Recreation Department prior to final plat filing of the first phase.
5. The subdivider is proposing covenants, conditions, and restrictions as a way to manage affairs of the homeowners association and to communicate information and requirements to lot purchasers. City Subdivision Regulations Section 5-020.14.K. contains requirements for covenants including that the property owners' association be formed before any property is sold, the association is responsible for liability insurance, local taxes, and the maintenance of recreational and other facilities, and other matters. A recommended condition of approval is for the subdivider to submit final covenants, association bylaws, and articles of incorporation along with the final plat materials for the first phase.

Conclusion of Law:

1. Parkland dedication is required in this subdivision in accordance with the City Subdivision Regulations. The subdivider's proposal would meet the parkland dedication requirements if the conditions are imposed and met.
2. The City Subdivision Regulations require homeowners association documents to include specific provisions that will be reviewed prior to final platting of the first phase if the recommended condition is imposed and met.
3. The City Subdivision Regulations require plans for boulevard landscaping, which will be reviewed and approved prior to final platting of the first phase if the recommended condition is imposed and met.

Schools

Findings of Fact

1. The application states at full buildout the subdivision would create 152 additional residential lots with an estimated addition of 31 – 76 school age children attending to Hellgate Elementary and Big Sky High School. The application includes a School Bus Stop Location exhibit showing existing school bus stopes in the 44 Ranch Subdivision immediately to the south of Remington Flats (*Subdivision Application, Bus Stops Exhibit*)

Conclusion of Law:

1. No adverse impacts to schools requiring mitigation have been identified.

Fire Department

Findings of Fact:

1. The Missoula City Fire Department would serve the subdivision. The closest station is located at 3011 Latimer Street, approximately three miles away. (*Subdivision Application, page 19*)
2. Subdivision Regulations Section 3-070.1 requires that water supply for fire protection be provided via a public or community water system with 1,000 gallons per minute minimum flow, or via residential sprinkler systems.
3. Water supply for fire protection for this subdivision is planned to be supplied via new fire hydrants proposed to be installed in each phase. A fire hydrant spacing exhibit was provided with the subdivision application. Missoula City Fire Marshall Dax Fraser approved the locations and indicated the hydrants must provide a minimum 1,500 gallons per minute. (*Hydrant Spacing Exhibit and December 23, 2019 Letter*)
4. The Missoula City Fire Department regularly requires an addressing system to be developed that conforms to the addressing requirements of the City. All new buildings are assigned an address at the time of building permit approval, and are required to meet City standards for signage. (*Subdivision Regulations Section 3-010.1.F*)
5. A condition of approval requires the developer to provide plans for address signage and a fire hydrant plan subject to review and approval of the Missoula City Fire Department prior to final plat approval of the first phase. Fire hydrants shall be installed prior to combustible construction as required by the City Fire Department approved hydrant plan. (*Subdivision Regulations Section 3-010.1F*)

Conclusion of Law:

1. Fire service is available to the subdivision if the recommended condition of approval is imposed and met.

Law Enforcement

Findings of Fact:

1. The subdivision is located within the jurisdiction of the Missoula Police Department. (*Subdivision Application page 19*)
2. Captain Chris Odlin of the Missoula Police Department provided comments stating, "The proximity of the residences to each other lends itself to neighborhood issues related to noise. While the department realizes this may fit within the growth policy it is the department's opinion that developments with this density will impact the department with an increase in calls for services. The other potential impact will be in the area of parking. One of the most complained about neighborhood issues in Missoula is parking. Even with the work the developer has done to mitigate parking issues we feel it will still be brought up and be an impact to the Police Department in the way of increased calls for service."

Conclusion of Law:

1. Law enforcement service is expected to be available to the subdivision, although the subdivision design may result in some additional calls for service.

CRITERIA 3 AND 4: EFFECTS ON THE NATURAL ENVIRONMENT AND WILDLIFE AND WILDLIFE HABITAT

Findings of Fact:

1. The subject property was historically used for hay and livestock production. It does not have trees or significant vegetative cover. (*Subdivision Application pages 7-11*)
2. The USGS quadrangle map shows Grant Creek running through a portion of the property. According to a June 17, 2020 letter from 406 Engineering, "The arm of Grant Creek as shown on the USGS Exhibit is a former channel that has not conveyed water for over 60 years. Grant Creek was rerouted to the north and channelized during the 1950s for irrigation water. There will be no impacts to the proposed development and no special precautions are needed in regard to the shallow depression located on the site."
3. The property no longer has naturally occurring surface water or wetlands. The hydrogeologic evaluation technical memorandum states groundwater may rise to within 9 – 10 feet of the ground surface under 100-year storm conditions. The only water source is a culverted irrigation ditch located at the southwestern corner of the property. (*Vicinity Map, Site Aerial, Field Observation, Technical Memorandum, June 17, 2020 Correspondence*)
4. The property is not known to contain critical plant communities or support vegetative species of concern. *Subdivision application page 11, Montana Natural Heritage Program Information*)
5. A residential subdivision is located immediately to the south. A proposed multi-dwelling and mixed-use subdivision directly to the east is in the early review stages. The property is located between Mullan Road and West Broadway in an area being planned for urban development. (*44 Ranch Subdivision Plats, Mcnett Flats Preliminary Plat and Application, Draft Mullan Area Master Plan*)
6. The property may support common wildlife mammals including rodents, deer, skunks, and fox. Potential bird species in the area are Lewis' Woodpecker, Great Blue Heron, and Bald Eagle. Section 15 of the covenants includes information for lot purchasers about living with wildlife and advises lot owners of potential issues associated with wildlife concerning pets, garbage, and other potential areas of conflict. (*Montana Heritage Society report, Covenants, Conditions, and Restrictions*)
7. The subdivision is not located adjacent to public lands and will therefore have no impact on public land uses, public land management policies, or public land access. (*Vicinity Map, Subdivision Application, page 9*)
8. No riparian resources or regulated floodplain exist on the property. (*Floodplain Map, Field Observation*)
9. The subdivision application submittal contains a preliminary storm drainage report and hydrogeologic evaluation that assesses the risk to groundwater quality impacts from the use of sumps following a typical storm event. The evaluation concludes the use of sumps would not significantly impact concentrations in nitrate in groundwater below or beyond the site boundary. (*Newfields Hydrogeologic Evaluation Technical Memorandum*)
10. Section 5-020.14.K of the City Subdivision Regulations requires that a management plan be developed to address noxious weeds. The subdivision application contains a revegetation plan developed by the Missoula County Weed District that includes seed species and seeding rates, method and timing, fertilization, and weed control methods. A recommended condition of approval is the final covenants include the revegetation plan and evidence of plan implementation to be submitted to Development Services prior to final plat approval of each phase. (*City Subdivision Regulations Section 5-020.14.K, Revegetation Plan*)

Conclusion of Law:

1. Minimal impacts to the natural environment and wildlife habitat are foreseen as a result of this subdivision if the condition to manage noxious weeds is imposed and met.

CRITERION 5: EFFECTS ON PUBLIC HEALTH AND SAFETY

Findings of Fact:

Hazardous Land

1. Subdivision Regulations Section 3-010.2 requires the mitigation of hazards to subdivision development, including but not limited to flooding and slopes of 25% or more.
2. The subject property is outside of the FEMA-identified 1% annual chance flood hazard areas and floodplain. (*Floodplain Map*)
3. The property does not contain significant areas of slopes of 25% or more. (*Field Observation, USGS Topographic Map*)

Wood Stoves

4. The property is located within an air stagnation zone. The covenants, conditions, and restrictions should be amended to include language prohibiting wood burning devices (fire places, wood burning and pellet stoves, etc.)

Airport Influence Area

5. The property is located within an airport influence area of Missoula International Airport. (*Airport Influence Area Exhibit*)
6. Dan Neuman, Business Development Manager of the Missoula International Airport, submitted a letter dated April 20, 2020 objecting to the subdivision. The letter states, "Remington Flats is located directly in the flight path of a proposed second runway...Pursuant to guidance from the Federal Aviation Administration ("FAA"), residential is incompatible in this proximity to the Airport and specifically in the flight path of a proposed runway. Mr. Neuman's letter lists potential incompatibilities including aircraft noise, aircraft flying over the homes, the possibility of electronic interference with aviation navigation aids, and the potential for interaction between aircraft and wildlife. The letter concludes, "While some of these issues can be mitigated with an Avigation Easement, an Avigation Easement is not a panacea that will make all of these issues disappear. MCAA would propose entering into a dialogue with the City, Denali Development [sic], and 406 Engineering to determine how best to mitigate the risks posed by the proposed subdivision."
7. For other subdivisions located within the airport influence area including 44 Ranch and RMB Subdivision, a recommended condition of approval has been for the subdivider to grant an avigation easement to the Missoula International Airport for the unobstructed use of airspace at certain elevations above the subdivisions. Such mitigation is a recommended condition of approval for this subdivision.
8. For other subdivisions located within the airport influence area including the currently-under-review Heron's Landing, plats are required to include the following statement, which is recommended to be included in the covenants and on each final plat in the Remington Flats Subdivision:

This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Remington Flats Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk.

Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase.

Conclusion of Law:

1. If the covenants are amended as described above, an aviation easement is granted, and the airport influence area statement is printed on the plats, an acceptable level of adverse impacts to public health and safety is expected as a result of this subdivision.

**C.) COMPLIANCE:
SURVEY REQUIREMENTS**

Findings of Fact

1. The Seal of a Professional Land Surveyor or Engineer is required on all final plats, which states that the subdivision complies with part 4 of M.C.A. 76-3. Forthcoming review of the final plats will ensure compliance with state subdivision and platting law.

Conclusion of Law:

1. This proposal will meet the survey requirements of state law.

D) SUBDIVISION REGULATIONS

Findings of Fact

1. Subdivisions are required to comply with the local subdivision regulations provided for in part 5 of M.C.A. 76-3.

Conclusion of Law:

1. The plat will be brought into compliance with the local subdivision regulations if the requested variances are approved and the conditions of approval are imposed.

E) REVIEW PROCEDURE

Findings of Fact

1. Subdivisions are required to comply with the local subdivision review procedure provided for in Article 4 of the Missoula City Subdivision Regulations and the Montana Subdivision and Platting Act.
2. The public hearing before the Missoula Consolidated Planning Board is scheduled for September 15, 2020. The Missoula City Council hearing is scheduled for October 5, 2020. The preliminary plat review period expires on November 3, 2020.
3. Development Services staff sent notices of the public hearings by certified mail to adjacent property owners and the subdivider on August 31, 2020. Two posters were placed on the property August 31, 2020. Legal notice of the public hearings was published in the Missoulian August 30 and September 6. All noticing occurred at least 15 days prior to the public hearings.
4. A decision of the governing body rejecting or approving a proposed subdivision may be appealed to the district court within 30 days of such decision. The application must specify the grounds upon which the appeal is made. An appeal may be made by the subdivider, a contiguous landowner, an owner of land within the City of Missoula who can establish a likelihood of material injury to property or its material value, or the City Council. In order to file an appeal, the plaintiff must be aggrieved by the decision, demonstrating that a specific personal and legal interest, as opposed to a general interest, has been or is likely to be specifically and injuriously affected by the decision.

Conclusion of Law:

1. This subdivision proposal has followed the necessary application procedure and has been reviewed within the procedures provided in Article 4 of the Missoula City Subdivision Regulations.

F) PROVISION OF EASEMENTS FOR UTILITIES:

Findings of Fact:

1. City Subdivision Regulations Section 3-060 requires that easements be provided for utilities, drainage, ditch, vehicular, and pedestrian access and that easements be reviewed and approved by the City Engineering Division. A recommended condition of approval addresses this requirement.
2. Access to utilities is proposed to be provided to the subdivision from the south within public access and utility easements and public rights-of-way. (*Preliminary Plat*)
3. All utilities necessary to serve the subdivision, including water, sewer, electrical, phone and power, are planned to be located within public access and utility easements and public rights-of-way. (*Preliminary Plat*)

Conclusion of Law:

1. Utility services are available to this subdivision and the subdivision will be in compliance with the Subdivision Regulations if the recommended condition of approval is imposed and met.

E) PROVISION OF LEGAL AND PHYSICAL ACCESS:

Finding of Fact:

1. Legal and physical access is planned to be provided to the subdivision from Chuck Wagon Drive, Tenderfoot Way, and Riata Road, which are publicly dedicated rights-of-way within the Missoula city limits. Each lot is designed with access to an alley or roadway that is proposed to be located within rights-of-way of appropriate width, pending approval of certain variances. (*Certificate of Survey No. 5699, 44 Ranch Subdivision Plats, Preliminary Plat*)

Conclusion of Law:

1. With the approval of certain variances, the subdivision proposal meets the legal and physical access requirements of the Subdivision Regulations.

F) VARIANCE REQUESTS

VARIANCE REQUEST #1:

A variance is requested from Section 3-030.2.A(2), which states blocks may not exceed a maximum length of 480 feet in urban-suburban subdivisions. This variance is requested to allow the block with proposed Lots 1-9 to be 540 feet long.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing the block with proposed Lots 1-9 to be 540 feet long based on the following findings of fact:

FINDINGS:

- A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.**

The variance is requested so this block matches the length of the adjacent block in 44 Ranch Subdivision Phase 7A to the south. The variance would allow Chuck Wagon Drive and

Tenderfoot Way to align with those streets as they are planned or built in the adjoining subdivision. Adequate circulation would be provided and no threats to public safety, health, or welfare are apparent. There is no reason to believe granting the variance would be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

44 Ranch Subdivision Phase 7A is platted and largely built out, with an extension of Chuck Wagon Drive planned along the west boundary and Tenderfoot Way already constructed on the east boundary of the phase. Matching this alignment would provide safe and efficient traffic flow. This is a condition that is unique to the property and not generally applicable to other property.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

Because of the approved block length in the adjoining subdivision, requiring a maximum 480-foot block length here would result in a hardship and simply not make sense from a traffic flow perspective.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent or assigns. The hardship is the result of the block length approved in the adjacent subdivision.

VARIANCE REQUEST #2:

A variance is requested from Section 3-030.2.A(2), which states blocks may not exceed a maximum length of 480 feet in urban-suburban subdivisions. This variance is requested to allow the block with proposed Lots 122-135 to be 540 feet long.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing the block with proposed Lots 122-135 to be 540 feet long based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The variance is requested to continue the existing road grid pattern established in the 44 Ranch Subdivision to the south. The variance would allow Chuck Wagon Drive and Tenderfoot Way to align with those streets as they are planned or built. Adequate circulation would be provided and no threats to public safety, health, or welfare are apparent. There is no reason to believe granting the variance would be injurious to other persons or property. Between Lots 127 and 128 is a 10-foot wide pedestrian easement proposed to be developed

with a five-foot sidewalk that could be extended when the neighboring land to the north is developed to help break up the block.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

The existing north-south road pattern was established in the 44 Ranch Subdivision. The Remington Flats Subdivision seeks to continue this pattern to provide for safe and efficient traffic flow. An extension of Chuck Wagon Drive is planned along the west boundary and Tenderfoot Way is already constructed in the adjoining subdivision. Matching this alignment would provide safe and efficient traffic flow. This is a condition that is unique to the property and not generally applicable to other property.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

Because of the approved block length and grid pattern established in the adjoining subdivision, requiring a maximum 480-foot block length here would result in a hardship and simply not make sense from a traffic flow and efficiency perspective.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent or assigns. The hardship is the result of the block length approved in the adjacent subdivision.

VARIANCE REQUEST #3:

A variance is requested from Section 3-020 Table .2A, which requires 70-foot rights-of-way for Low Density Urban Local streets. Winchester Drive, Browning Road, Tenderfoot Way, Ruger Road, Riata Road, and Remington Drive are proposed to be built in accordance with City standards (10-foot driving lanes, 8-foot parking lanes, curbs and gutters, 7-foot boulevards and 5-foot sidewalks) within 64-foot rights-of-way instead of 70.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing the streets to have 64-foot rights-of-way instead of 70 based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The proposal would allow the streets to be built in accordance with City standards for Low Density Urban Local streets including driving lanes, parking lanes, curbs and gutters, boulevards and sidewalks. This would not result in a threat to public health, safety, or welfare, or be injurious to other persons or property.

- B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.**

The conditions are unique to this subdivision in that additional right-of-way for turning lanes is not required now and is unlikely to be necessary in the future based on the configuration of the subdivision and projected traffic flows. This is not necessarily the case in other subdivisions.

- C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.**

Granting the variance would allow more area to be used for lot development. It is not necessarily due to physical surroundings, shape, or topography, but would benefit the future lot owners. The hardship is that additional right-of-way is not necessary to provide for this subdivision now and in the future.

- D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.**

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

- E. The variance will not cause an increase in public costs.**

Approval of the variance will not cause an increase in public costs.

- F. The hardship has not been created by the applicant or the applicant's agent or assigns.**

The hardship has not been created by the applicant or the applicant's agent.

VARIANCE REQUEST #4:

A variance is requested from Section 3-020 Table .2A, which requires 90-foot rights-of-way for Urban Collectors (with parking). Chuck Wagon Drive is proposed to be built as an Urban Collector half-street within the existing 40-foot dedicated right-of-way along the west property boundary with a 2.5-foot temporary gravel shoulder, two 10-foot driving lanes, curb and gutter, 10-foot boulevard, 5-foot sidewalk, and 0.5-foot strip of land for maintenance. The remaining 40-foot right-of-way is planned to be acquired from the Missoula Airport Authority, the adjoining landowner to the west. Future right-of-way acquisition and future development would facilitate completion of Chuck Wagon Drive to Urban Collector standards in alignment with the planned 44 Ranch road section for Chuck Wagon Drive.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing Chuck Wagon Drive within the subdivision to be built to Urban Collector half-street standards within the existing 40-foot right-of-way instead of the full cross section within 90 feet based on the following findings of fact:

FINDINGS:

- A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.**

The proposed street section would provide adequate access to the first phase of the subdivision in conjunction with Tenderfoot Way and Riata Road. As phases in this and other subdivisions to the south are developed over time, Chuck Wagon Drive is planned to be completed and connected to Mullan Road. A more complete street section to the north will

not be necessary until land to the north is developed. Based on these factors, this proposal would not result in a threat to public health, safety, or welfare, or be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

To the south the current 80-foot wide right-of-way was dedicated via Certificate of Survey No. 5699 and an accompanying deed. This survey and deed also included a 40-foot dedicated right-of-way along the west property boundary of the subject parcel. Land has not yet been dedicated on property to the west (under separate ownership) that would allow for a full 80 feet. These conditions are unique to this property and not applicable to other property in the vicinity to the south.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

Theoretically Chuck Wagon Drive along the west property boundary could transition to the east, putting it out of alignment with the planned extension of Chuck Wagon coming from the south. This would require additional land to be taken out of lots along the west boundary and possibly result in unsafe driving conditions due to the necessary transition, presenting a hardship based on conditions that are unique to the property. Granting the variance would allow a safe street section to be built serving the short term needs of subdivision residents while a longer term solution is found through negotiation between the City and Airport Authority.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship is an existing condition not created by the applicant or the applicant's agent or assigns.

III. RECOMMENDED MOTIONS

1. **APPROVAL** of the variance request to allow the block for Lots 1-9 to be longer than 480 feet.
2. **APPROVAL** of the variance request to allow the block for Lots 122-135 to be longer than 480 feet.
3. **APPROVAL** of the variance request to allow Winchester Drive, Browning Road, Tenderfoot Way, Ruger Road, and Riata Road to be built within 64-foot rights-of-way instead of 70.
4. **APPROVAL** of the variance request to allow Chuck Wagon Drive to be built as an Urban Collector half-street within a 40-foot right-of-way instead of a full street section built within a 90-foot right-of-way.

5. **PRELIMINARY APPROVAL** of the **Remington Flats Phased Subdivision Plat and Application**, based on the findings of fact and subject to the recommended conditions of approval in the staff report.

IV. RECOMMENDED CONDITIONS OF SUBDIVISION APPROVAL

Note: Montana Code Annotated (MCA) Section 76-3-604(9)(a) states review and approval, conditional approval, or denial of a proposed subdivision may occur only under those regulations in effect at the time a subdivision application is determined to contain sufficient information for review. The Remington Flats Phased Subdivision application was deemed sufficient for review on July 10, 2020. The City of Missoula Subdivision Regulations Amended June 28, 2010 and 2019 Montana Subdivision and Platting Act were in effect at that time. The 2019 Montana Subdivision and Platting Act includes provisions for phased subdivisions in Section 76-3-617. Those provisions apply to the Remington Flats Phased Subdivision.

Streets, General

1. All street and non-motorized improvements shall be designed and built in accordance with City of Missoula Public Works Standards and Specifications and City of Missoula Subdivision Regulations (except as modified by variance). All plans must comply with Americans with Disabilities Act requirements. All plans must be reviewed and approved by the City Engineer in accordance with City policies. *City Subdivision Regulations Section 3-020.2*
2. The subdivider shall provide a street naming exhibit to be reviewed and approved by Development Services prior to final plat filing of the first phase. *Subdivision Regulations Section 3-020.12*
3. The subdivider shall provide a street signage plan in accordance with the Manual on Uniform Traffic Control Devices to be reviewed and approved by the City Engineer and City Fire Department with installation of approved signs prior to final plat filing of each applicable phase. *City Subdivision Regulations Section 3-020.4(H)(2)*
4. The following statement shall appear on the face of each plat, in the covenants, conditions, and restrictions, and on each instrument of conveyance:
"Acceptance of a deed for a lot within this subdivision shall constitute the assent of the owners to any future SID/RSID, based on benefit, for the upgrading of streets within this subdivision, including but not limited to paving, curbs and gutters, non-motorized facilities, street widening and drainage facilities." *City Subdivision Regulations Section 5-050.4(M&N)*
5. All proposed rights-of-way shall be dedicated to the public on the face of each plat and approved by the City Engineer. *City Subdivision Regulations Section 3-020.3.B*
6. All proposed easements, except as modified by these conditions, shall be shown on the face of each plat and identified for their width and purpose, including easements for vehicular and pedestrian access, utilities, and irrigation facilities. *City Subdivision Regulations Section 3-060.1*
7. The subdivider shall design and install street lighting along Chuck Wagon Drive through the subdivision in accordance with the Missoula Public Works Standards and Specifications Manual. The lighting shall be installed prior to final plat approval of Phase 1 for the southernmost section of Chuck Wagon Drive and Phase 7 for the remainder of Chuck Wagon Drive. Prior to final plat

filing of the first phase, the subdivider shall petition to create a new streetlight improvement district. *Missoula Public Works Standards and Specifications Manual Section 7.3.6*

Specific Streets

8. Chuck Wagon Drive through the length of the subdivision shall be improved to Urban Collector half-street standards as proposed including two 10-foot drive lanes, curb and gutter, a 10-foot boulevard, and 5-foot sidewalks within the existing 40-foot wide right-of-way. These improvements shall be completed as shown on the Phasing Plan exhibit and described in the Project Summary. *Subdivision Regulations Table .2A modified by variance.*
9. The subdivider shall contribute a proportionate share for improvements to the Chuck Wagon Drive / Mullan Road intersection made necessary by this subdivision. The total amount of \$83,084 shall be paid to the City of Missoula on a per-lot basis prior to final plat filing of each phase. *Montana Code Annotated 76-3-510, Correspondence with Assistant City Engineer*
10. The Remington Flats Phased Subdivision is located within the Mullan BUILD project area and George Elmer Drive, which is proposed to provide access to the subdivision, is planned to be improved as part of the Mullan BUILD project. Federal funds are planned to pay for a portion of the Mullan BUILD improvements. Funding mechanisms are currently being explored to pay for the remainder of the improvements. The funding mechanisms may include, but are not limited to, a special improvement district, impact fee, latecomers fee, or cost share agreements that allow the City of Missoula and Missoula County to recover the cost of constructing infrastructure from the properties that benefit from the Mullan BUILD project. The total amount of the cost to be recaptured via the funding mechanism(s) is not expected to exceed 50% of the actual costs expended by the City of Missoula and Missoula County to complete the Mullan BUILD project. To the extent that such funding mechanism(s) is created in accordance with state law and applicable principles of land use law, the subdivider, successors, and assigns shall participate in and be bound by the fees assessed and not oppose the creation of or participation in such a district. *Montana Code Annotated 76-3-510*
11. Winchester Drive, Browning Road, Tenderfoot Way, Riata Road, and Remington Drive shall be designed and built to Low Density Urban Local Street standards including two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within 64-foot rights-of-way as proposed. *Subdivision Regulations Table .2A modified by variance*

Drainage

12. The subdivider shall submit complete grading and drainage plans prior to final plat approval of each applicable phase showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities shall be constructed in accordance with the approved plan and accommodate the planned runoff from all upgradient phases. *City Subdivision Regulations Section 5-020.11*

Transit

13. The subdivider shall petition for the property to be included in the Missoula Urban Transportation District prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-010.7 and 3-020.1, City of Missoula Annexation Policy*

Water System and Sewer System

14. The subdivider shall submit plans for water supply and sewage disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of each applicable phase. Construction of all water supply and sewer systems shall be in accordance with City policies. *City Subdivision Regulations Sections 3-070.01 and 3-070.04*

Solid Waste

15. The subdivider shall submit plans for solid waste disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of each applicable phase. *City Subdivision Regulations Sections 3-070.01*

Parkland

16. The subdivider shall meet the parkland dedication requirement by providing the monetary value of 1.43 acres of unsubdivided, unimproved, zoned land as required in the City Subdivision Regulations Section 3-080. Prior to final plat filing of each phase, the subdivider shall provide calculations for the total lotted area in that phase, the parkland requirement for that phase, a Summary Appraisal Report establishing the then-current fair market value, and a check for the required amount, to be reviewed and approved by City Council. *City Subdivision Regulations Section 3-080*
17. The subdivider shall submit a boulevard landscaping plan to be reviewed and approved by the City Parks and Recreation Department prior to final plat filing of each applicable phase. *City Subdivision Regulations Section 5-050.4*

Covenants, Conditions, and Restrictions

18. Final covenants, conditions, and restrictions meeting the requirements of City Subdivision Regulations Section 5-020-14.K shall be submitted for review and approval prior to final plat filing of the first phase. The covenants shall require boulevard landscaping in accordance with the approved plan, a prohibition on basements within the subdivision, a prohibition on wood burning devices, and a statement informing lot purchasers of the presence of the subdivision within an airport influence area. *City Subdivision Regulations Section 5-020-14.K*

Non-Motorized Transportation Facilities

19. The subdivider shall provide five-foot sidewalks along all street frontages and at the proposed location between Lots 127 and 128. All sidewalk plans, including specifications for ADA accessibility and safe street crossings, shall be reviewed and approved by the City Engineering and Parks and Recreation departments prior to final plat filing of each applicable phase. Construction of the non-motorized transportation facilities shall occur as proposed in the application submittal and as required to serve each phase. *City Subdivision Regulations Section 3-020.15 and Table .2A*

Fire Protection

20. The subdivider shall provide plans for address signage and a fire hydrant plan for review and approval prior to final plat filing of each applicable phase. All approved fire protection improvements shall be installed in accordance with the approved plans. *City Subdivision Regulations Section 3-010.1.F*

Noxious Weeds

21. The Weed Management and Revegetation Plan shall be appended to the covenants, conditions and restrictions. The subdivider shall provide evidence of plan implementation and noxious weed control prior to final plat filing of each phase. *City Subdivision Regulations Section 5-020.14.K*

Airport Influence Area

22. The subdivider shall grant an avigation easement to the Missoula Airport Authority in compliance with the Airport Influence Area Resolution and present evidence of the easement, subject to review and approval of Development Services, prior to final plat filing of the first phase or within two years of City Council approval of annexation, whichever comes first. *City Subdivision Regulations Section 3-010.2*

23. The Covenants, Conditions, and Restrictions and each final plat shall include the following statement:

This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Remington Flats Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase. *City Subdivision Regulations Section 3-010.2*

Zoning

24. The Remington Flats Neighborhood Character Overlay Zoning District shall be adopted concurrent with City Council approval of the subdivision request based on the findings in the rezoning staff report.

Remington Flats

Public Comment Start of Post to 9/11/20

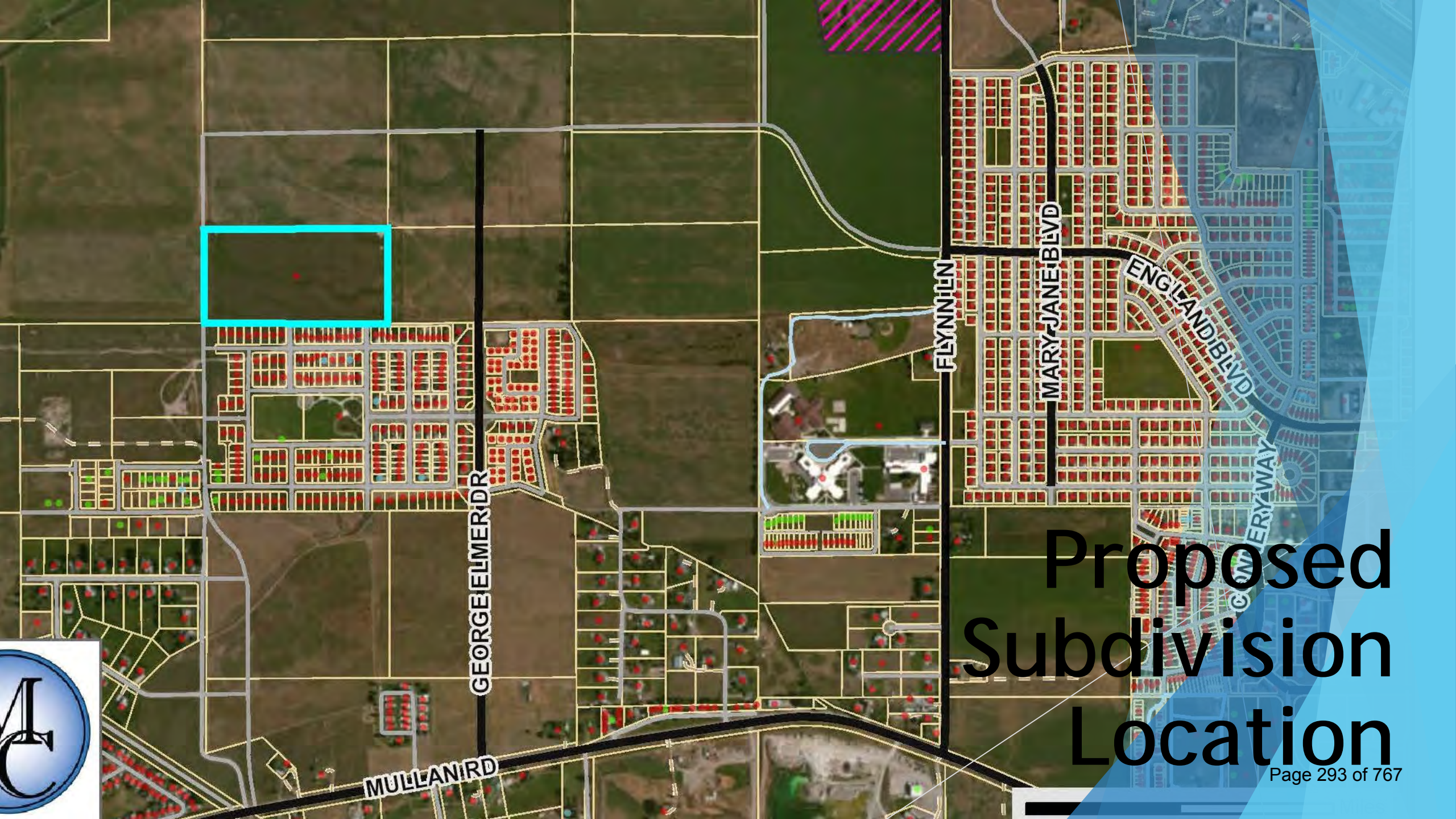
<p>I am pro development within Missoula when development are planned out in accordance with a master plan. This particular development feels like it is a few year ahead of the Missoula City plans. The main concern being traffic and children in an existing development. Using all exit points through a larger subdivision does not seem fair to the 44 Ranch developer or the children playing in front of their homes. This subdivision makes more sense once England is extended. Being allowed to use 44 Ranch's infrastructure is concerning. Traffic is a problem as it is getting out on Mullan. Until the George Elmer project is complete with a round-about or light I do not feel these subdivisions should be considered. Please review this concern prior to approving.</p> <p>Why is there not a park or green space located within this development? I was under the impression with was a requirement for all, rules should not change for each development. A small strip of green space between the developments would be nice a few feet? Backing small short lots up against the existing subdivision will put homes very close. Realizing 44 Ranch did this to 44 Estates recently, but at least most of those lots were large for that area giving a small offset between homes.</p> <p>The OH Power line should be removed within the project. It is feeding a single home and either 44 Ranch or this new development should remove this before there are homes built on both sides.</p> <p>I believe we need to continue to grow Missoula's housing development. This particular area is a bumper with the wild animals that utilize the old</p>	<p>Sep 10 20 06:30:10 pm</p>	<p>Shanna</p>	<p>Bloomfield</p>
--	--------------------------------------	---------------	-------------------

growth trees in the area. I do not believe there is anything you can do, but on any given day there are bears, coyotes, badgers, golden and bald eagles, fox, blue heron, and many other hawks. Major advantage, maybe the mice and gophers will be better for the homes backing the field.			
Where are you going to have 304 more vehicles going up and down Mullan road/George Elmer? The only way in and out is to use our neighborhood. Mullan cannot withstand more vehicles! Where are they going to go to school?? Hellgate Elementary is already full and had to build more buildings for the excess kids. You should at least build on the lots behind the 44 Ranch at least the same lot size. Where is the park for this subdivision?? How is an average Missoulian going to afford a home here?? Prices are already outrages that the jobs here do not support. Where is the planes going to land if there is an emergency, on top of the 152 dwellings?? I think this subdivision is not right. Maybe concentrate on how you might help the people get back to work with incomes that could afford a home. It is a sad place to live in as our children will never know about open land with cows, horses, sheep. You have taxed the farmer/rancher to where they cannot afford the taxes to keep their land. I think you need to reconsider and look at maybe finding a solution to the mass traffic on Mullan Rd instead of building more houses.	Sep 10 20 10:41:55 pm	Dani	Thomas
Too many homes for the acreage. There are too many cars on Mullan Rd as it is.	Sep 11 20 11:04:47 am	Kevin	Thomas



Remington Flats Subdivision

A New Community in the Captain John
Mullan Neighborhood



Proposed Subdivision Location

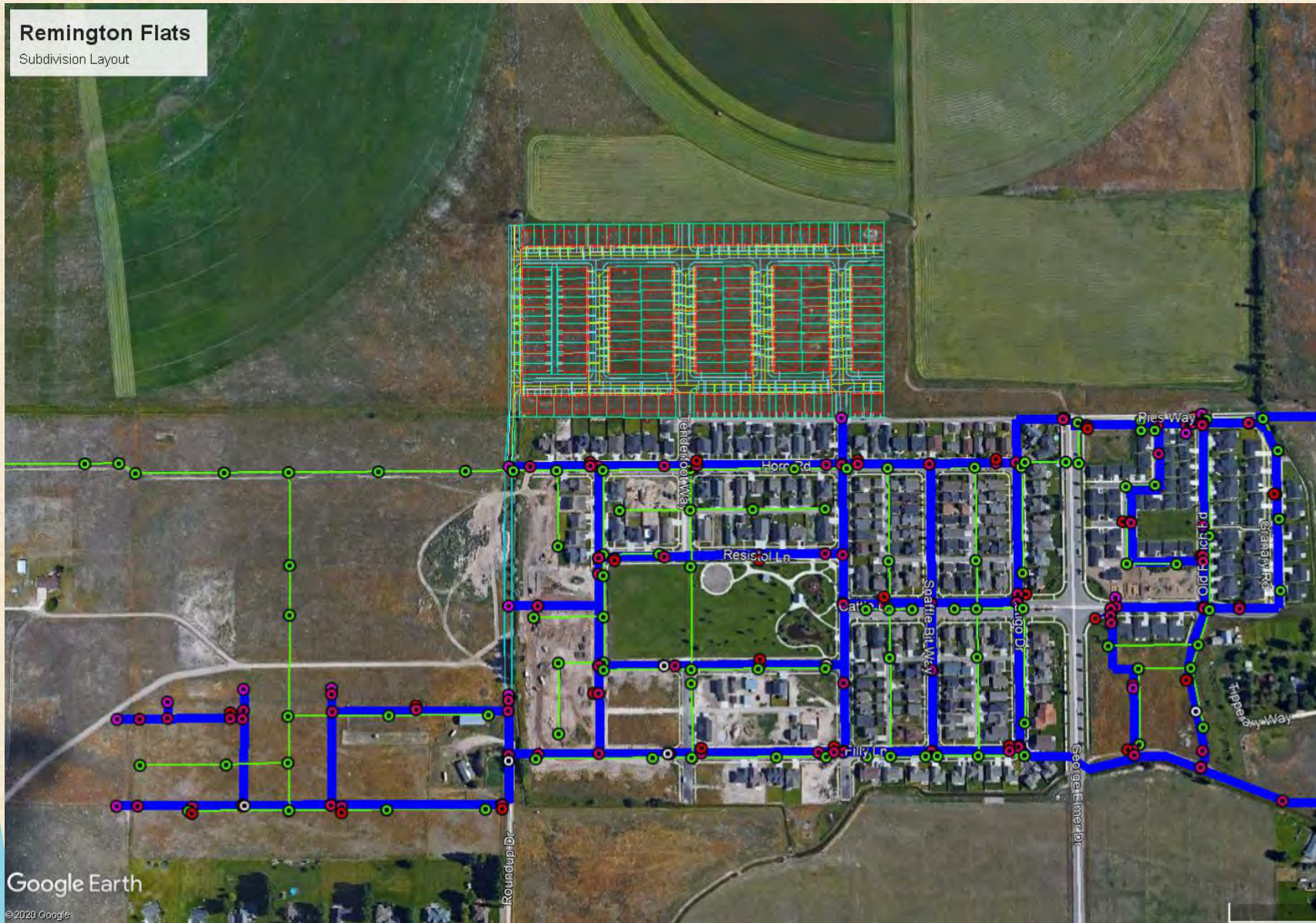




Current Site

Remington Flats

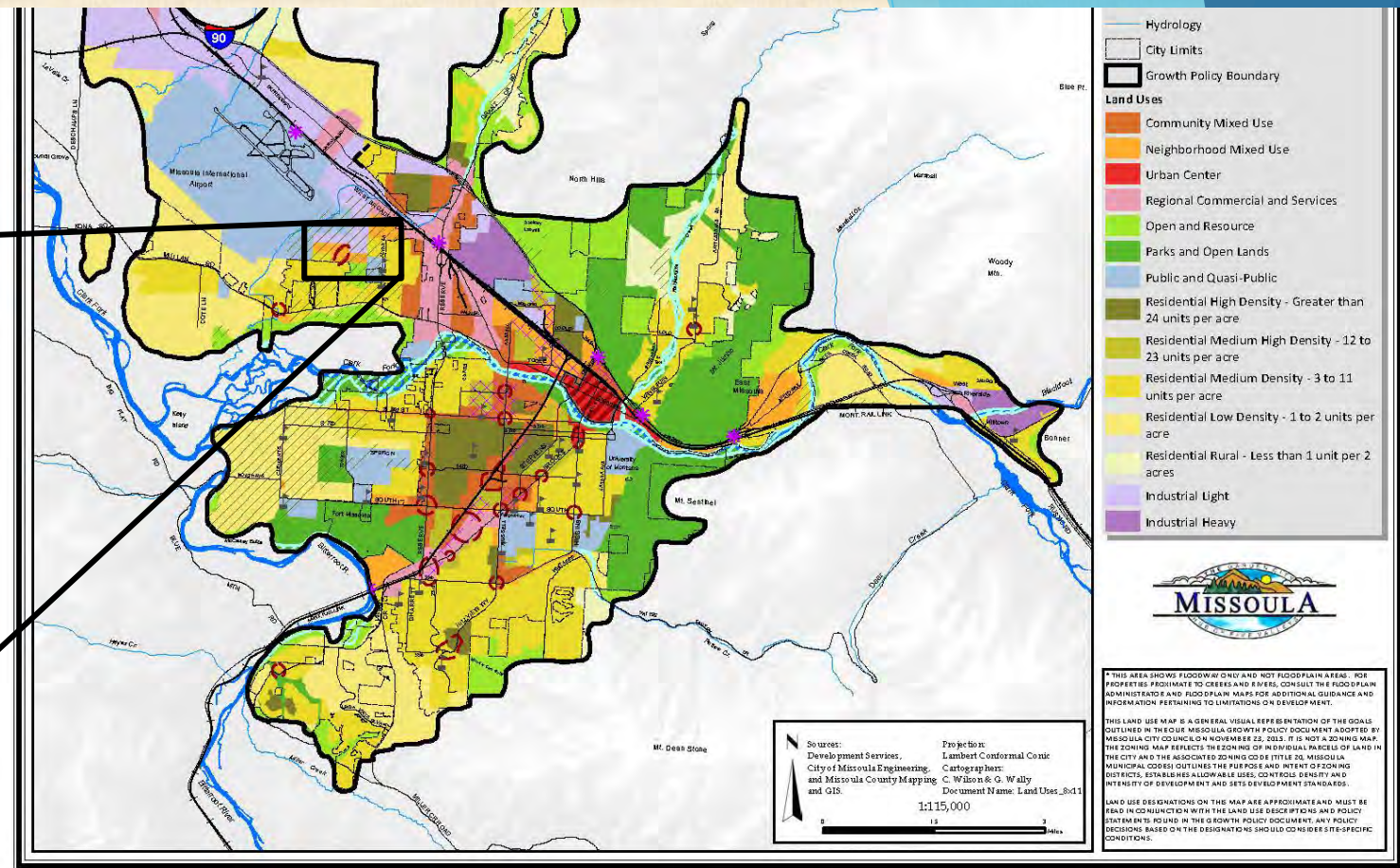
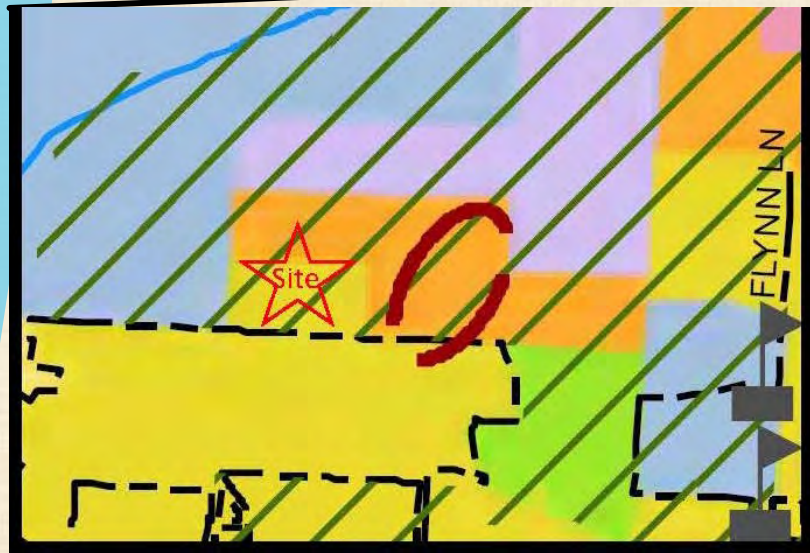
Subdivision Layout



Google Earth

© 2020 Google

Proposed Subdivision

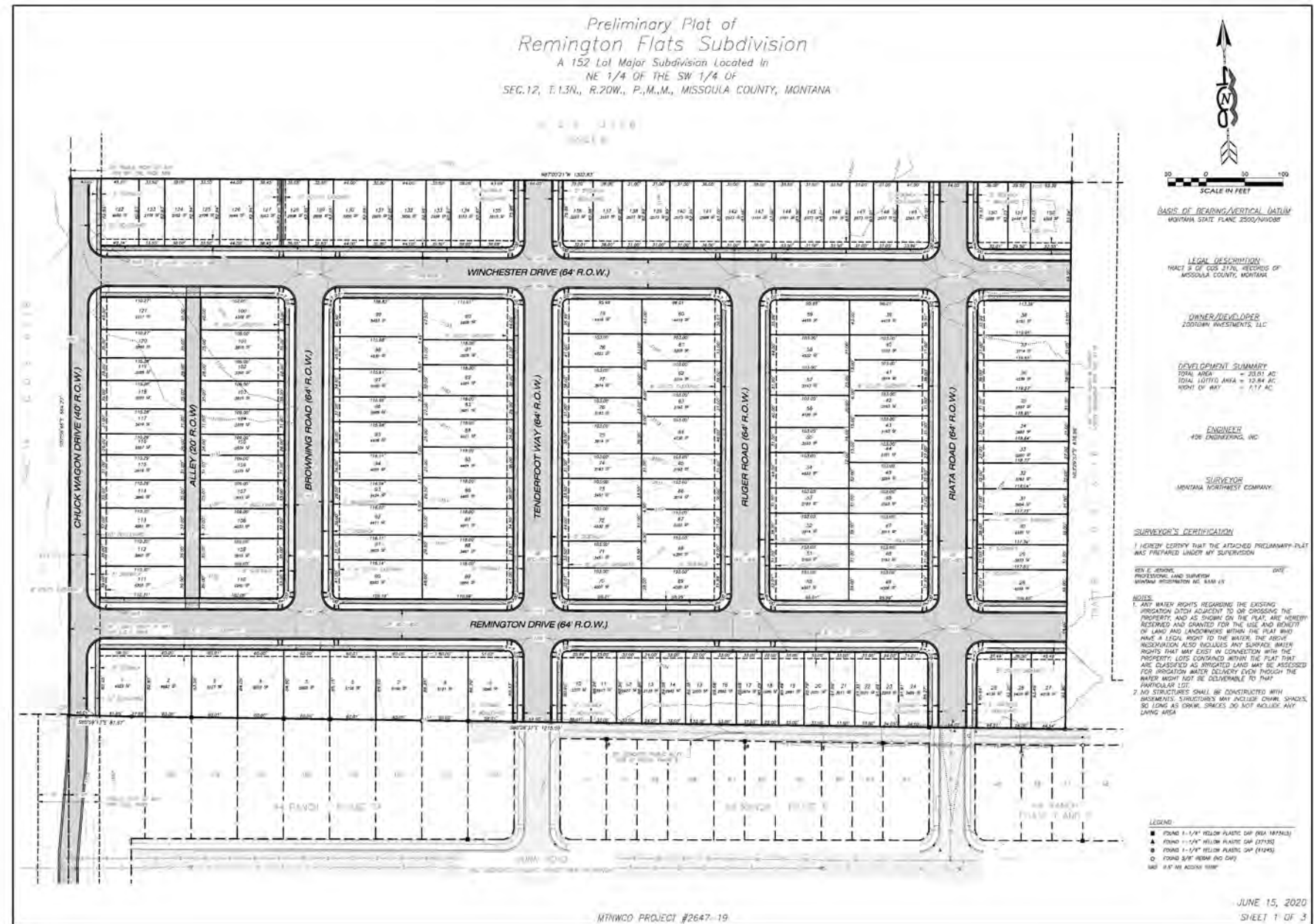


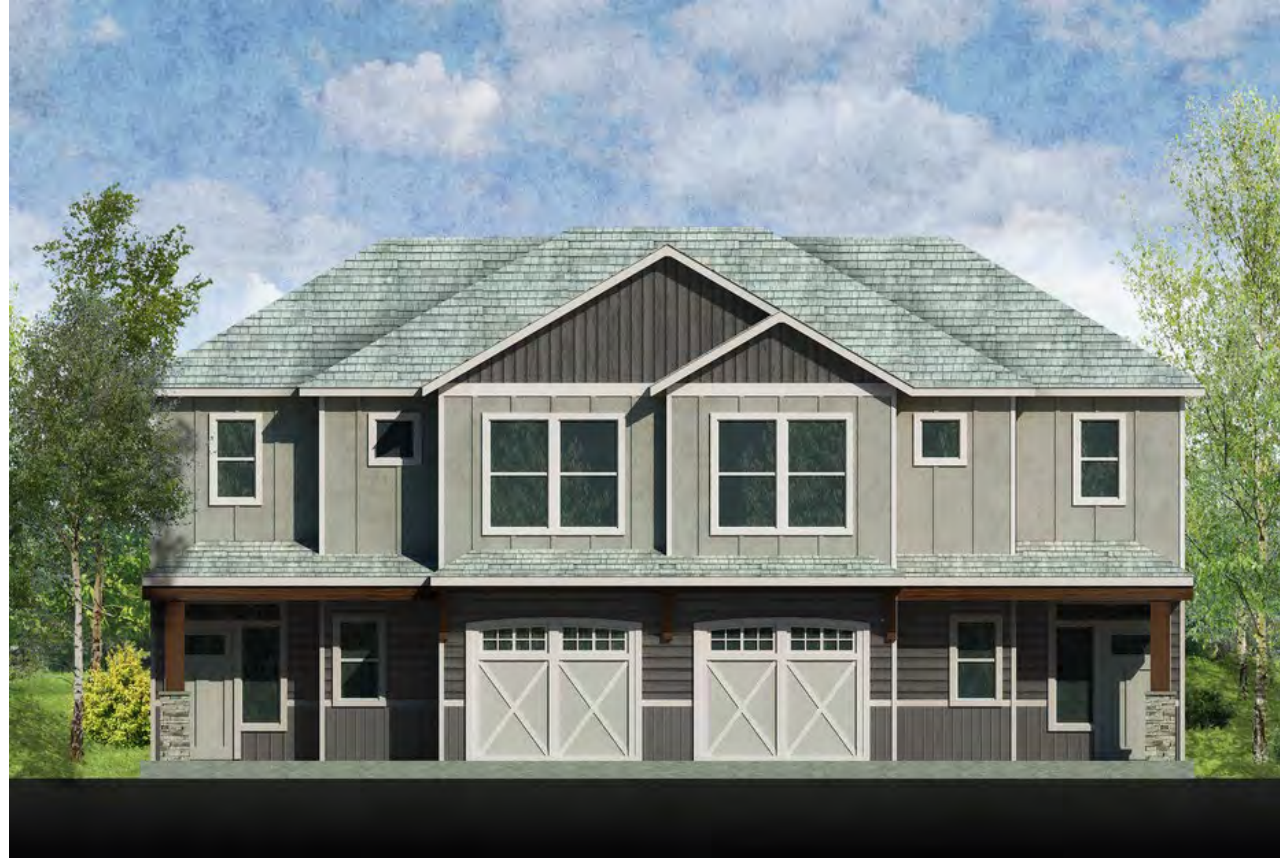
CURRENT City of Missoula Growth Plan

Zoning of RT5.4

- ▶ Zoning of RT5.4 - Subdivision density of 5,400 SF (gross) min of lots per total acres.
 - ▶ Similar Zoning of Nearby Subdivisions
 - ▶ Max density of proposed at RT5.4
 - ▶ $43,560 \text{ ft} / 5,400 \text{ ft/lot} = 8 \text{ lots per acre}$
 - ▶ Remington Flats - 7.6 Lots per acre
 - ▶ Current Growth policy of 3 to 11 lots per acre
- ▶ Neighborhood Character Overlay
 - ▶ Help enhance buildable area and maximize parking

Proposed Preliminary Site Layout





Example Housing

Community Developers

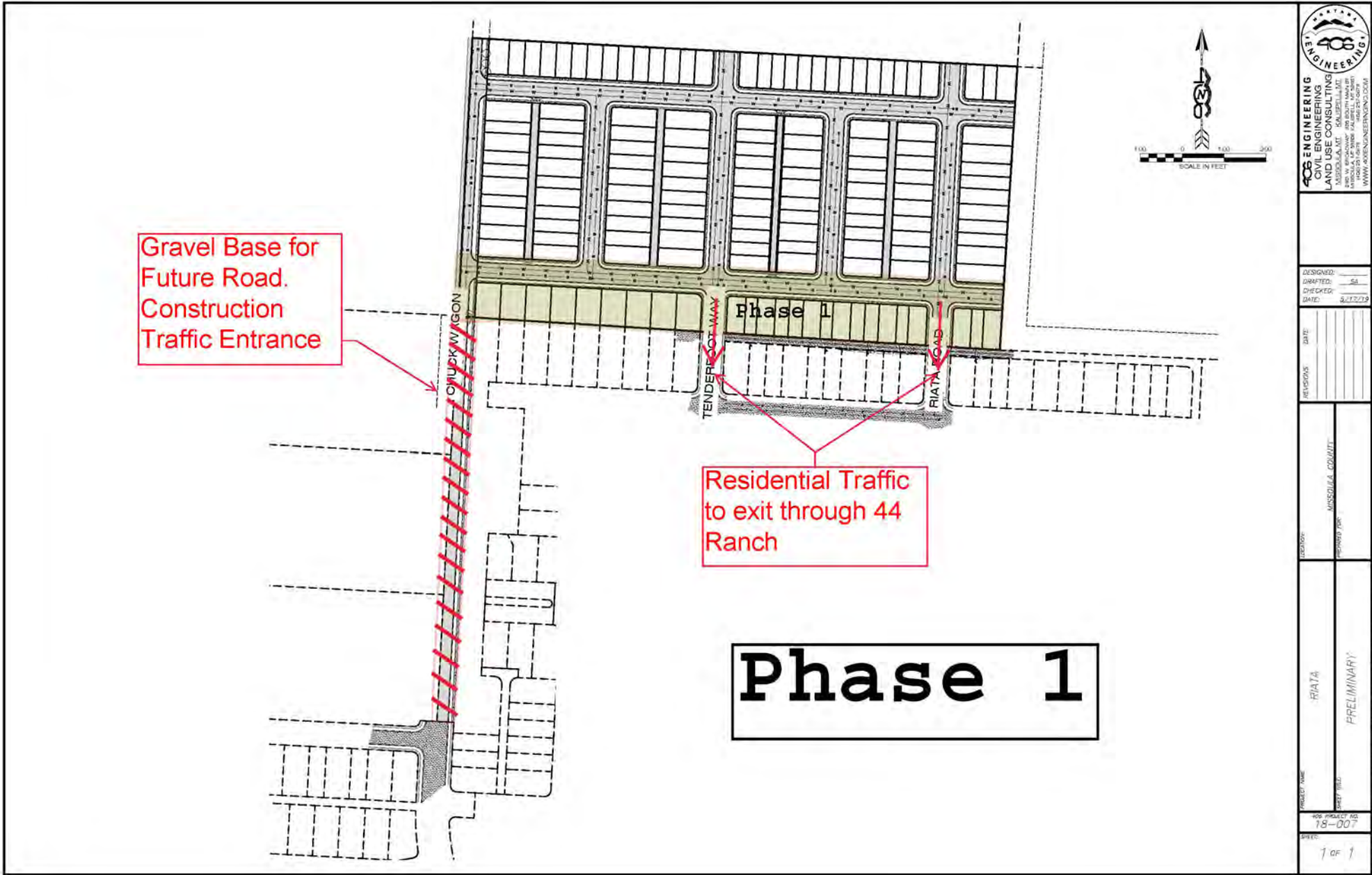
Developer is a Builder with intention to buildout large percentage of lots

Developer Group is local and living with-in our community

Wanting to create a community that transitions between 44 Ranch and higher density to the north and east

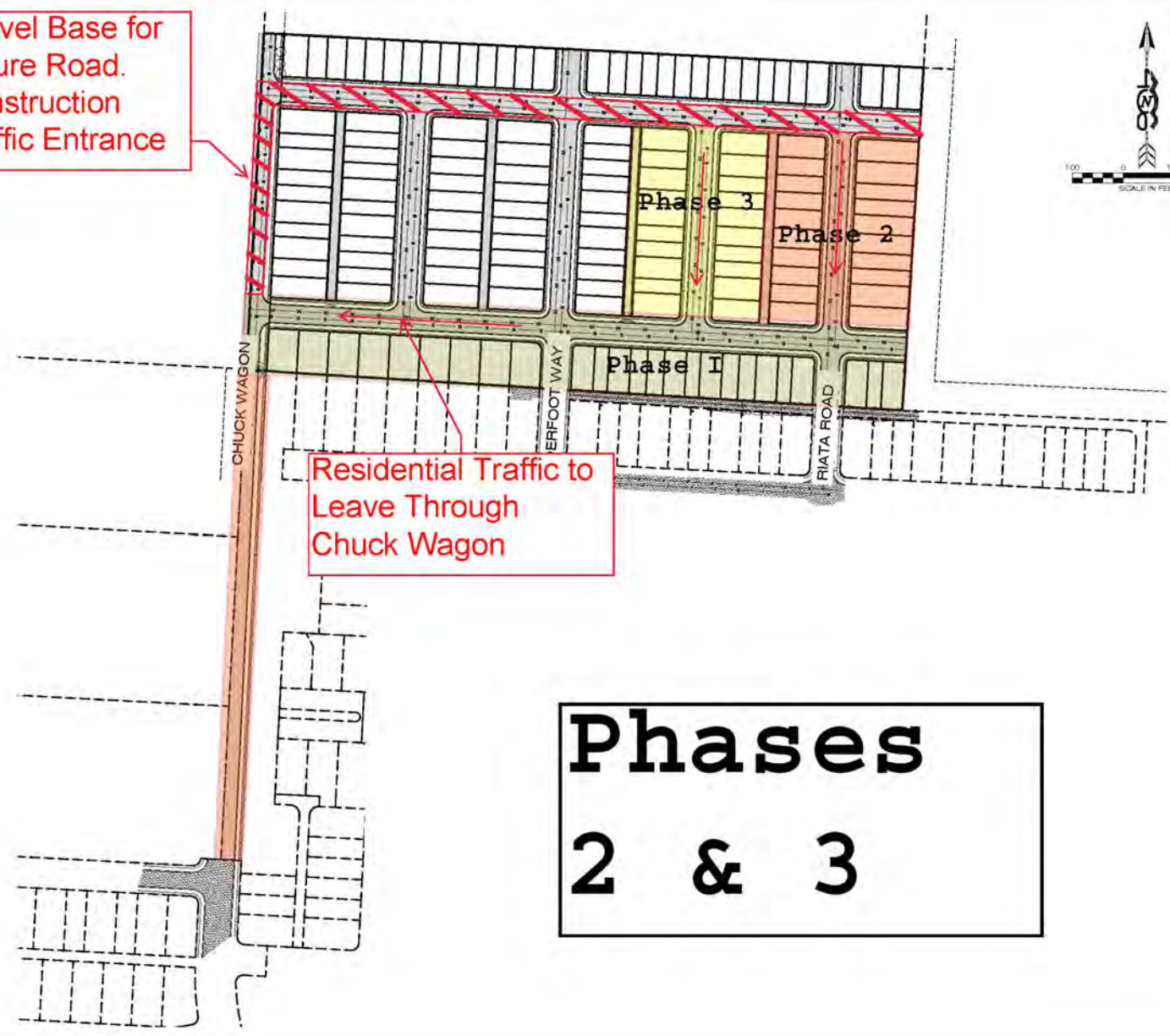


Phasing and Traffic Flow



Phasing and Traffic Flow

Gravel Base for
Future Road.
Construction
Traffic Entrance



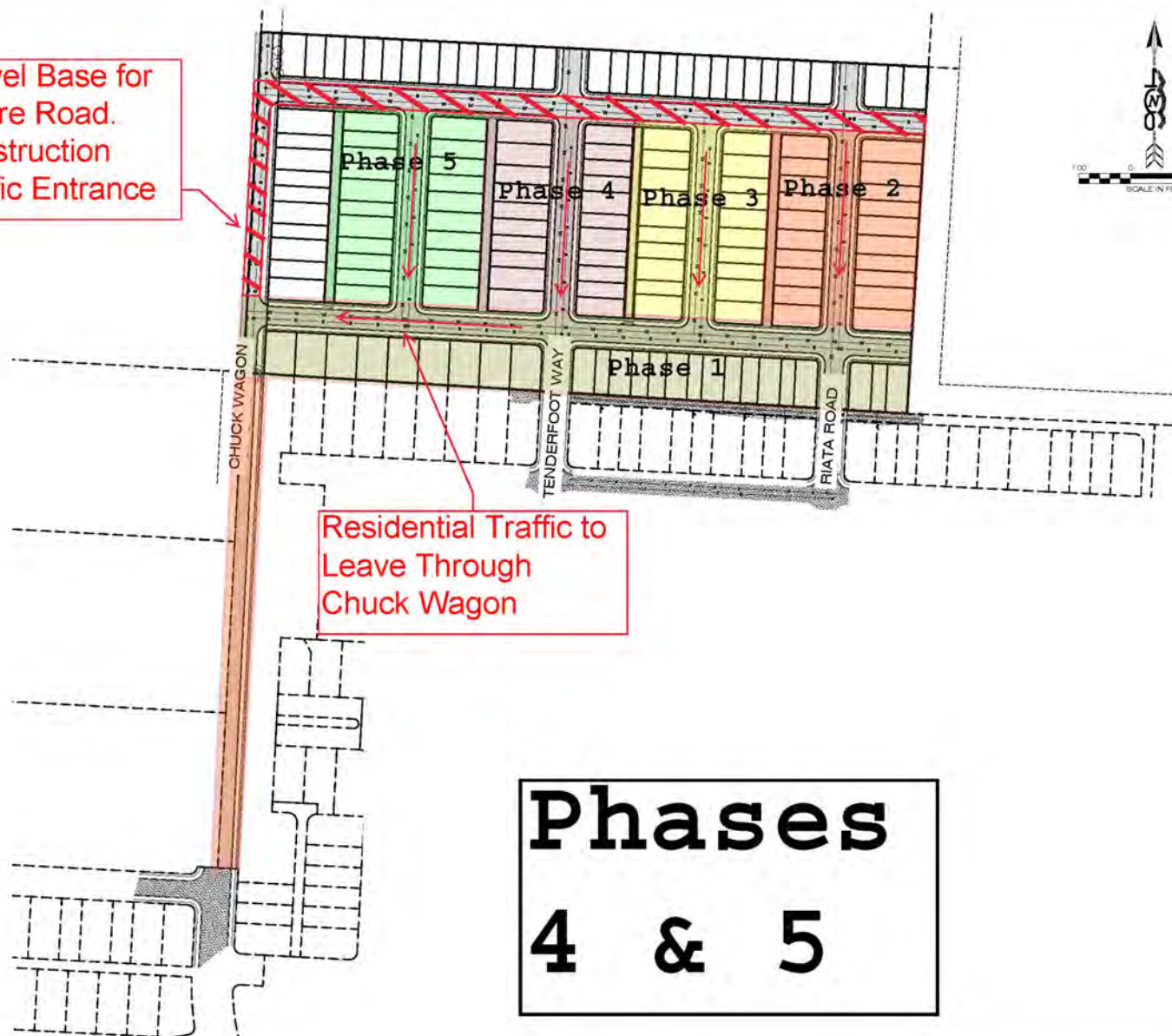
Residential Traffic to
Leave Through
Chuck Wagon

**Phases
2 & 3**

DESIGNED:	SA
DRAFTED:	
CHECKED:	
DATE:	5/12/18
REVISIONS	DATE
LOCATION	MOORE & COUNTY
PROJECT NAME	RIATA
PROJECT FILE	PRELIMINARY
408 PROJECT NO.	18-007
SHEET	1 OF 1

Phasing and Traffic Flow

Gravel Base for
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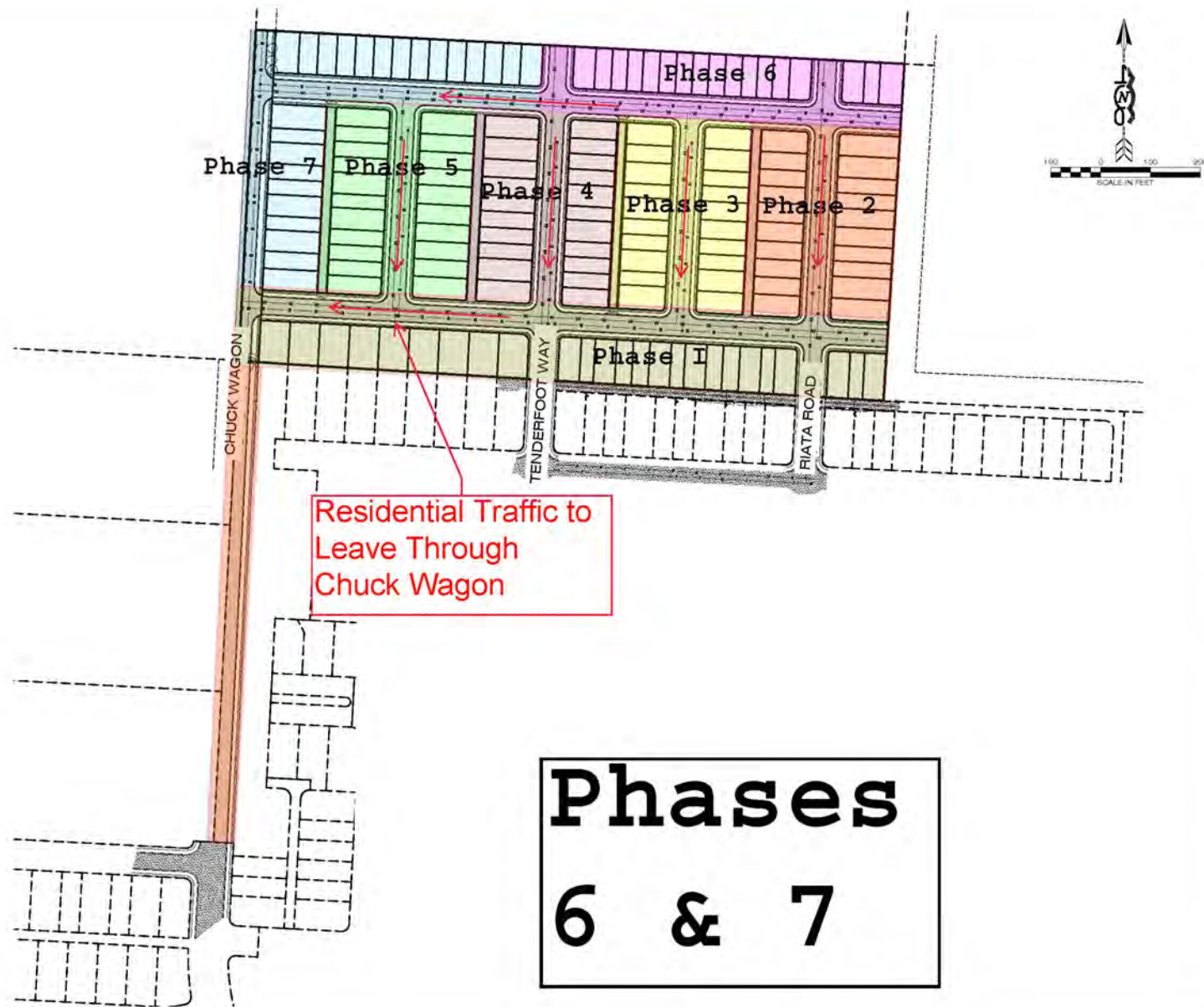


Residential Traffic to
Leave Through
Chuck Wagon

**Phases
4 & 5**

DESIGNED:	SA
DRAFTED:	
CHECKED:	8/12/18
DATE:	
REVISION:	
LOCATION:	MISSOURI, ILL.
PROJECT:	PRELIMINARY
PROJECT NAME:	RIATA
PROJECT NO.:	18-007
SHEET:	1 of 1

Phasing and Traffic Flow

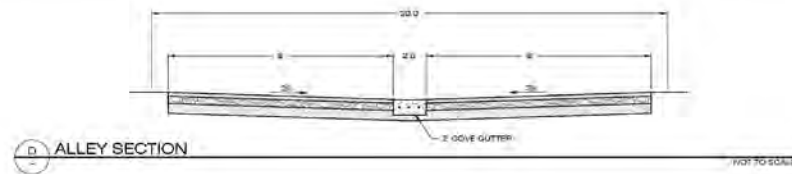
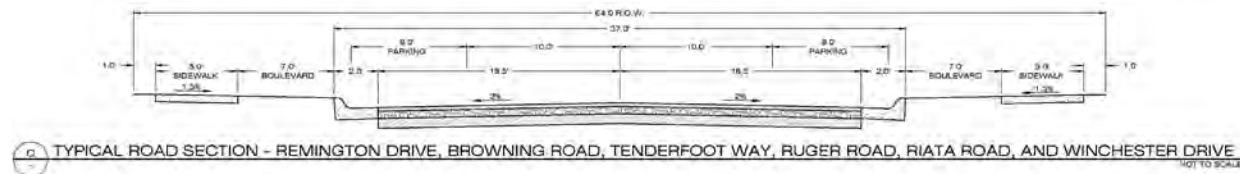
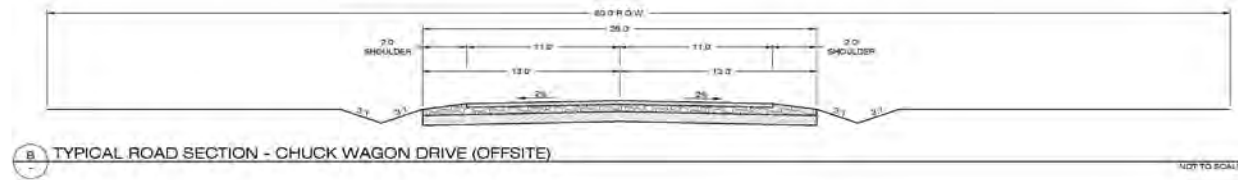
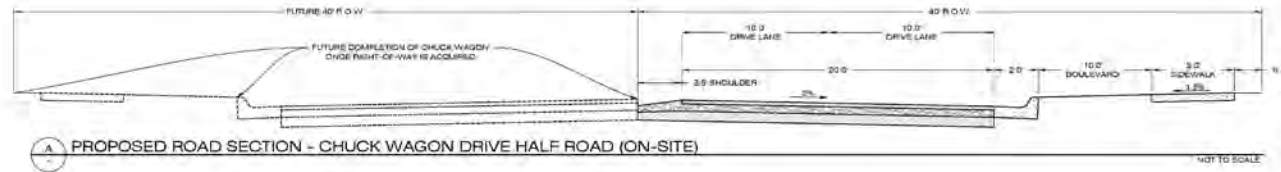


**Phases
6 & 7**

408 ENGINEERING CIVIL ENGINEERING LAND USE CONSULTING MISSOULA, MT KALISPELL, MT BUTTE, MT SPOKANE, MT MISSOULA, MT FAIRBANKS, AK WWW.408ENGINEERING.COM	
DESIGNED:	SA
DRAFTED:	
CHECKED:	
DATE:	5/17/19
REVISIONS	DATE
LOCATION:	MISSOULA COUNTY
PROJECT NAME:	RIATA
SHEET TITLE:	PRELIMINARY
HOW PROJECT NO.	18-007
SHEET:	1 of 1

Phasing and Traffic Flow

Preliminary Plat of
Remington Flats Subdivision
A 152 Lot Major Subdivision Located in
NE 1/4 OF THE SW 1/4 OF
SEC. 12, T.13N., R.20W., P.M.M., MISSOULA COUNTY, MONTANA

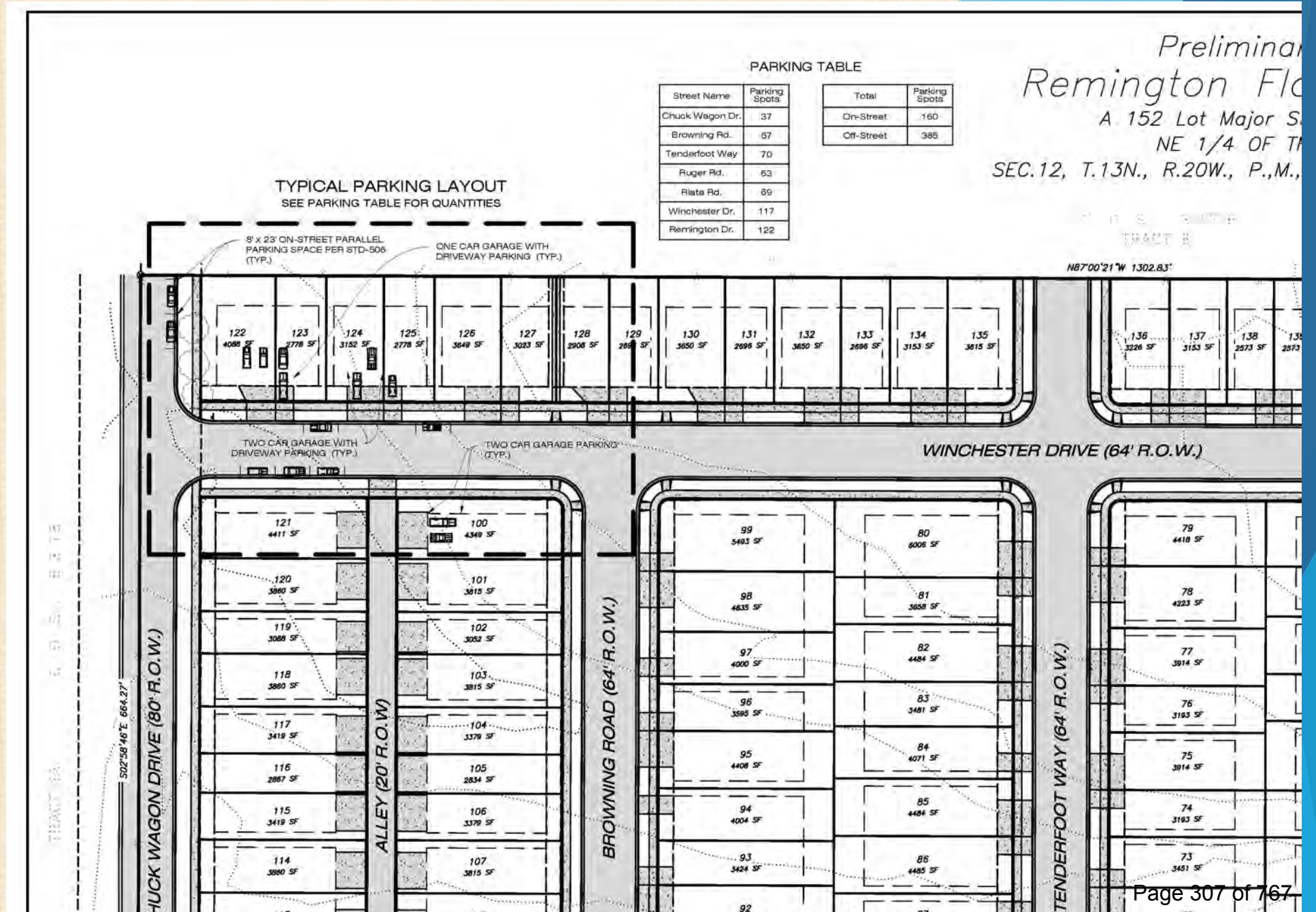


NOTE:
CROSS SECTION MATERIAL DEPTHS AND
TYPES ARE TO BE PER RECOMMENDATION
OF THE SOILS REPORT IN SECTION N.

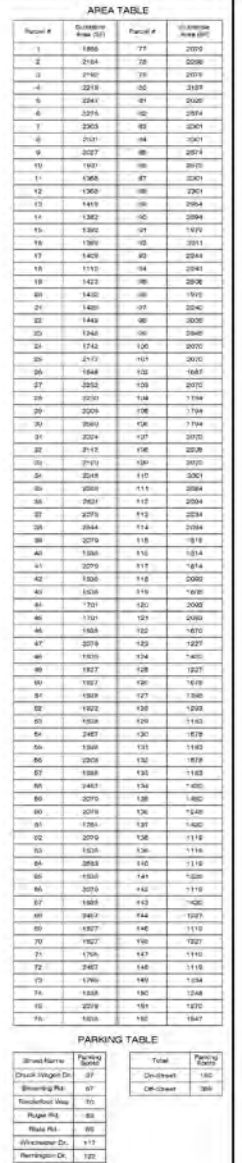
SHEET 2 OF 3

Road Details

Parking



Preliminary Plat of
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NE 1/4 OF THE SW 1/4 OF
SEC.12, T.13N., R.20W., P.1,M.,L., MISSOULA COUNTY, MONTANA





Parks

Cash-in-lieu for Park Land
dedicated to existing 44-Ranch Park

Staff Report/Conditions of Approval



Agree with most items in the Staff Report



Item 7 - Street Lights on Chuck Wagon

Design/Developer Team would like to work with the City on the Details they foresee in creating a "Streetlight improvement District"



Item 9 - Improvements to Chuck Wagon Drive and Mullan Road intersection

Design/Developer Team would request to meet with City on further discussion for this item prior to the City Council Meeting.



Item 10 - Additional cost to help pay for Mullan Area BUILD projects associated with BUILD Grant

Design/Developer Team would like to meet with the City and others to have more clarity on what this might be.


Thank You!

Questions?

Brian Throckmorton

(406) 317-1131





Remington Flats Rezoning & Major Subdivision

Planning Board

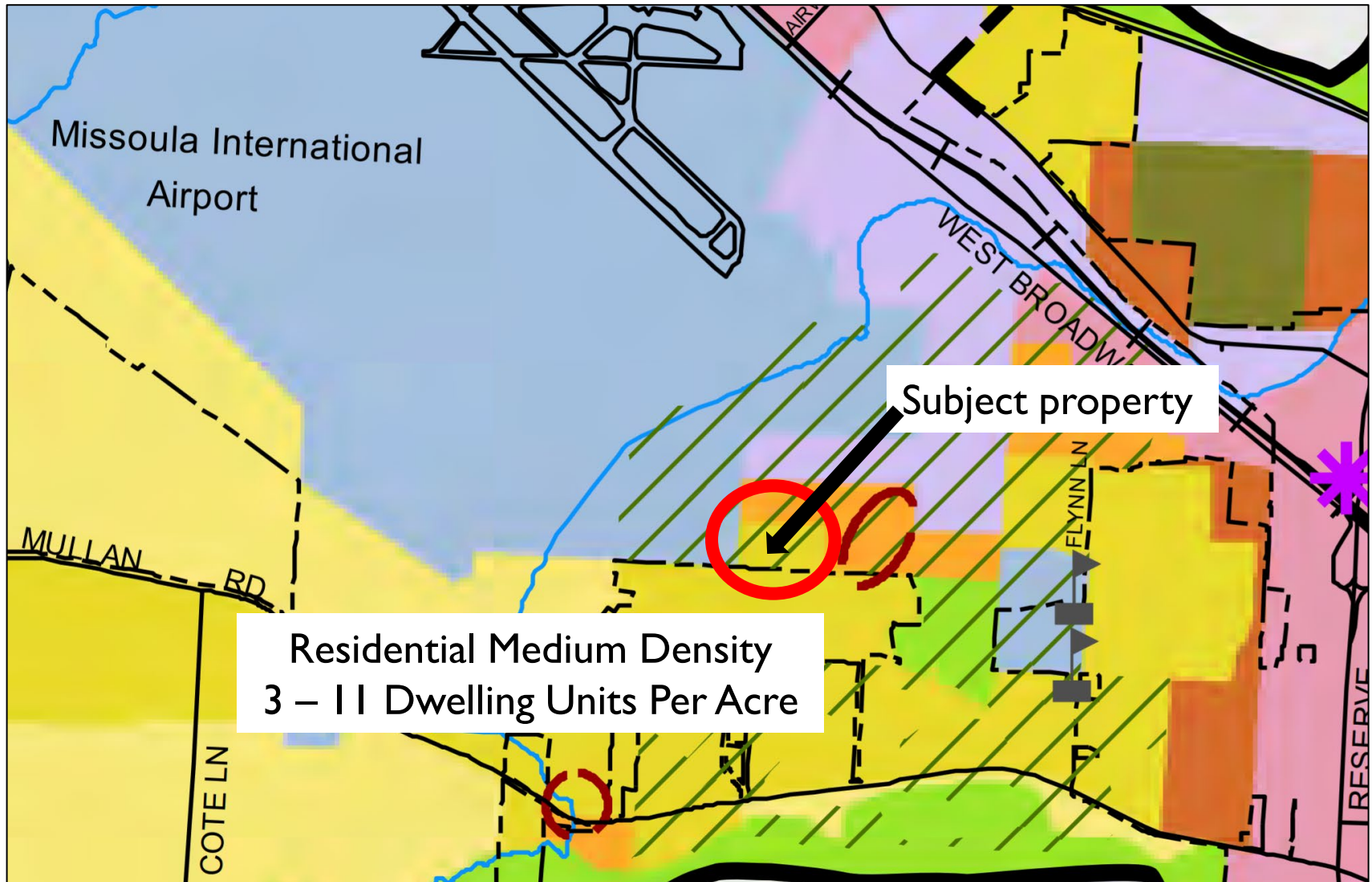
Dave DeGrandpre
Development Services
September 15, 2020



Location



Our Missoula Land Use



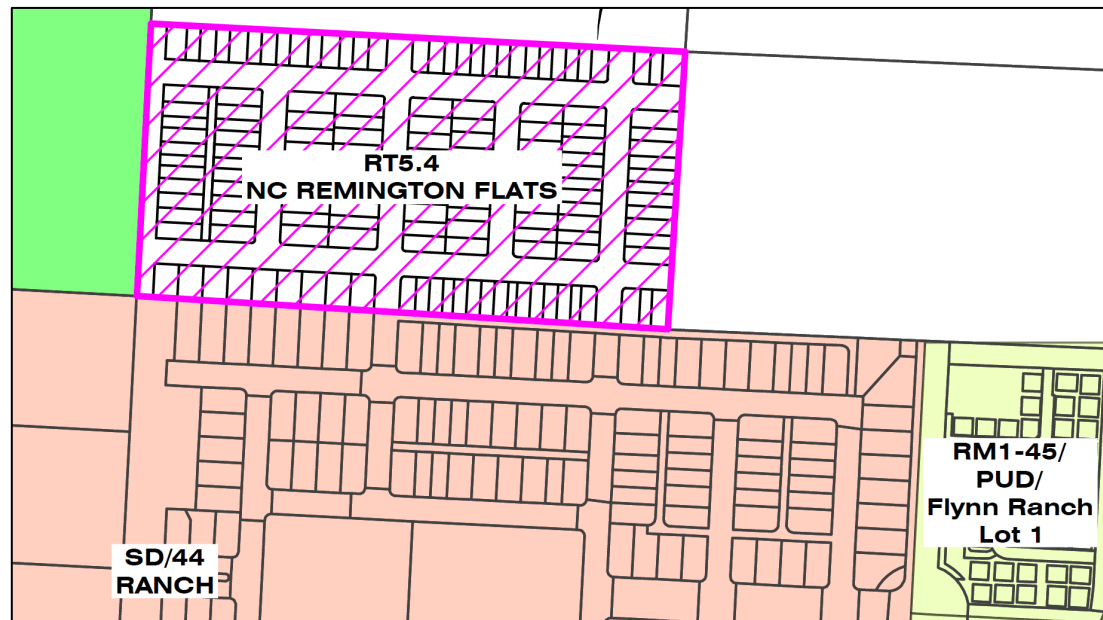
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- 2. Add the Remington Flats Neighborhood Character Overlay District to Title 20**
- 3. Apply /NC-RF to property**
- 4. Remington Flats Phased Subdivision**
- 5. Phases submitted independently (forthcoming)**

Add the Remington Flats Neighborhood Character Overlay to Title 20

- /NC districts are ‘overlain’ on base districts
- /NC districts set or preserve a development pattern
- Where standards conflict, the overlay governs
- Missoula has several /NC Districts – Southside Riverfront, Fort Missoula, Rattlesnake Gardens...

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- Smaller front setbacks (10 feet instead of 20, except for front-loaded garages)



- I. Characteristics that would create an identifiable setting, character & association**
- II. At least 5 acres**
- III. Growth policy compliance**
- IV. Secure safety from fire & other dangers**
- V. Promote public health, safety, and welfare**

VI. Provide adequate infrastructure & public requirements

VII. Adequate light and air

VIII. Impact on motorized & non-motorized transportation

IX. Promote compatible urban growth

X. Character and suitability of the district

XI. Conserve value of buildings & promote most appropriate use of the land

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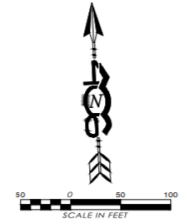
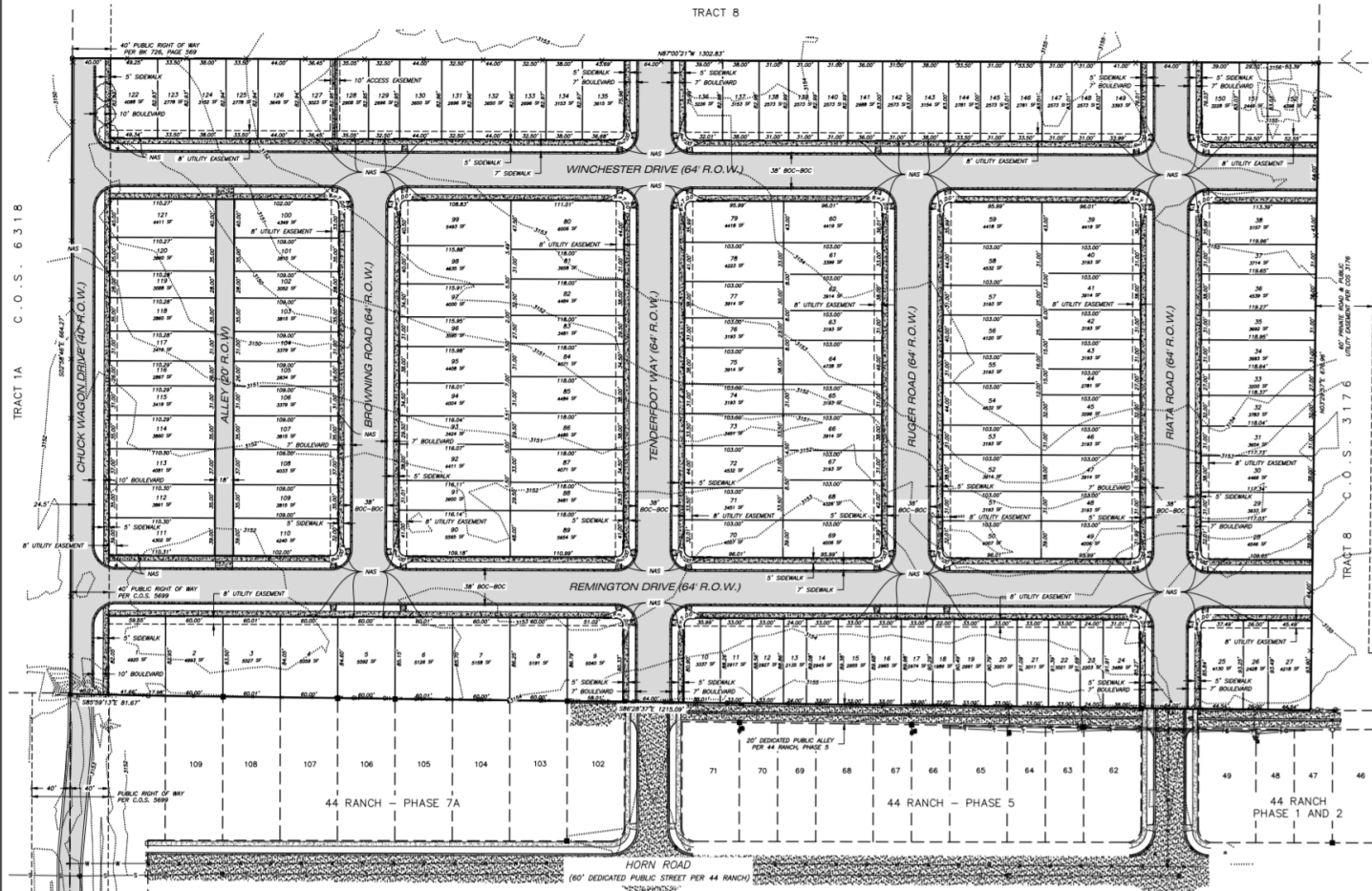
XIII. In the best interest of the city as a whole

Subdivision Proposal



Preliminary Plat of Remington Flats Subdivision A 152 Lot Major Subdivision Located In NE 1/4 OF THE SW 1/4 OF SEC.12, T.13N., R.20W., P.M.M., MISSOULA COUNTY, MONTANA

C.O.S. 3176
TRACT 8



BASIS OF BEARING/VERTICAL DATUM
MONTANA STATE PLANE 2502/NAVD88

LEGAL DESCRIPTION
TRACT 8 OF C.O.S. 3176, RECORDS OF
MISSOULA COUNTY, MONTANA

OWNER/DEVELOPER
ZOOTOWN INVESTMENTS, LLC

DEVELOPMENT SUMMARY
TOTAL AREA = 20.31 AC
TOTAL LOTTED AREA = 12.84 AC
RIGHT OF WAY = 7.17 AC

ENGINEER
406 ENGINEERING, INC

SURVEYOR
MONTANA NORTHWEST COMPANY

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED PRELIMINARY PLAT
WAS PREPARED UNDER MY SUPERVISION

NEW E. JONES
PROFESSIONAL LAND SURVEYOR
MONTANA REGISTRATION NO. 9330 LS

NOTES:

1. ANY WATER RIGHTS REGARDING THE EXISTING
IRRIGATION DITCH ADJACENT TO OR CROSSING THE
PROPERTY, AND AS SHOWN ON THE PLAT, ARE HEREBY
RESERVED AND GRANTED FOR THE USE AND BENEFIT
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RESERVATION ALSO INCLUDES ANY SURFACE WATER
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LEGEND

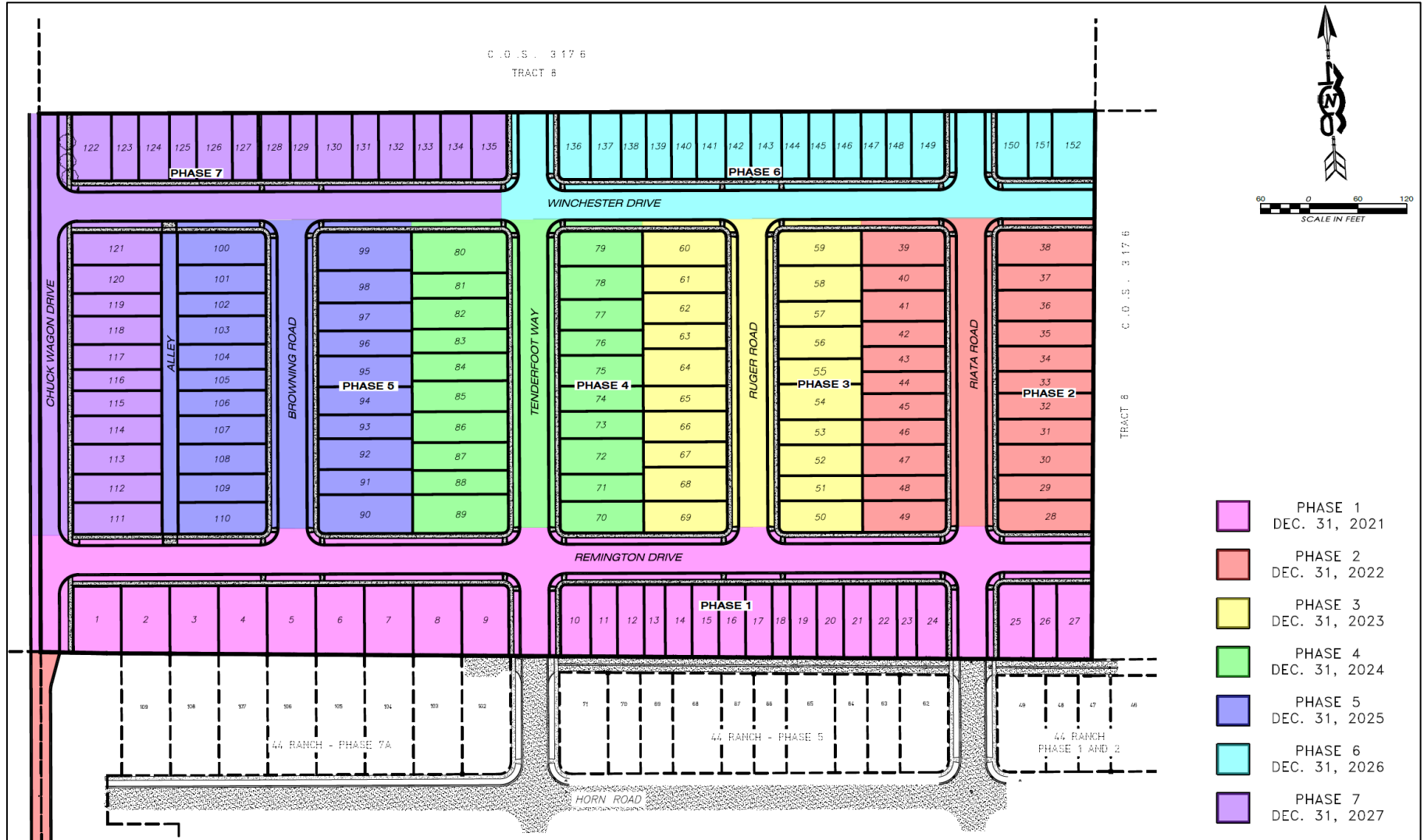
- FOUND 1-1/4" YELLOW PLASTIC CAP (DIA 1/8"AL3)
- FOUND 1-1/4" YELLOW PLASTIC CAP (DIA 3/16")
- FOUND 1-1/4" YELLOW PLASTIC CAP (DIA 1/2")
- FOUND 5/8" REBAR (NO CAP)
- NAS 0.5' NO ACCESS STRIP

MTNWCO PROJECT #2647-19

JUNE 15, 2020

SHEET 1 OF 3

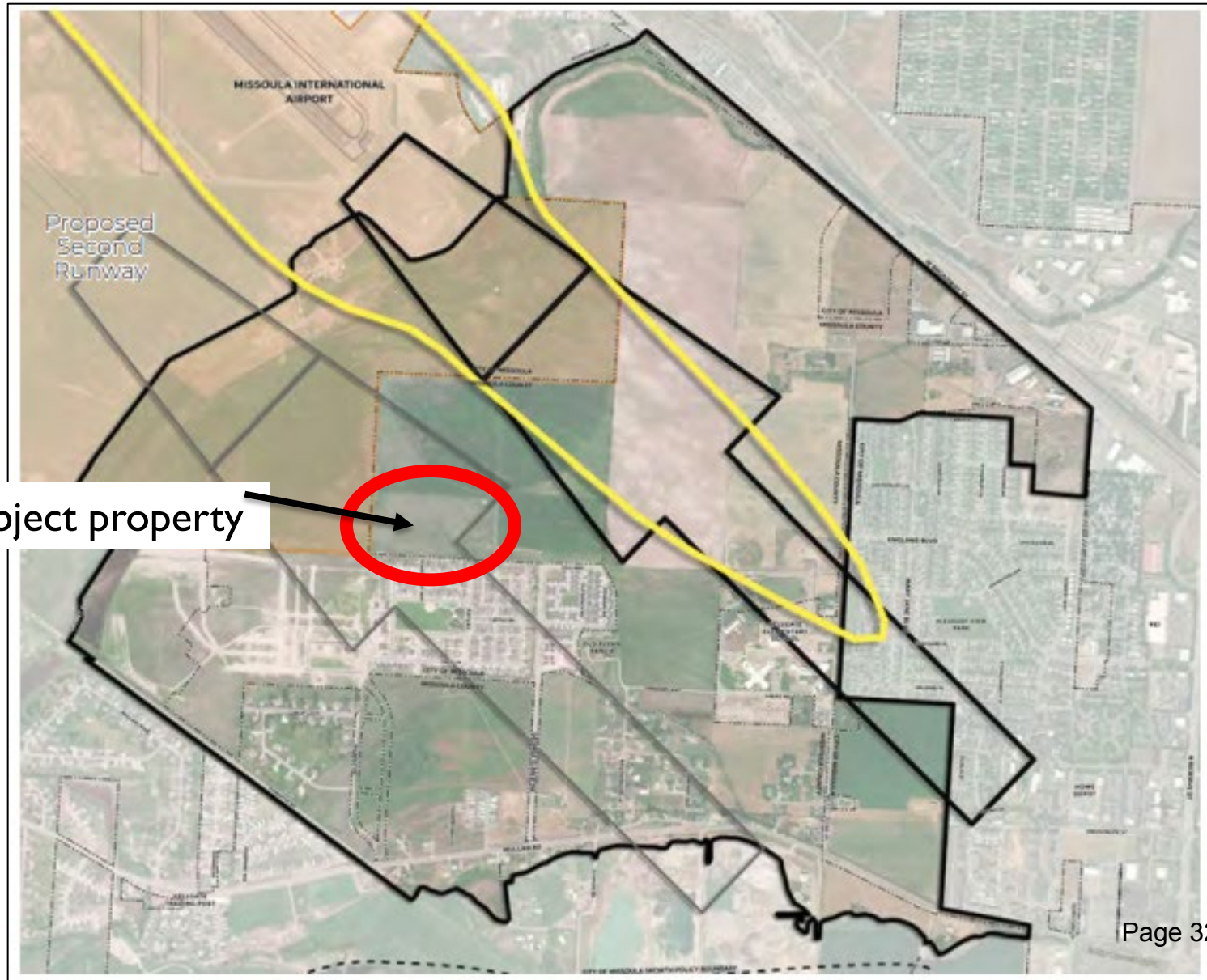
Subdivision Proposal



Subdivision Proposal



Subdivision Proposal



Agriculture & Ag. Water User Facilities: Prime soils; planned and zoned for residential use; irrigation ditch in easement, water rights to be severed;

Natural Environment, Wildlife & Wildlife Habitat: No public lands or critical wildlife habitat nearby; impacts of storm runoff evaluated; no significant impacts anticipated;

Public Health & Safety: Adequate circulation systems, city water and sewer, fire, and police, nearby medical services; no natural hazards; airport influence area;

Local Services

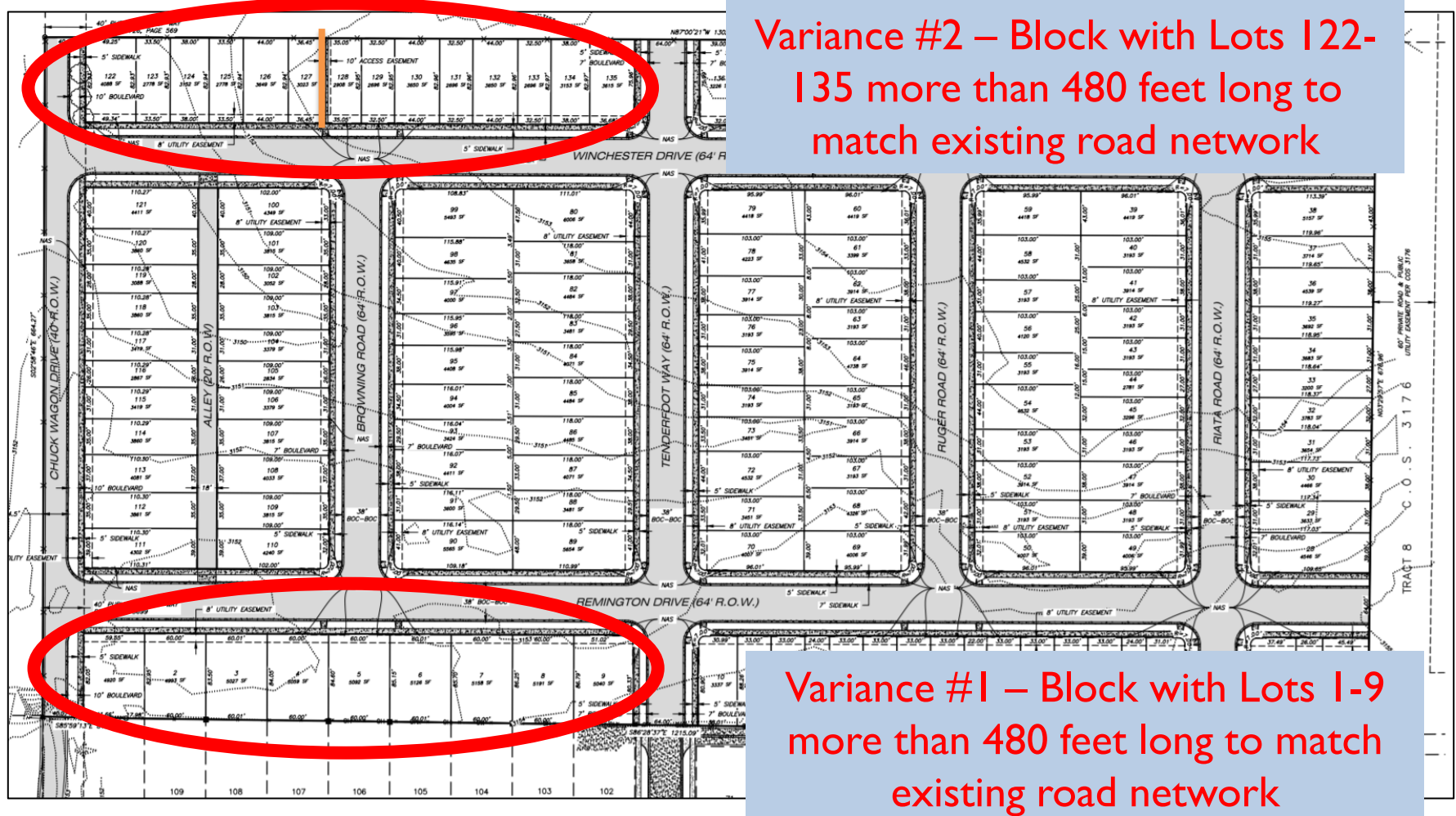
Access – Primary access via Chuck Wagon Drive, Tenderfoot Way and Riata Road; internal street network built by the subdivider and dedicated to the public; petition into Missoula Urban Transportation District

Emergency Services - Provided by City Police and Fire

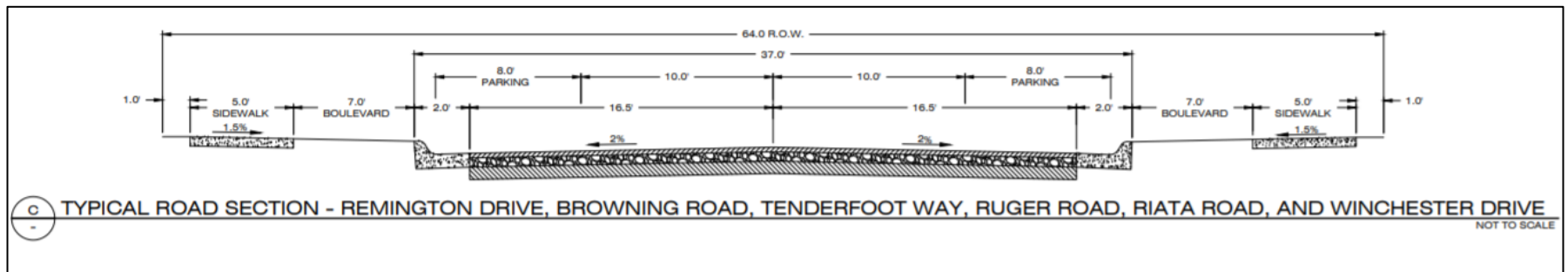
City Parks – Neighborhood park nearby; Cash in lieu of parkland with each phase

Schools – Application states a range of 31-76 students & schools can support anticipated population

Variance #1 & 2



64-Foot Rights-Of-Way for Low Density Urban Local Streets instead of 70

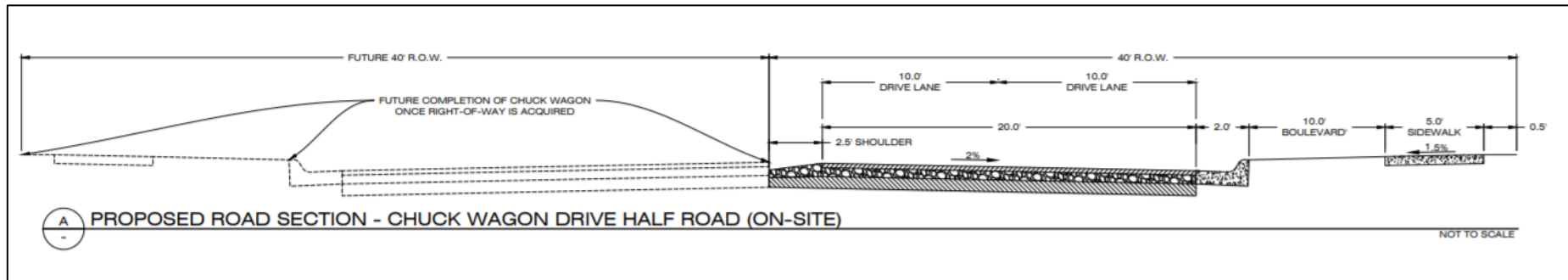


40-Foot Right-Of-Way for Collector Instead of 90 Half-street improvements



40-Foot Right-Of-Way for Collector Instead of 90

Half-street improvements



- Half-street improvements for Chuck Wagon Drive
- Other streets built to City standards
- Contributions for Chuck Wagon Drive / Mullan Road and George Elmer Drive / Mullan Road intersections
- Connect to City water and sewer
- Cash in lieu of parkland
- Petition into Missoula Urban Transportation District
- Avigation easement and airport influence area statement


APPROVAL of an ordinance to establish the Remington Flats Neighborhood Character Overlay District **and** to rezone Tract 9 of COS No. 3176 in the NE ¼ of the SW ¼ of Section 12, T13N, R20W from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay District.

APPROVAL of variance requests 1 & 2 to allow the blocks with Lots 1-9 and 122-135 to be longer than 480 feet.

APPROVAL of a variance request #3 to allow Winchester Drive, Browning Road, Tenderfoot Way, Ruger Road, and Riata Road to be built within 64-foot rights-of-way instead of 70.

APPROVAL of variance request #4 to allow Chuck Wagon Drive to be built as a half-street Urban Collector within a 40-foot right-of-way instead of a full street section within a 90-foot right-of-way.

APPROVAL of the **Remington Flats Phased Subdivision Plat and Application** based on the findings of fact and subject to the recommended conditions of approval in the staff report.

An aerial photograph of a city, likely Missoula, Montana, showing a grid of streets, buildings, and a large open field in the foreground. Mountains are visible in the background under a clear sky.

Remington Flats Rezoning & Major Subdivision

Planning Board

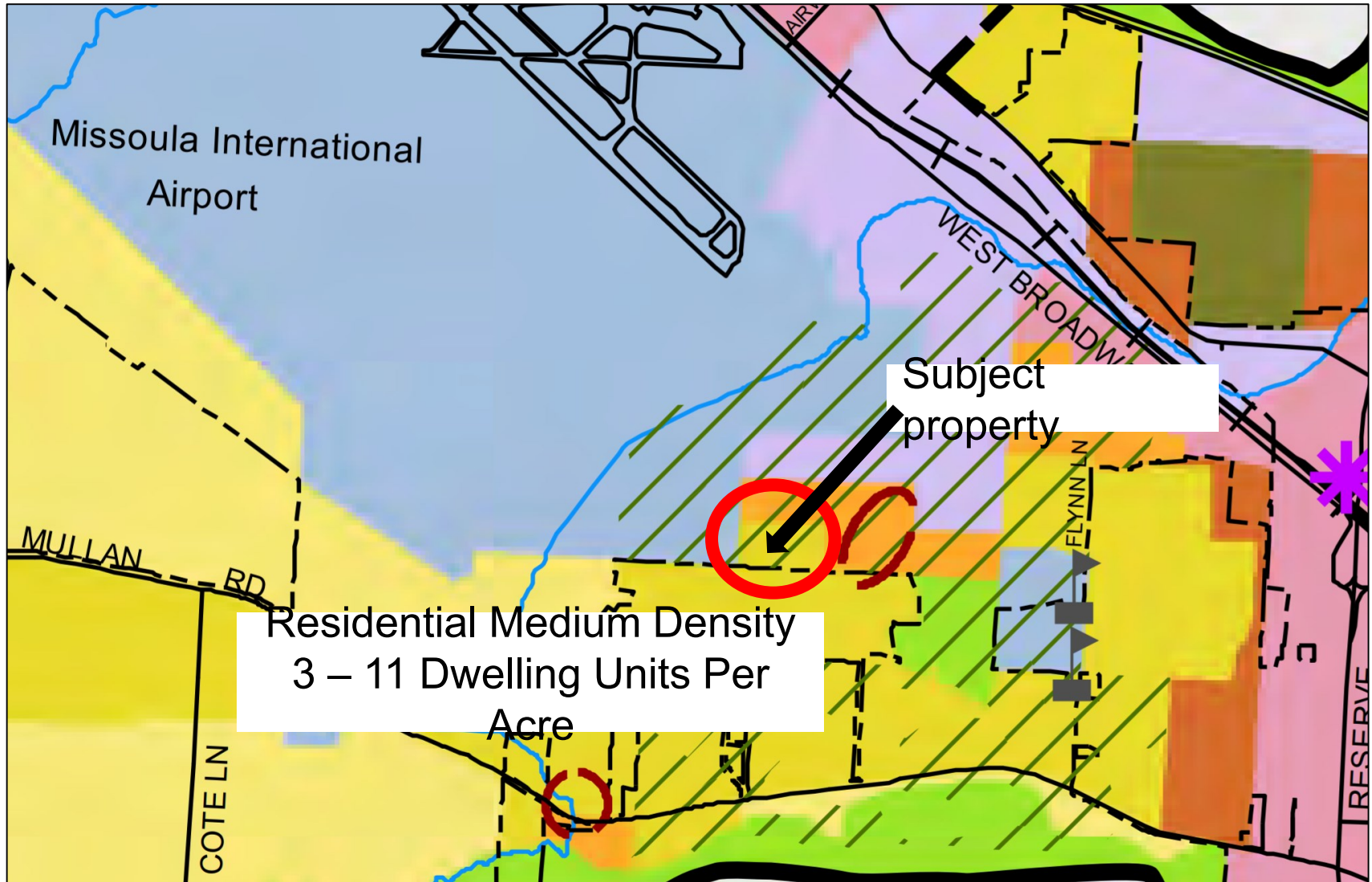
Dave DeGrandpre
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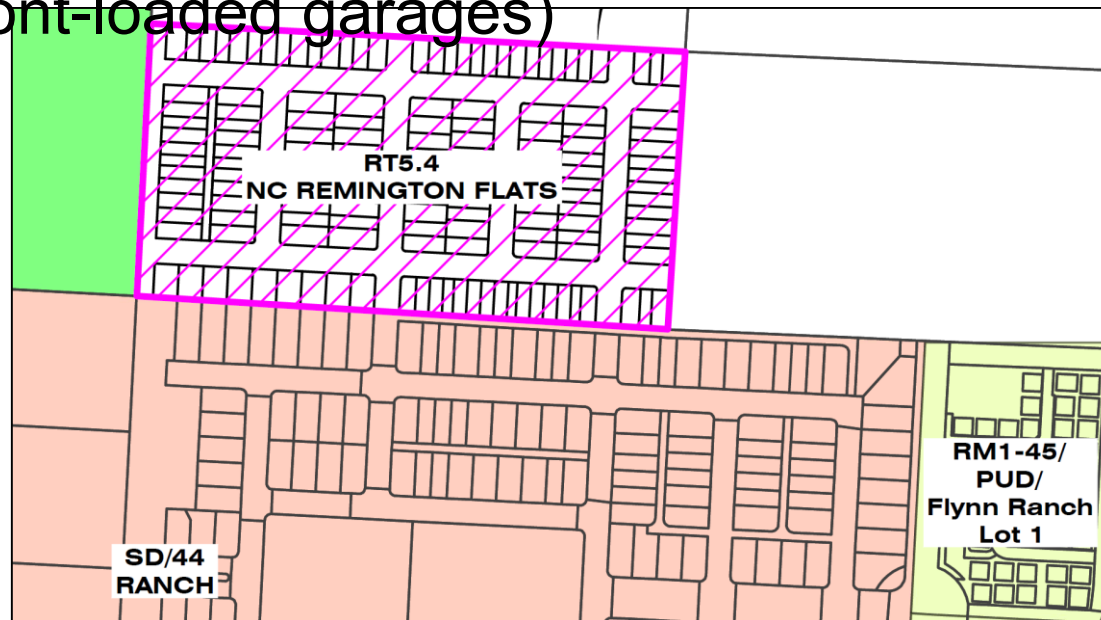
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- IV. Secure safety from fire & other dangers**
- V. Promote public health, safety, and welfare**

- VI. Provide adequate infrastructure & public requirements**
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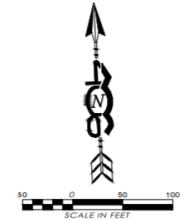
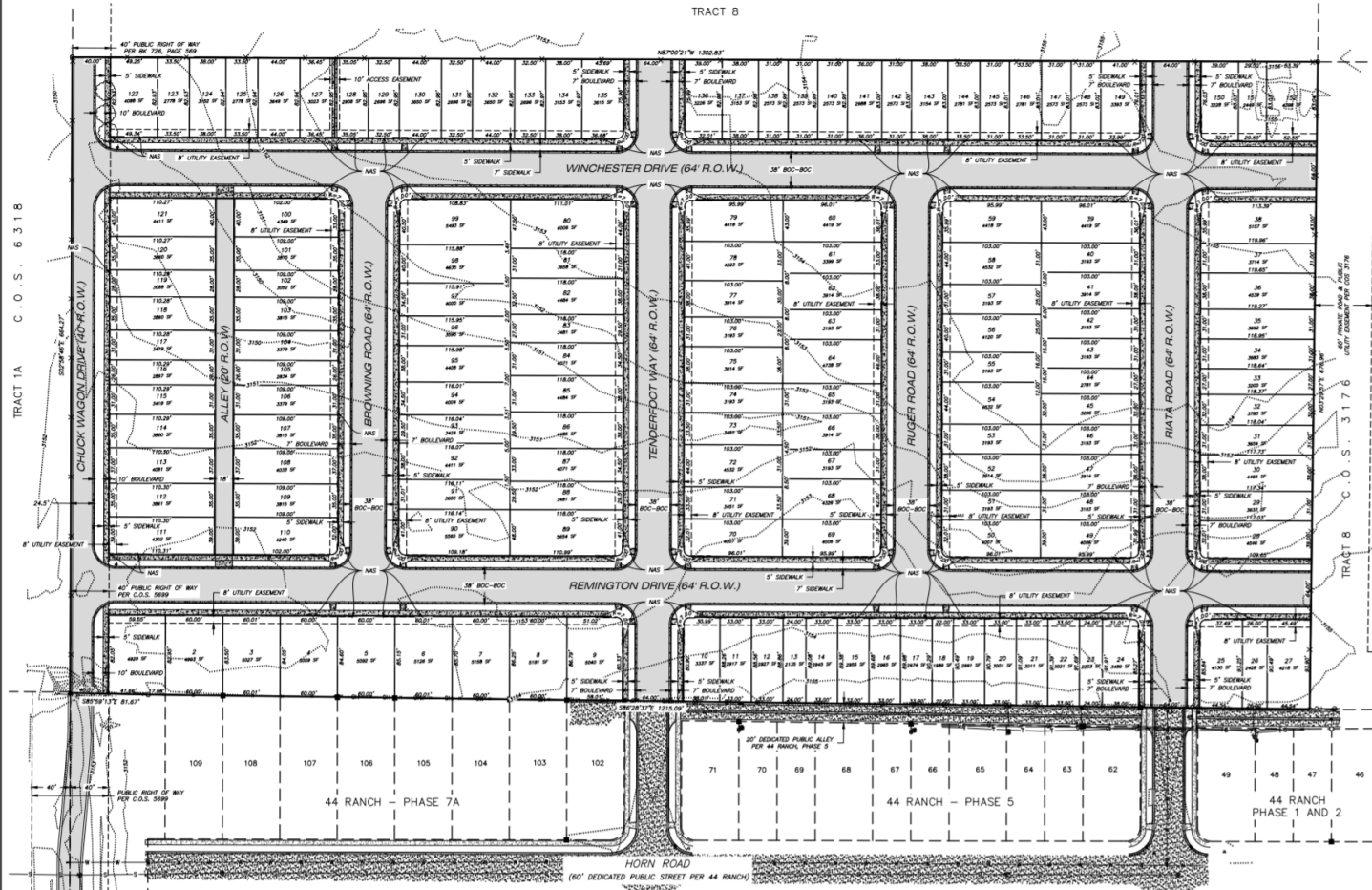
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 - FOUND 5/8" REBAR (NO CAP)
 - NAS 0.5' NO ACCESS STRIP

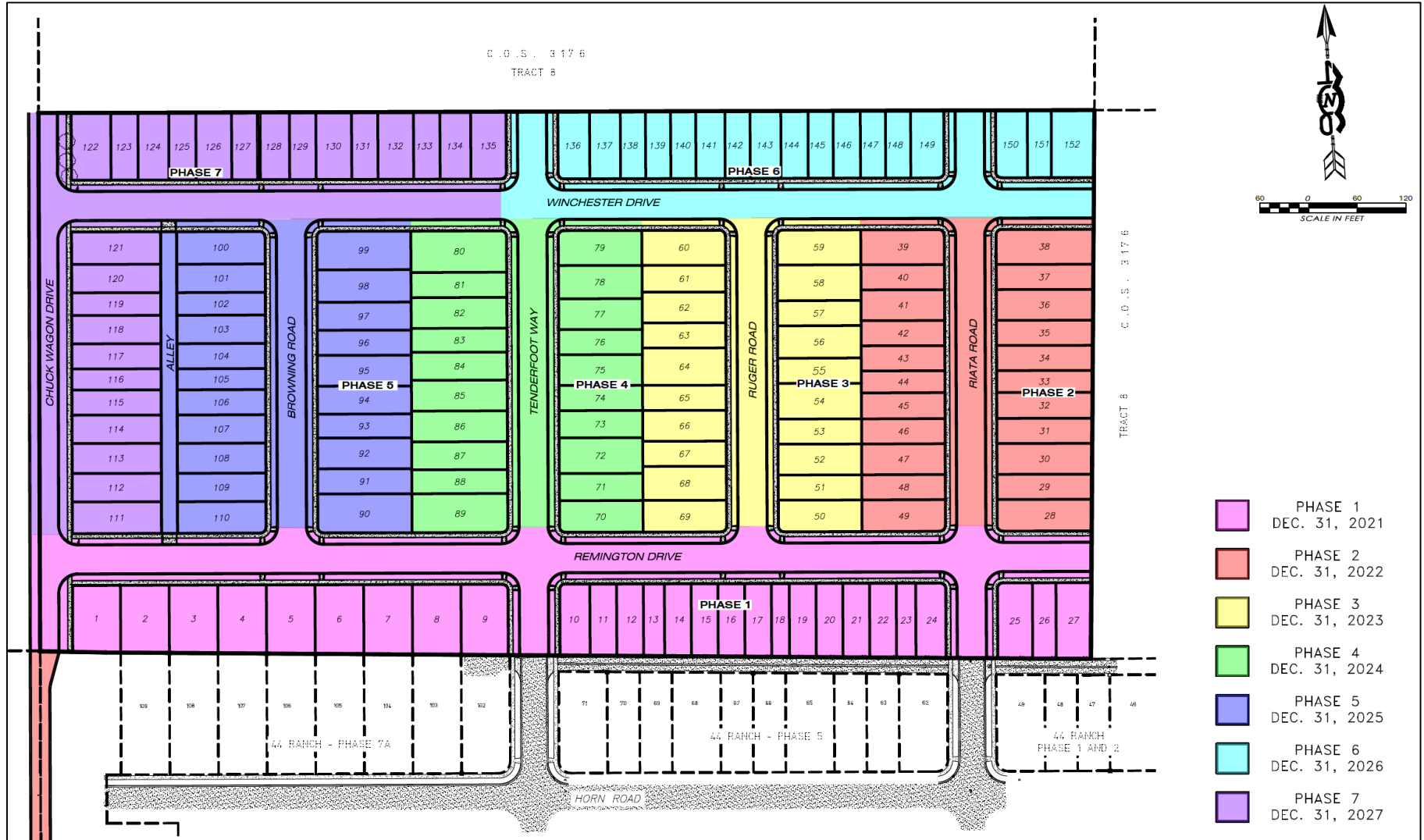
MTNWCO PROJECT #2647-19

JUNE 15, 2020

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10

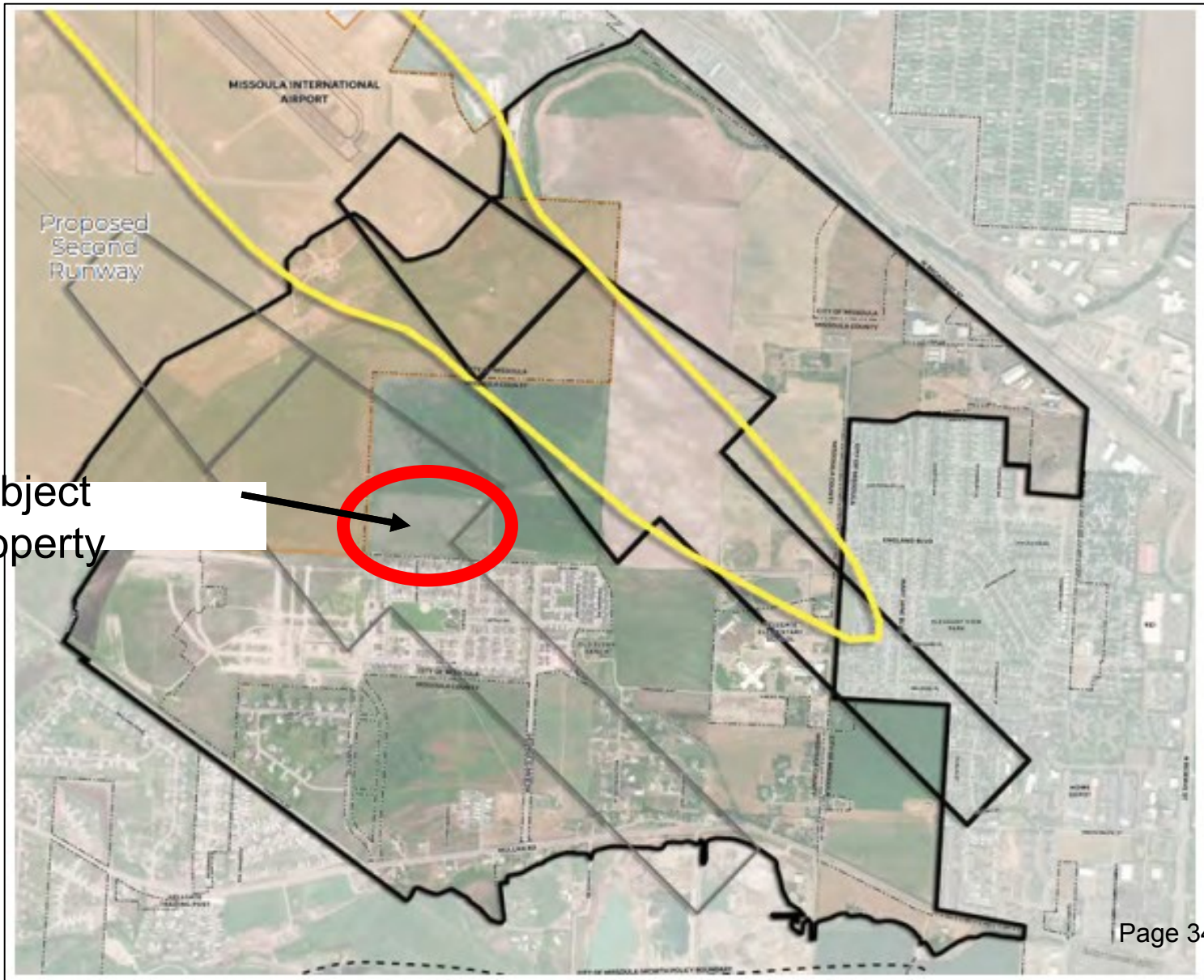
Subdivision Proposal



Subdivision Proposal



Subdivision Proposal



Agriculture & Ag. Water User Facilities:

Prime soils; planned and zoned for residential use; irrigation ditch in easement, water rights to be severed;

Natural Environment, Wildlife & Wildlife

Habitat: No public lands or critical wildlife habitat nearby; impacts of storm runoff evaluated; no significant impacts anticipated;

Public Health & Safety: Adequate circulation systems, city water and sewer, fire, and police, nearby medical services; no natural hazards; airport influence area;

Local Services

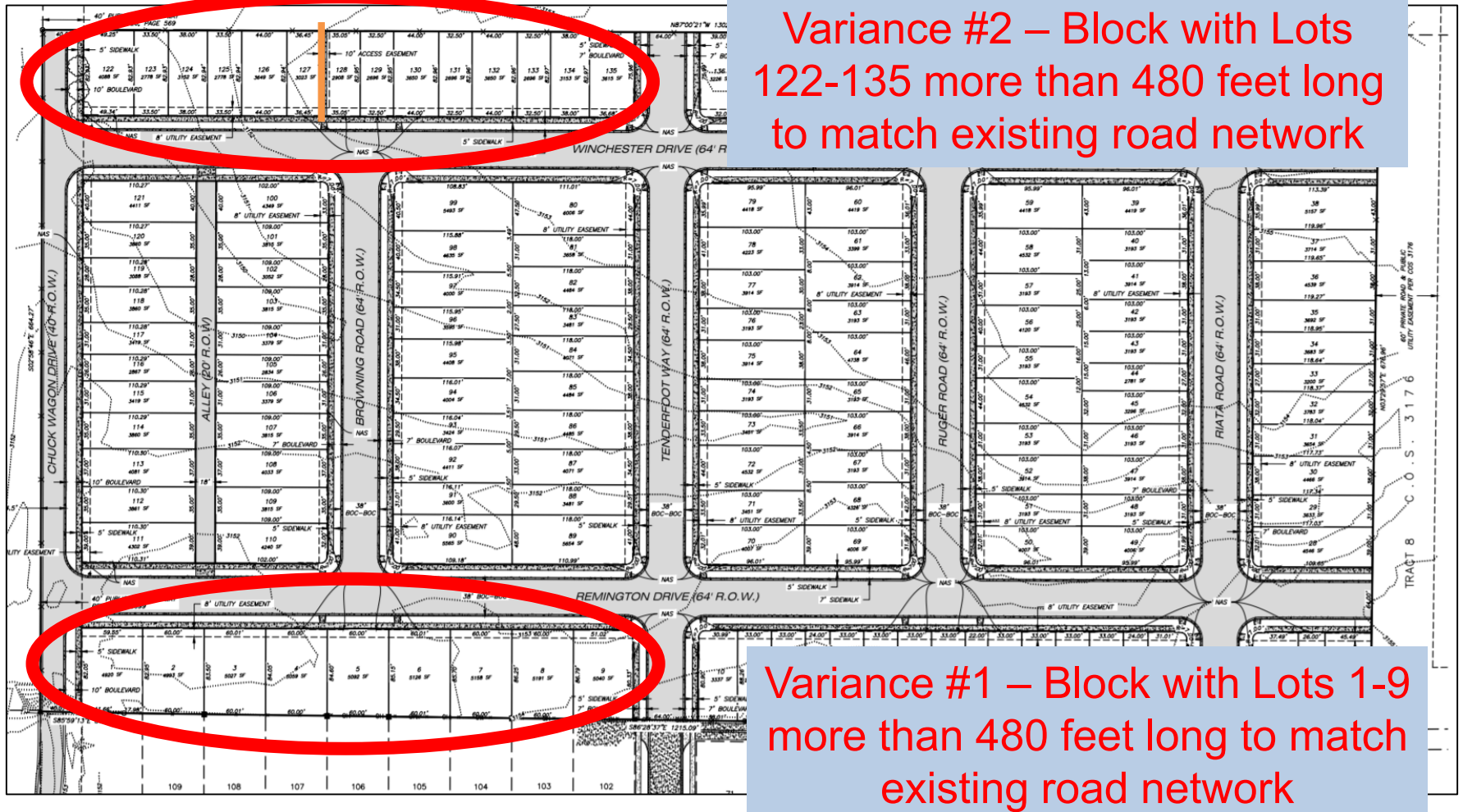
Access – Primary access via Chuck Wagon Drive, Tenderfoot Way and Riata Road; internal street network built by the subdivider and dedicated to the public; petition into Missoula Urban Transportation District

Emergency Services - Provided by City Police and Fire

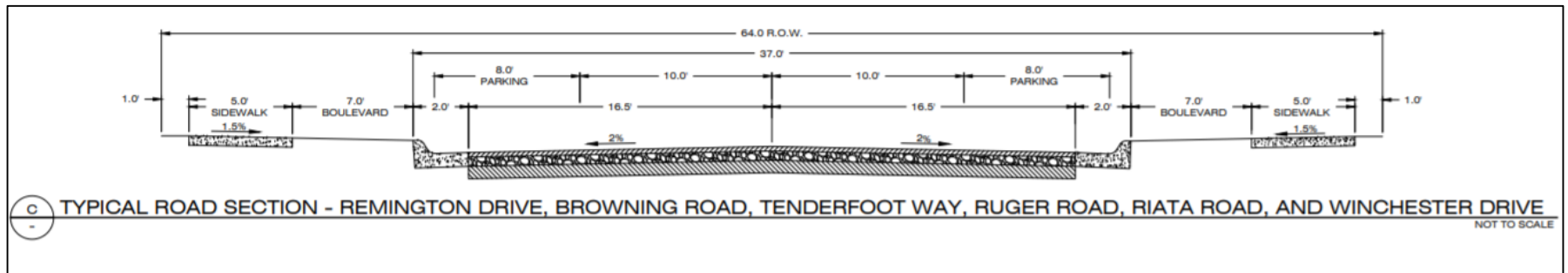
City Parks – Neighborhood park nearby; Cash in lieu of parkland with each phase

Schools – Application states a range of 31-76 students & schools can support anticipated population

Variance #1 & 2



64-Foot Rights-Of-Way for Low Density Urban Local Streets instead of 70

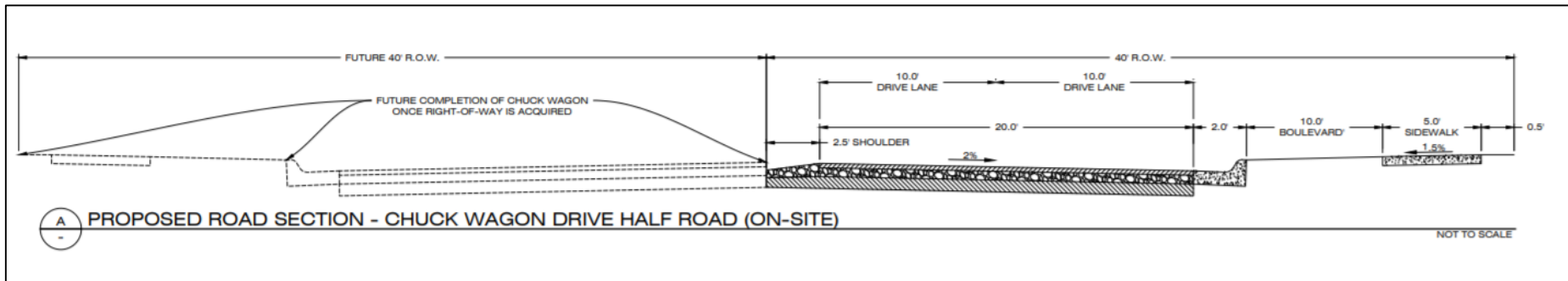


40-Foot Right-Of-Way for Collector Instead of 90 Half-street improvements



40-Foot Right-Of-Way for Collector Instead of 90

Half-street improvements



Conditions of Approval



- Half-street improvements for Chuck Wagon Drive
- Other streets built to City standards
- Contributions for Chuck Wagon Drive / Mullan Road and George Elmer Drive / Mullan Road intersections
- Connect to City water and sewer
- Cash in lieu of parkland
- Petition into Missoula Urban Transportation District
- Avigation easement and airport influence area statement

APPROVAL of an ordinance to establish the Remington Flats Neighborhood Character Overlay District **and** to rezone Tract 9 of COS No. 3176 in the NE ¼ of the SW ¼ of Section 12, T13N, R20W from RT5.4 Residential to RT5.4 Residential with a Remington Flats Neighborhood Character Overlay District.

APPROVAL of variance requests 1 & 2 to allow the blocks with Lots 1-9 and 122-135 to be longer than 480 feet.

APPROVAL of a variance request #3 to allow Winchester Drive, Browning Road, Tenderfoot Way, Ruger Road, and Riata Road to be built within 64-foot rights-of-way instead of 70.

APPROVAL of variance request #4 to allow Chuck Wagon Drive to be built as a half-street Urban Collector within a 40-foot right-of-way instead of a full street section within a 90-foot right-of-way.

APPROVAL of the **Remington Flats Phased Subdivision Plat and Application** based on the findings of fact and subject to the recommended conditions of approval in the staff report.

PROCLAMATION

WHEREAS, The City of Missoula recognizes the importance of accurate and in-depth weather forecasting to protect all citizens of our community; and

WHEREAS, from this day forward September 21st will be recognized as Mark Heyka Weather Day; and

WHEREAS, Mark Heyka brings more than 3 decades of forecasting experience, and a Seal of Approval from the American Metrological Society (AMS) to ABC FOX Montana; and

WHEREAS, Mark Heyka recognizes the passion Montanans have to enjoy the outdoors. He also recognizes the extreme weather conditions we face throughout the year, from heat to wildfires, to snow to bitter cold. Mark Heyka has pledged his career to making sure every forecast he provides is precise, so that your family is safe as they plan their lives.

NOW, THEREFORE, I, John Engen, Mayor of the City of Missoula, in the State of Montana, hereby recognize the 21st day of September 2020 as:

MARK HEYKA WEATHER DAY

IN WITNESS WHEREOF, I have hereunto set my hand and caused the great seal of the City of Missoula, in the State of Montana, to be affixed at Missoula, Montana, this 21 day of September, in the year two thousand twenty.



John Engen
Mayor

PROCLAMATION

WHEREAS, in the United States, a woman's lifetime risk of being diagnosed with ovarian cancer is about 1 in 78, and survival rates vary greatly depending on the stage of diagnosis; and

WHEREAS, the American Cancer Society estimates that 50 Montanans will die from ovarian cancer this year; and

WHEREAS, there is no reliable early detection test for ovarian cancer; and

WHEREAS, many people are unaware of the symptoms of ovarian cancer - symptoms that are easily confused with other diseases;

WHEREAS, ongoing investments in ovarian cancer research and education and awareness efforts are critical to improving survivorship for women with ovarian cancer;

NOW, THEREFORE, I, John Engen, Mayor of the City of Missoula, in the State of Montana, hereby recognize September, 2020, as:

OVARIAN CANCER AWARENESS MONTH

IN WITNESS WHEREOF, I have hereunto set my hand and caused the great seal of the City of Missoula, in the State of Montana, to be affixed at Missoula, Montana, this 21st day of September, in the year two thousand twenty.



John Engen
Mayor



DEVELOPMENT SERVICES

435 RYMAN | MISSOULA, MT 59802-4297 | 406.552.6630 | FAX 406.552.6053

CONDITIONAL USE STAFF REPORT & REFERRAL

Agenda item:	Referral – Staff Report for 365-375 Scott Street Group Living Conditional Use	
Report Date(s):	9/10/2020	
Case Planner:	Kaitlin McCafferty, Associate Planner	
Report Reviewed & Approved By:	Mary McCrea, Permits and Land Use Manager	
Public Meetings & Hearings:	Land Use & Planning (LUP) pre-hearing: 9/16/2020 City Council hearing: 9/21/2020	
Applicant & Owner:	1029 W Pine Partnership (Jerry Dimberger) 601 South Ave W Missoula, MT 59801	
Representative:	Jules Landis 2291 W Broadway Suite 4	
Location of request:	The subject property is located at 365-375 Scott Street Neighborhood Council: Northside/Westside Ward: Ward 1	
Legal description:	Lot A in Block 46 of WJ McCormick's Addition located in Section 21, Township 13 North, Range 19 West, P.M.M.	
Legal ad:	The legal ad was published in the <i>Missoulian</i> on 9/6/2020 and 9/13/2020. The site was posted on 9/4/2020. Adjacent property owners within 150 feet of the site were notified by certified mail on 8/17/2020.	
Growth Policy:	The applicable regional plan is the Our Missoula: City Growth Policy 2035 which recommends a land use designation of Urban Center. The applicable vicinity plan is the Joint Northside/ Westside Neighborhood Plan 2000 and the 2006 Update which recommends a land use designation of City Center.	
Zoning:	C1-4 Neighborhood Commercial / DE-D Design Excellence Overlay – Downtown Gateway	
	Surrounding Land Uses	Surrounding Zoning
North:	Single and Two-unit Residential	C1-4 Neighborhood Commercial / DE-D Design Excellence Overlay – Downtown Gateway
South:	Hotel and Restaurant	C1-4 Neighborhood Commercial / DE-D Design Excellence Overlay – Downtown Gateway
East:	Vacant, Parking Lot, and Grocery Store	Broadway Scott Gateway, Sub District A and B
West:	Warehouse	C1-4 Neighborhood Commercial / DE-D Design Excellence Overlay – Downtown Gateway

I. RECOMMENDED MOTION

Approval of the Group Living Conditional Use request located at 365-375 Scott Street, in accordance with Missoula City Zoning Ordinance, Title 20, Sections 20.10.020D, 20.40.110, 20.85.070, and 20.105.020.B.1, based on the findings of fact in the staff report and subject to the conditions of approval.

II. CONDITION(S) OF APPROVAL

1. The Group Living Conditional Use at 365-375 Scott Street shall comply with all applicable portions of Title 20. Plans submitted at the time of building permit application shall substantially conform with the plans submitted at the time of conditional use review, subject to the review and approval of Development Services prior to building permit approval.
2. In order to comply with Title 20 Section 20.40.070.B the applicant shall restrict density to one (1) resident per bedroom suite and shall provide a copy of the lease agreement with the density restriction, subject to review and approval of Development Services, prior to building permit approval.

III. INTRODUCTION

The City of Missoula Development Services has received a conditional use request from Jules Landis of In2itive Architecture on behalf of Jerry Dirnberger of 1029 W Pine Partnership for a Group Living use at 365-375 Scott Street. The applicant proposes two (2) Group Living structures, containing forty-six (46) bedroom suites and shared kitchen and gathering spaces.

The subject property is zoned C1-4 Neighborhood Commercial/DE-D Design Excellence Overlay: Gateway. According to Title 20, Section 20.10.020, a Group Living use requires conditional use approval to operate in the C1-4 zoning district. Title 20 defines Group Living as "Residential occupancy of a dwelling by other than a "household," typically providing communal kitchen/dining facilities".

IV. APPLICABLE ZONING REGULATIONS IN TITLE 20

Title 20 Zoning Ordinance, Section 20.85.070(H) outlines the review criteria for review of conditional use applications. According to the Zoning Ordinance, "not all review criteria will apply in every case... [and] only the applicable review criteria need to be met." Uses that require conditional use approval may be approved by the City Council only when Council determines that the proposed uses meet all the applicable review criteria.

Section 20.85.070(I) outlines "Factors to be Considered" that City Council may specifically consider in determining whether all applicable review criteria have been satisfied.

V. Conditional Use Review Criteria

Findings of fact:

General:

1. The property is located at 365-375 Scott Street, at the corner of Scott and Pine Streets. The property is currently vacant.
2. The project, titled Ponderosa Village, will consist of two buildings with a total of forty-six (46) bedroom suites. Each building has twenty-three (23) bedroom suites, a communal kitchen on the ground floor and communal living/lounging areas on each floor. The project includes a large central outdoor gathering space.
3. The subject property is legally described as Lot A in Block 46 of WJ McCormicks Addition located in Section 21, Township 13 North, Range 19 West, P.M.M.
4. The subject property has frontage on Scott Street, functionally classified as a Major Collector, and also has frontage on Pine Street, classified as a Local Street.
5. There is currently curb, gutter and sidewalk along Scott Street, but no curb, gutter and sidewalk along Pine Street. No designated bike lanes exist on these frontages.
6. The subject property is within the Missoula Urban Transportation District, the Urban Growth Area, the Wastewater Facilities Service Area, and Air Stagnation Zone. Sewer and water are available to the site and the property will connect to City Water and Sewer at the time of building permit approval.
7. The subject property is within an established service area for Missoula hospitals and the City Fire and Police Departments.

Growth Policy and Zoning:

8. The 2035 Missoula City Growth Policy is the applicable regional plan and recommends a Land Use designation of Urban Center, which supports a concentration of high intensity commercial, retail, arts and entertainment, and high density residential.
9. The applicable vicinity plan is the Joint Northside/Westside Neighborhood Plan 2000 and the 2006 Update which recommends a Land Use designation of City Center.
10. The subject property is zoned C1-4 Neighborhood Commercial – DE-D Design Excellence Overlay: Gateway.
11. Pursuant to Table 20.10-1 “Uses Allowed in Business and Commercial Districts” of the Title 20 Zoning Code, a Group Living use requires conditional use approval to operate in the C1-4 zoning district.
12. Surrounding uses to the North are residential, and to the South, East and West are commercial uses.
13. The minimum parcel area in the C1-4 Neighborhood Commercial zoning district is 3,000 square feet per parcel. Allowable density is calculated per Title 20, Section 20.40.070 Use and Specific Building Standards for Group Living uses which allows 2.7 residents per 1,000 square feet of parcel area in the C1-4 zoning district. The subject property is 17,477 square feet, allowing for forty-seven (47) residents. Forty-six (46) bedroom suites are proposed, and one resident would be permitted per bedroom suite.
14. In order to comply with Title 20 Section 20.40.070.B requirements on density, staff recommends a condition of approval requiring the applicant to limit density to one (1) resident per bedroom suite and provide a copy of the lease agreement that includes this restriction prior to building permit approval.
15. The new Group Living structures will be required to meet all Title 20 zoning and Missoula Municipal Code requirements at the time of building permit approval, per condition of approval #1.

Parking and Access

16. Per Title 20.60.020, Table 20.60-1, the required parking for a Group Living use is two (2) spaces per building, this project includes two (2) buildings, thus requiring four (4) parking spaces. The applicant's site development plan indicates eleven (11) off-street vehicular parking spaces.
17. According to Title 12, Section 12.22.060, a parking lot with twenty-five (25) spaces or less must have one (1) ADA van-accessible space. The applicant's site development plan shows one (1) ADA space will be provided. The provision of these spaces in compliance with federal and local regulations will be verified by Development Services Engineering Division, prior to building permit approval, as described in condition of approval #1.
18. The applicant's site development plan shows the addition of curbside sidewalk along the subject property's frontage along Pine Street. Conformance with engineering standards will be confirmed at the time of building permit approval.
19. Title 20, Table 20.60-2 outlines the bicycle parking requirements, but does not list any requirements for a Group Living use; however, the applicants site development plan indicates forty-eight (48) covered bike parking stalls on the West side of the parcel.

Conditional Use Review

20. Title 20, Section 20.85.070(H)2 outlines criteria for the review of conditional uses, which include whether the proposed uses are: compliant with all applicable Title 20 zoning standards; compatible with the character of the surrounding area; in the interest of public convenience; will not have a significant adverse impact on the general welfare of the neighborhood or community; compatible operating characteristics in terms of hours of operation, noise, outdoor lighting and traffic generation; and will not have a significant adverse impact on traffic safety or comfort – both motorized and non-motorized.
21. The Group Living use will comply with all applicable Title 20 regulations if conditions of approval #1 and #2 are imposed. Compliance with zoning, engineering, fire and building code will be confirmed prior to building permit approval per condition of approval #1.

22. The Group Living use in this location will not compromise the public convenience or the general welfare of the neighborhood or community. Existing roads can accommodate the additional traffic generated by the use. The site is served by City Fire and City Police. Condition of approval #2 restricts the density to the amount allowed by zoning.
23. The Group Living use has compatible operating characteristics as other residential uses in the surrounding area.
24. Any outdoor lighting for this project will be required to meet the Missoula Outdoor Lighting Ordinance standards.
25. Any signage associated with this project will be required to meet all applicable standards as outlined in Title 20, Chapter 20.75.
26. The Group Living use is served by motorized and non-motorized infrastructure that can accommodate the increase in traffic generated by the use.
27. The subject property is adjacent to multiple bus routes and one block away from established bike lanes.

Conclusions of Law:

1. Whether the proposed use complies with all applicable standards of the Title 20 Zoning Ordinance;

1. The Group Living use is permitted as a conditional use in the C1-4 zoning district. Compliance with all applicable sections of the Title 20 Zoning Ordinance will be confirmed prior to building permit approval if City Council imposes condition of approval #1 and #2.

2. Whether the proposed use is in the interest of public convenience and will not have a significant adverse impact on the general welfare of the neighborhood or community;

1. The Group Living use in this location will not compromise either public convenience or the general welfare of the neighborhood or community. Condition of approval #2 restricts the density to the amount allowed by zoning.
2. Development allowed by the requested conditional use will be served by adequate existing public facilities and services, as the subject property has frontage on Scott Street, a collector street. The existing and future sidewalks adjacent to the subject property will meet current ADA standards.
3. The Group Living use is proposed in an area that is already served by City of Missoula police and fire protection.
4. The Group Living use will provide attainable, convenient housing close to public transit.

3. Whether the proposed use is compatible with the character of the surrounding area in terms of site planning, building scale and project design;

1. The proposed Group Living use is similar in design and scale to the Residential and Multi-Family uses to the North of the property.

4. Whether the proposed use has operating characteristics that are compatible with the surrounding area in terms of hours of operation, outdoor lighting, noise, and traffic generation; and

1. The Group Living use has compatible operating characteristics similar to other residential uses in the surrounding area.
2. The Group Living use will be required to conform to the regulations described in the Missoula Outdoor Lighting and Missoula Noise Ordinances.
3. The surrounding road infrastructure is adequate to handle the additional traffic that will be generated by the Group Living use.

5. Whether the proposed use will not have a significant adverse impact on traffic safety or comfort, including all modes of transport (non-motorized and motorized).

4. The Group Living will not have adverse impacts on traffic safety or comfort, regardless of the model of transportation.
5. The existing motorized and non-motorized transportation infrastructure through and around the subject property is adequately sized and designed to manage the anticipated increase in traffic for the use.
6. The subject property has existing sidewalk along the Scott Street frontage. The applicant will add sidewalks along the Pine Street frontage, improving safety for pedestrians.
7. The Group Living Use is proposed on a parcel that is served by four (4) bus routes, all available at the Main Transfer Center.
8. Bike routes are established one block from the subject parcel.

VI. AGENCY COMMENT

Missoula Valley Water Quality District: no comment provided

Health Department - Air Quality Division: The Air Program at the Missoula City-County Health Department has no comments on the proposed 365- 375 Scott Street Condition Use application. Benjamin Schmidt, Air Quality Specialist.

Missoula County – Emergency Management: Emergency Management has no comment and will defer to Police and Fire. Adriane Beck, Director, DES Coordinator

Missoula Urban Transportation District: no comment provided

City Parks & Recreation: no comment provided

Office Of Housing & Community Development: Thank you for the opportunity to provide agency comment on the conditional use request at 365-375 Scott Street. The Office of Housing and Community Development met early and often with Mr. Dirnberger and his development team in the formation of this project. As stated in the application, the proposed use meets an urgent need in the City of Missoula (and specifically in the urban core) for diverse housing types that Missoulians can afford. Furthermore, this site is close to transit and a variety of services, allowing tenants the option to forgo the costs of owning a vehicle.

We commend Mr. Dirnberger for bringing a relatively new and creative housing type to the market, a housing type that is naturally more affordable due to size and shared use. This development is in alignment with the recommendations found in our adopted housing policy, A Place to Call Home, and we recommend support of the conditional use request. - Eran Pehan, Director Office of Housing and Community Development

City Attorney: no comment provided

Missoula Redevelopment Agency: The following are MRA's comments to the Conditional Use Permit Application for 365-375 Scott Street:

The site is currently overgrown and vacant. The property, up until a year ago, was a light industrial/commercial property used for large equipment storage in a Quonset hut, and the remainder of the site is largely gravel and overgrown with native and non-native vegetation. The Quonset hut has since been removed from the site. This project will redevelop the entire site (over 17,000 square-feet) with the construction of the two housing complexes and a landscaped plaza area between the buildings, landscaping throughout the remainder of the site, installation of curb/gutter and boulevard sidewalk in the public right of way on Pine Street. The improvements together

eliminate the current visual blight of the site and improve the public right of way on Pine St, which currently lacks curb/gutter and sidewalk.

MRA has promoted higher density living close to the urban core for many years. The investment in this property, through owner equity and available financing, along with TIF assistance for public improvements, allow this project and others like it to be economically or financially feasible. This project is projected to provide the neighborhood with an excellent model of a group living community with the ability to de-emphasize vehicle travel through use of the existing public transportation, trail networks, and TIF funded public improvements associated with this project.

The project fits well with the goals of the URD II Plan and the MRA Sidewalk Program in that it reduces blight, promotes housing of an affordable nature, and completes right of way improvements in Pine Street with the installation of curb/gutter and boulevard sidewalk. – Tod Gass Project Manager, Missoula Redevelopment Agency

City Police: no comment provided

City Fire: Fire has no concerns or comments related to this conditional use request at 365-375 Scott St. Adam Sebastian, MFD-Asst. Fire Marshal

Montana Department of Transportation: I do not have any MDT related comments or concerns at this time. Glen Cameron

City Stormwater Division: no comment provided

City Wastewater Division: no comment provided

City Water Division no comment provided

VII. ATTACHMENTS:



PROJECT: Ponderosa Village

December 6, 2019

City of Missoula
Development Services
435 Ryman Sta
Missoula, MT 59802-4297

Re: Conditional Use Submittal

Thank you for taking the time to review our conditional use submittal. We're excited to present this project which we feel will make a great addition to the westside neighborhood.

Ponderosa Village is a group living project of 46 bedrooms aimed to serve the needs of the single person who works at one of the local service-oriented businesses, including the nearby hospital/medical complex, restaurants, and retail stores.

This project has been a long time in the making with many contributors. A primary focus for design of site and buildings has been place on Quality of life for each resident both individually and as a member of the private community. A communal kitchen in each house and communal living/lounging areas on each floor will make socializing easier and more frequent, ultimately aimed at encouraging friendships and developing a safe collective environment. The large central outdoor gathering space further fosters the community and gives residents convenient access to the outdoors.

The central location of the development will also enable residents to live without owning a car being close to shopping, restaurants and public transportation. The free city bus system is accessible next to the Village that takes riders throughout the urban/suburban area. Bike lanes and pedestrian walkways are adjacent to the property, and a covered bicycle spot is provided for each bedroom. The project exceeds the vehicle and bike parking standards in Title 20 for group living.

In summary, Ponderosa Village will provide much needed housing in a location convenient for accessing the amenities of the city, while at the same time providing a community feel that enhances social opportunities for the residents.

Thanks again for your time and consideration on this request, please let us know if you have any questions or concerns.

Sincerely,



A handwritten signature in green ink, which appears to read "Marie Wilson".

Marie Wilson,
In2itive Architecture
406.926.2326 o
406.579.9092 c
marie@in2itivearch.com



DEVELOPMENT SERVICES

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

CITY CONDITIONAL USE APPLICATION

A. GENERAL INFORMATION

1. One submittal packet is required for Completeness/Sufficiency Review.
2. Once the application is deemed complete by Development Services (DS), 2 submittal packets and the appropriate fee shall be submitted.
3. Name of Conditional Use Request: **Ponderosa Village Group Living Conditional Use**
4. Name(s) of Applicant: **Jules Landis**
Mailing Address: **2291 W Broadway Suite 4**
Telephone Number: **406-926-2326**
Email Address: **jules@in2itivearch.com**
5. Name(s) of all Owners of Record: **1029 W Pine Partnership (Jerry Dirnberger)**
Mailing Address(es): **601 South Ave W Missoula, MT 59801**
Telephone Number(s): **406-360-5133**
Email Address(es): **dirnberger@aol.com**
6. Name and Company of Representative: **same as applicant**
Mailing Address:
Telephone Number:
Email Address:
7. If the applicant is someone other than the property owner, the owner must also sign the application in the space provided below.

Certification: I hereby certify that the foregoing information contained or accompanied in this application is true and correct to the best of my knowledge.

J A Dirnberger, President 3/12/20
Applicant's Signature Date

J A Dirnberger, President 3/14/20
Owner's Signature Date

Representative's Signature Date

B. SUBJECT PROPERTY INFORMATION

General location of subject property and address (if address has been assigned): 1029 W Pine
Legal Description - complete and unabbreviated: W.J. McCormick's Addition, Block 46, Lot A and Portion of Vacated Pine Street right-of-way (17,477 square feet) in Section 21, Township 13 North, Range 19 West

Township, Range, Section(s): **Section 21, Township 13 North, Range 19 West**

Subdivision, Lot(s), Block(s): **WJ McCormicks Addition Block 46, Lot A**

Tract(s), COS#:

Bearings & Distances Descriptions (if boundaries of proposed Conditional Use are not exactly the same as the boundaries of the property legally described above): **See attached Civil Plan**

Geocode: **Parcel ID: 04220021125040000**

C. ZONING AND GROWTH POLICY INFORMATION

1. Complete the following table (where applicable, indicate Unzoned):

	Zoning	Current Land Use
Adjacent (North)	C1-4, Neighborhood Commercial / DE-D, Design Excellence Overlay - Downtown Gateway	Single and Two-unit Residential
Adjacent (South)	C1-4, Neighborhood Commercial / DE-D, Design Excellence Overlay - Downtown Gateway	Hotel and Restaurant
Adjacent (East)	Broadway Scott Gateway, Sub District A and B	Vacant, Parking Lot, and Grocery Store
Adjacent (West)	C1-4 Neighborhood Commercial / DE-D Design Excellence Overlay - Downtown Gateway	Warehouse

2. What is the current zoning of the property? **C1-4 Neighborhood Commercial - DE-D Design Excellence Overlay: Gateway**

3. What is the applicable comprehensive plan and land use designation for the property? **The 2035 Missoula City Growth Policy is the applicable regional plan and recommends a Land Use designation of Urban Center. Urban Center land use designation supports a concentration of high intensity commercial, retail, arts and entertainment, and high density residential. The applicable vicinity plan is the Joint Northside/Westside Neighborhood Plan 2000 and the 2006 Update which recommends a land use designation of City Center.**

4. What is the conditional use requested? **Group Living**

D. RESPONSES TO TITLE 20 ZONING ORDINANCE CONDITIONAL USE REVIEW CRITERIA

1. **Review Criteria.** Describe how the proposal meets the following review criteria. (Not all review criteria will apply in every case. Only the applicable review criteria need to be met.)

a. Whether the conditional use complies with all applicable standards of the zoning ordinance.

The project will meet all setbacks, height, parking and other standards per Title 20.

May 15, 2013

- b. Whether the conditional use is in the interest of the public convenience and will not have a significant adverse impact on the general welfare of the neighborhood or community.

The proposed use will meet a vital community need for attainable, convenient housing close to the transit center, comprising two Group Living structures with 46 bedrooms and shared kitchen and gathering spaces. The site is located in an area with infrastructure in place to support the use, including bus stops, grocery stores, and bicycle lanes.

- c. Whether the conditional use is compatible with the character of the surrounding area in terms of site planning, building scale, and project design.

The proposed group living use is compatible with the Residential and Multi-Family uses across the street. Design-wise the project is similar in scale to the Verde Condominiums one block down at 1010 Pine St, and the concept is intended to give the look and feel of individual single family residences.

- d. Whether the conditional use has operating characteristics that are compatible with the surrounding area in terms of hours of operation, outdoor lighting, noise, and traffic generation.

Group Living has the same hours of operation as adjacent residential. Outdoor lighting and noise will comply with the City of Missoula lighting and noise ordinances.

- e. Whether the conditional use will not have a significant adverse impact on traffic safety or comfort, including all modes of transport (non-motorized and motorized).

Routes 11 and 14 travel on West Broadway Street with the nearest stop adjacent to the intersection of West Broadway Street and Scott Street. Routes 2 and 3 travel on Spruce Street and Scott Street with the nearest stop adjacent to the traffic circle where Spruce Street, Scott Street and Toole Avenue intersect. The routes are all available at the Main Transfer Center. There are bike lanes one (1) block north and south of the site along Toole Street and West Broadway Street. The project is providing 46 spaces of covered bicycle parking. Scott Street (which abuts the property on the east side) is functionally classified as Urban Collector Road, and West Pine Street (which abuts the property to the north) is functionally classified as a local street.

2. Factors to be Considered.

Section 20.85.070(l) includes factors that City Council may consider in determining whether all applicable review criteria have been satisfied. These are listed below for reference.

- a. That new buildings and structures are located to create a positive relationship with their environment, both urban and natural.
- b. That the site design properly addresses building orientation, open space, light, sun exposure, views, and protection of natural features.
- c. That buildings, structures, and uses are compatible with adjacent properties and uses in terms of physical design elements, such as volume and mass management, building materials, color, open space design, screening, and other design elements.
- d. That the overall project will be functional, attractive, and safe in terms of pedestrian, bicycle, and vehicular access, parking, loading, and servicing.

E. ATTACHMENTS

As separate attachments (8.5" x 11" or 11" x 17"), provide the following materials with the site clearly identified. Where appropriate, required information may be combined as long as the information is clearly presented. Please check the box if the material is included in the packet. If the material is not included in the submittal packet, please note "N/A".

☐ **A cover letter** describing the purpose of the proposed project, existing site conditions,

and a brief description of the proposal.

- ☐ **A vicinity map** showing the subject property and the area within 300 feet of the subject property.
- ☐ **A Zoning map** of the subject property and vicinity (showing the existing zoning district), extending at least 300 feet from the property boundaries.
- ☐ **An aerial photo** of the subject property and vicinity extending at least 300 feet from the property boundaries.
- ☐ **A Growth Policy/Comprehensive Plan map** of the subject property and vicinity extending at least 300 feet from the property boundaries for the applicable comprehensive plan, clearly showing the land use designation of the subject property and surrounding properties.
- ☐ **The current plat** of the subject property.
- ☐ **A site plan**, including existing and proposed landscaping, parking, streets/access, sidewalks, bike lanes, and any other improvements to the property.
- ☐ **Building elevation drawings** of all proposed structures and/or photos of existing structures.
- ☐ **Floor plans** of all existing and proposed buildings.

Kaitlin McCafferty

From: Daniel Judy <danielirwinjudy@gmail.com>
Sent: Wednesday, September 2, 2020 6:30 PM
To: Kaitlin McCafferty
Subject: 365-375 Scott Street Group Living Public Comment

Hi Kaitlin,

This email is regarding the proposed conditional use request at 365-375 Scott Street. I own and live across the street at 1006 W Pine, and I have some major concerns about the project as proposed, namely a huge parking shortage and impact on the neighborhood.

Let me first say that I fully support more affordable housing in Missoula, and in the Westside neighborhood. I like the idea of more communal living options to keep Missoula accessible to college students and folks in their 20s, and I have no problem with these housing options being built in my neighborhood.

However, this project seems blatantly intended to squeeze as absolutely much profit out of a small lot as possible, with little regard for the surrounding neighborhood. 10 parking spots for 46 units (and presumably overnight guests also) is completely laughable. We already have a major parking problem on the streets encircling this block, with the curbs lined full of trash and broken down vehicles from the nearby Poverallo Center. Again, I fully support the mission of the Pov, and am glad it exists - I knowingly bought a property one block away - but my point is that we already have our hands full. 30 or 40 extra vehicles on this small block is going to be a nightmare, especially for myself and my neighbors who already have limited parking on our own properties. My home is a triplex, and I've gone to some effort to ensure I provide a spot on my property for myself and every tenant who lives here, but I foresee having to endure constant parking complaints and enforce towing if this project goes through.

A bike parking spot for every unit is a nice amenity, but this is Missoula. It drops to well below zero in the winter. The reality is that the vast majority of people that live here own a car, even low income and college kids. This is a conditional use zoning and it is not the developer's right to squeeze as many units in without accommodating for the impact it will have.

I suggest scaling down the number of units in favor of more parking, or even looking in to buying parking rights from across the street at Fresh Market - but the proposal as stands is going to have a daily negative impact on many people, including myself.

A housing complex of this scale and income type (predominantly young people) could also pose noise/party issues. Again, we already have our hands full on this block - the police respond to calls nightly in proximity of the Pov, and I fear that noise complaints in this area will get ignored and superseded by the more important mental health related calls the officers regularly respond to. Again, my suggestion is just a scaled down version. I like the affordable housing aspect, but it's just way too many units.

The project was compared to Verde Condominiums in its description, but this is inaccurate. Verde has substantially more open space, as well as a larger parking lot, and many more spots in the back alley.

Please consider the effect of this proposal on the surrounding neighbors when deciding to approve or not! I'm sure a compromise can be reached.

Thank you,
Daniel Judy



1 NORTH PERSPECTIVE -
AIR/EARTH
A3.00



2 NORTHEAST PERSPECTIVE -
FIRE/AIR/EARTH
A3.00



3 EAST PERSPECTIVE -
FIRE/WATER
A3.00



4 EAST PERSPECTIVE -
FIRE/WATER/AIR
A3.00



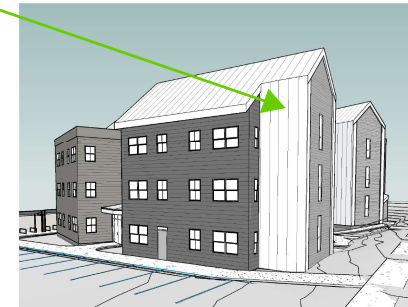
WOOD-LOOK fiber cement siding
-OR-



WOOD-LOOK metal siding



METAL STANDING SEAM roof to wall material
[precedent image]



5 SOUTHEAST PERSPECTIVE -
FIRE/AIR
A3.00



6 SOUTH PERSPECTIVE -
WATER/FIRE
A3.00



7 WEST PERSPECTIVE -
EARTH/WATER
A3.00



8 NORTHWEST PERSPECTIVE -
EARTH/WATER
A3.00

REV	DATE	DESCRIPTION	BY	CHK
1		FINAL		
2		REV		
3		DD		
4				



1 SITE PERSPECTIVE
A3.01

SCHEMATIC DESIGN



PONDEROSA VILLAGE
PINE AND SCOTT ST. MISSOULA, MT
PROJECT #: 18.020

REV	DATE	DESCRIPTION	BY	CHKD	DATE
1					
2					
3					
4					

EXTERIOR PERSPECTIVES

A3.01
12/9/19

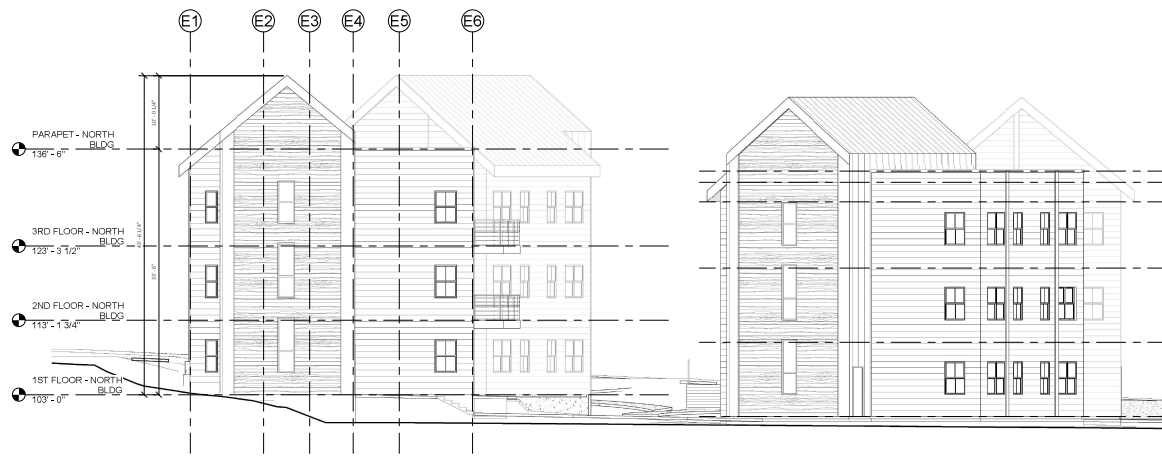
WOOD-LOOK METAL OR FIBER CEMENT SIDING

STANDING SEAM METAL SIDING/ROOFING

METAL OR FIBER CEMENT SIDING



1 EAST ELEVATION
A3.10
1/8" = 1'-0"



2 WEST ELEVATION
A3.10
1/8" = 1'-0"

REV	DATE	DESCRIPTION	BY	CHKD
1		FILE		
2		SD		
3		DD		
4		CD		

EXTERIOR MATERIAL LEGEND

WOOD-LOOK METAL OR FIBER CEMENT SIDING

STANDING SEAM METAL SIDING/ROOFING

METAL OR FIBER CEMENT SIDING



REV	DATE	DESCRIPTION	BY	CHKD
1		PRELIMINARY		
2		REVISED		
3		REVISED		
4		REVISED		



1 SITE PLAN - TRUE NORTH
A1.10 1" = 10'-0"



ZONING COMPLIANCE NOTES - TITLE 20		
OVERALL SITE AREA:	17,476.93 SF	.40 ACRES
TITLE 20 ZONING:	C-1-4	
ADJACENT PROPERTY ZONING:	C-1-4 TO NORTH, WEST AND SOUTH, SO TO EAST (MARKET)	
20.10.020 ALLOWED USES:	GROUP LIVING - CONDITIONAL USE, CU PROCEDURE MUST BE APPLIED AND APPROVED. BUILDING TYPE - DETACHED HOUSE - A PRINCIPAL BUILDING THAT CONTAINS ONLY ONE PRINCIPAL DWELLING UNIT AND THAT IS LOCATED ON A SINGLE PARCEL WITH PRIVATE YARDS ON ALL SIDES OF THE BUILDING.	
20.10.030 PARCEL AND BUILDING STANDARDS		
STANDARD	LIMIT	ACTUAL
MIN PARCEL AREA	3,000 SF	17,477 SF
FRONT SETBACK (PNE)	NONE	-
SIDE INTERIOR (ALLEY AND W)	NONE	-
SIDE STREET (SCOTT)	NONE	-
REAR SETBACK	NONE	-
ALLOWED HEIGHT:	125'-0"	-
20.25 OVERLAY DISTRICT -	DESIGN EXCELLENCE OVERLAY: GATEWAY	GROUP LIVING USE NOT REQUIRED TO COMPLY
20.30 HISTORIC DISTRICT - NO		
20.40.070 GROUP LIVING:	DENSITY: 2.7 RESIDENTS PER 1,000 SF OF PARCEL AREA = 47 RESIDENTS ALLOWED. 46 PROPOSED.	
20.60.010 HILLSIDE PROTECTION -	+/-5.0%, NOT REQUIRED.	
20.60.010 AUTOMOBILE PARKING CAN BE REDUCED 1 SPACE FOR EVERY 8 LONG TERM (BICYCLE PARKING IN EXCESS OF MINIMUM REQUIRED)		
20.60.020 OFF STREET PARKING REQUIREMENTS	GROUP LIVING: 2 SPACES PER BLDG = 4 TOTAL, 11 SHOWN	
20.60.090 BICYCLE PARKING - NONE REQUIRED. NO GROUP LIVING / COMM RES DEFINITION. PROPOSED:	SEE - (46) 2X6' LONG TERM COVERED STALLS	
20.65.020 GENERAL SITE LANDSCAPING -	15% SITE TO BE LANDSCAPED (2622 SF), OR MAXIMUM NOT ENCUMBERED BY PAVING. MAXIMUM NOT ENCUMBERED BY PAVING TO BE LANDSCAPED	
20.65.020C ACTIVITY AREA NOT REQUIRED (WITHIN MASTER PLAN STUDY AREA, NOT MULTIFAMILY).		
20.65.030 STREET LANDSCAPING: 10' WITHIN BUILDING AND STREET TO BE LANDSCAPED LESS THAN 5' SETBACK. LANDSCAPING NOT REQUIRED.		
20.65.040 PARKING LOT LANDSCAPING: MIN 10%		
20.65.050 PERIMETER PARKING LOT LANDSCAPING - (NOT REQD IF FEWER THAN 10 STALLS, NOT REQD IF >50% PARKING NOT ON PRIMARY BUILDING FACADE).		
20.65.060 BUFFER - NOT REQUIRED, NOT BORDERING RESIDENTIAL		
20.65.070 SCREENING LANDSCAPING - NOT REQUIRED		

SITE PLAN KEYED NOTES		
○	ROOF OVERHANG, ABOVE	
○	BALCONY, ABOVE	
○	GUARD RAILING	
○	SITE RAMP, SEE CIVIL	
○	SITE STAIRS, SEE CIVIL	
○	COVERED BIKE PARKING	
○	STORAGE SHED	
○	DUMPSTER ENCLOSURE	
○	CONCRETE PAVING	

SCHEMATIC DESIGN

2291 W Broadway, Suite 4
Missoula, MT 59808
CONTACT: Marie Wilson
DIRECT: 406-735-5992

PODEROSA VILLAGE

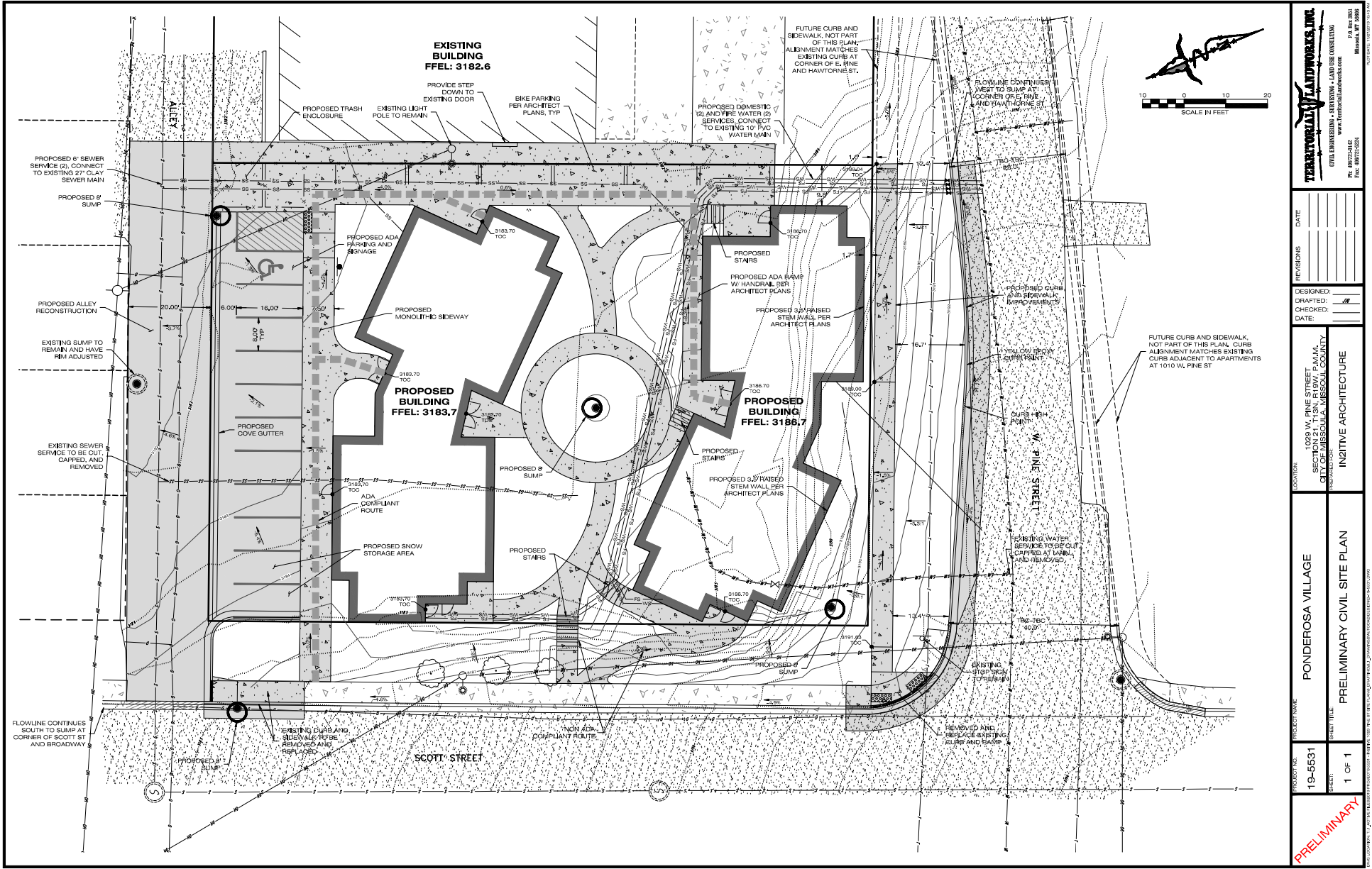
PINE AND SCOTT ST. MISSOULA, MT

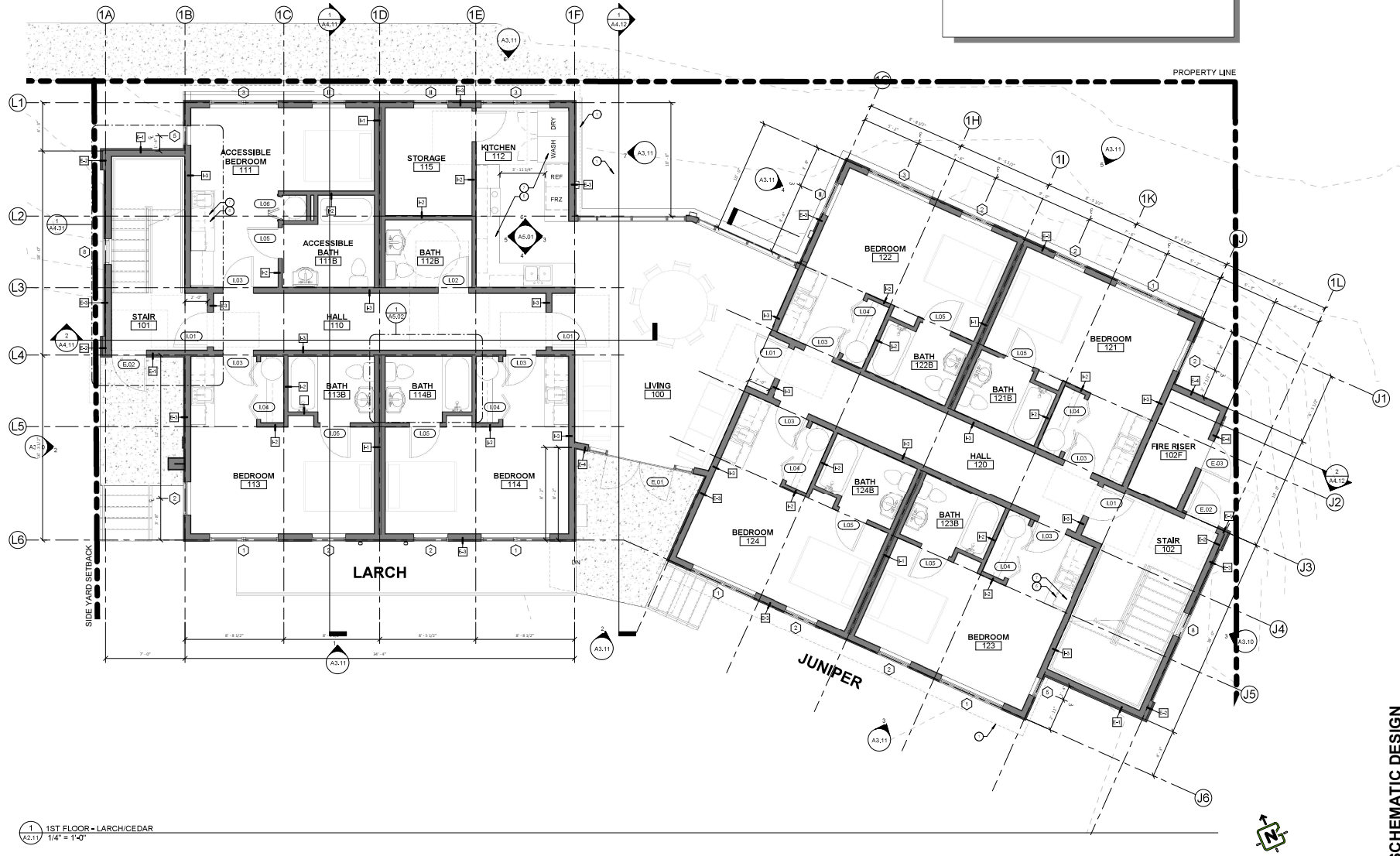
PROJECT #: 18.020

SCHEMATIC SITE PLAN

A1.10

12/9/19





PLAN KEYED NOTES

- ROOF
- R. ABOVE
- R. BELOW
- BALCONY
- R. ABOVE
- GUARD RAILING
- SITE RAMP, SEE CIVIL
- SITE STAIRS, SEE CIVIL
- CASEWORK, SEE INTERIOR ELEVATIONS
- SINK, M/F, FRIDGE, AND MICROWAVE OVEN

1 1ST FLOOR - LARCH/CEDAR
A2.11 1/4" = 1'-0"

2391 W Broadway, Suite 4
Missoula, MT 59808
CONTACT: Marie Wilson
DIRECT: 406-375-5992

PONDEROSA VILLAGE

PINE AND SCOTT ST. MISSOULA, MT

PROJECT #: 18.020

REVISIONS

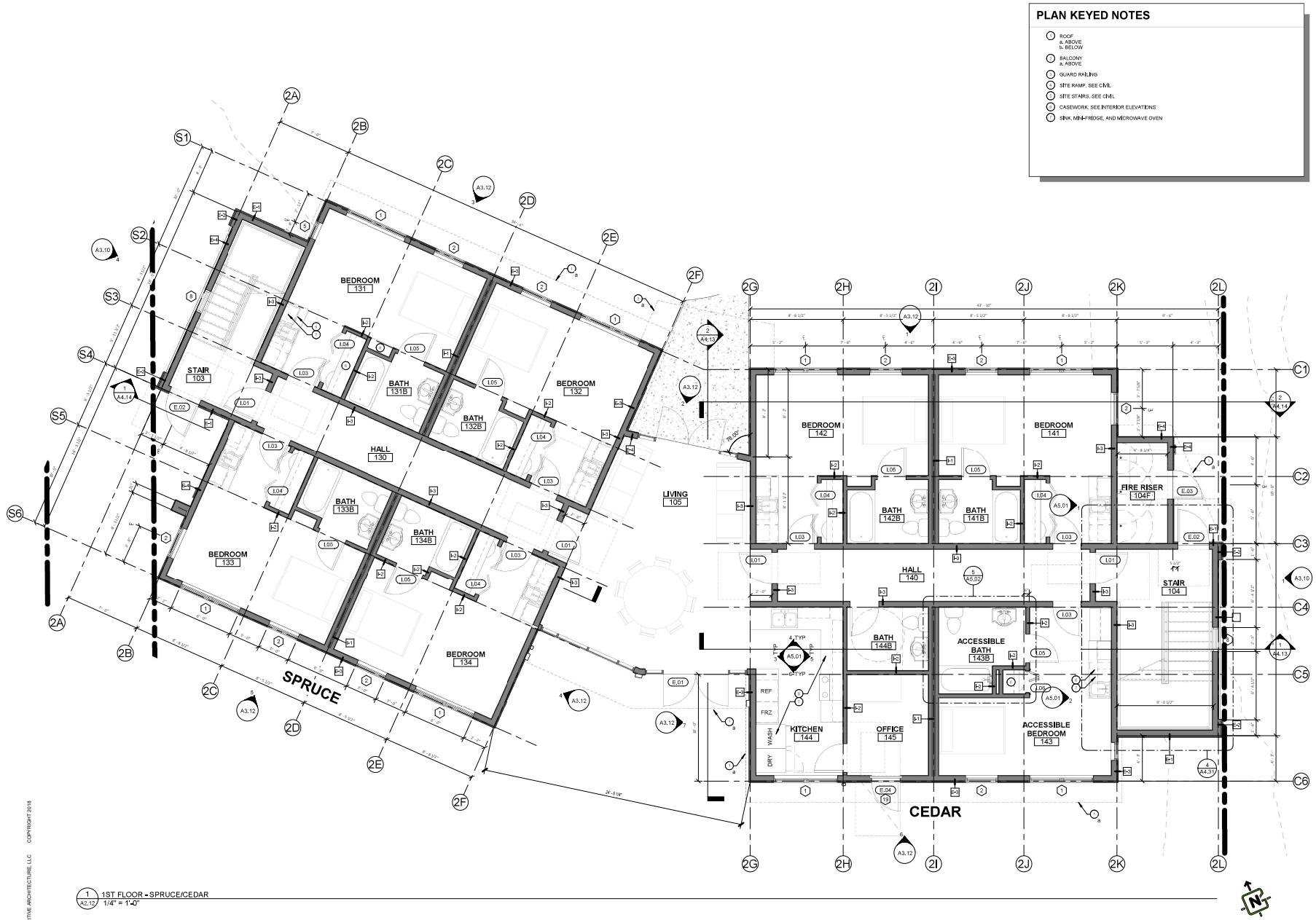
NO.	DATE	BY	CHKD	PHASE	DESCRIPTION
1				PRELIM	
2				SD	
3				DD	
4				CD	

SCHEMATIC DESIGN

FIRST FLOOR PLAN - LARCH/JUNIPER

A2.11

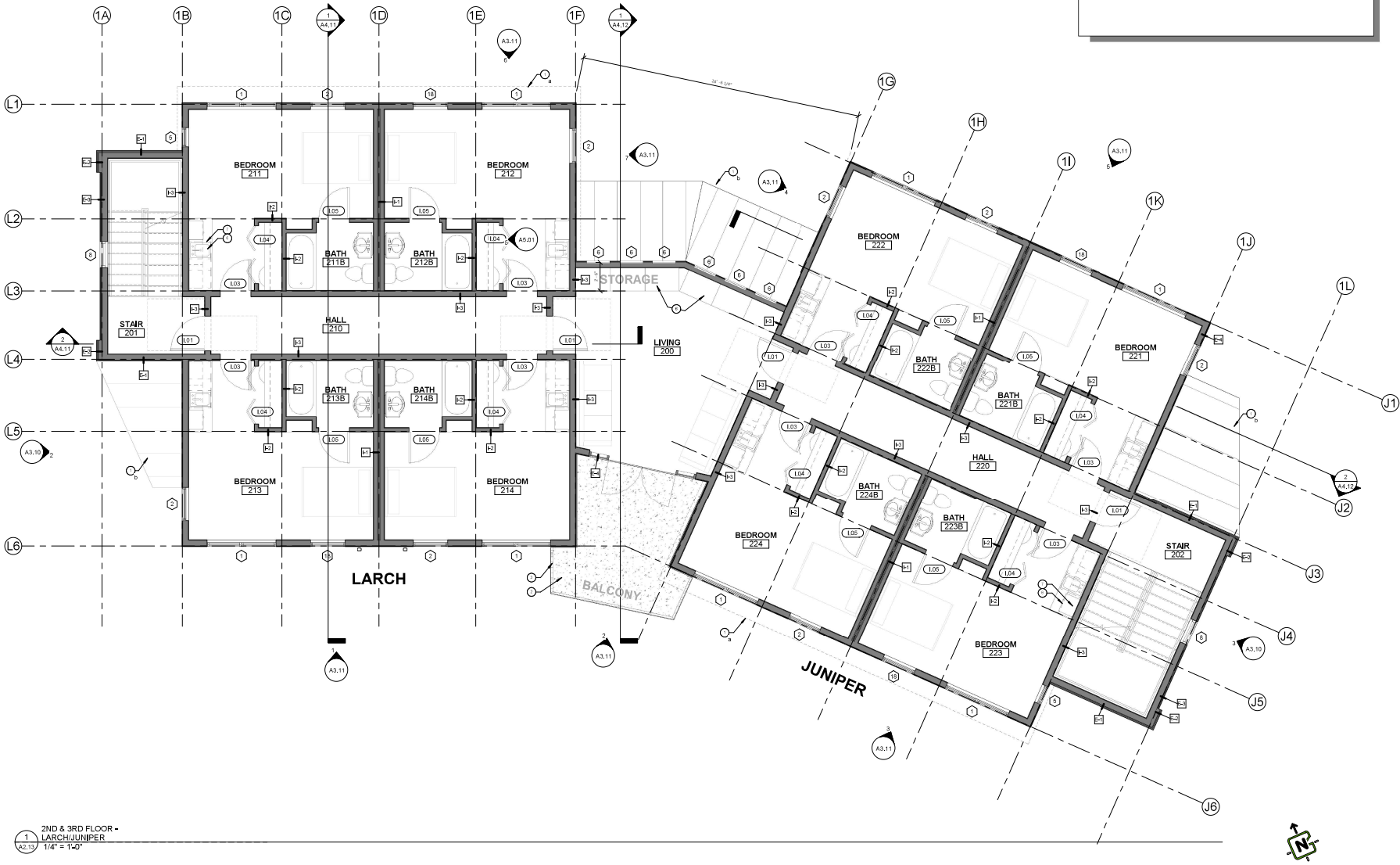
12/9/19



DATE	PHASE	BY	CHKD	APP'D
11/14/18	PRELIM	MD	MD	MD
11/14/18	SCHEMATIC	MD	MD	MD
11/14/18	DESIGN	MD	MD	MD
11/14/18	CONSTRUCTION	MD	MD	MD

SCHEMATIC DESIGN





PLAN KEYED NOTES

- ROOF
1. ABOVE
2. BELOW
- BALCONY
1. ABOVE
- GUARD RAILING
- SITE RAMP, SEE CIVIL
- SITE STAIRS, SEE CIVIL
- CASEWORK, SEE INTERIOR ELEVATIONS
- SINK, MHI-PRIDGE, AND MICROWAVE OVEN

2291 W Broadway, Suite 4
Missoula, MT 59808
CONTACT: Marie Wilson
DIRECT: 406-575-5992

PONDEROSA VILLAGE

PINE AND SCOTT ST. MISSOULA, MT

PROJECT # 18.020

DATE	PHASE	BY	CHKD	APP'D
11/14/18	PRELIM	1	2	3
	SCHEMATIC	1	2	3
	DESIGN	1	2	3
	CONSTRUCTION	1	2	3

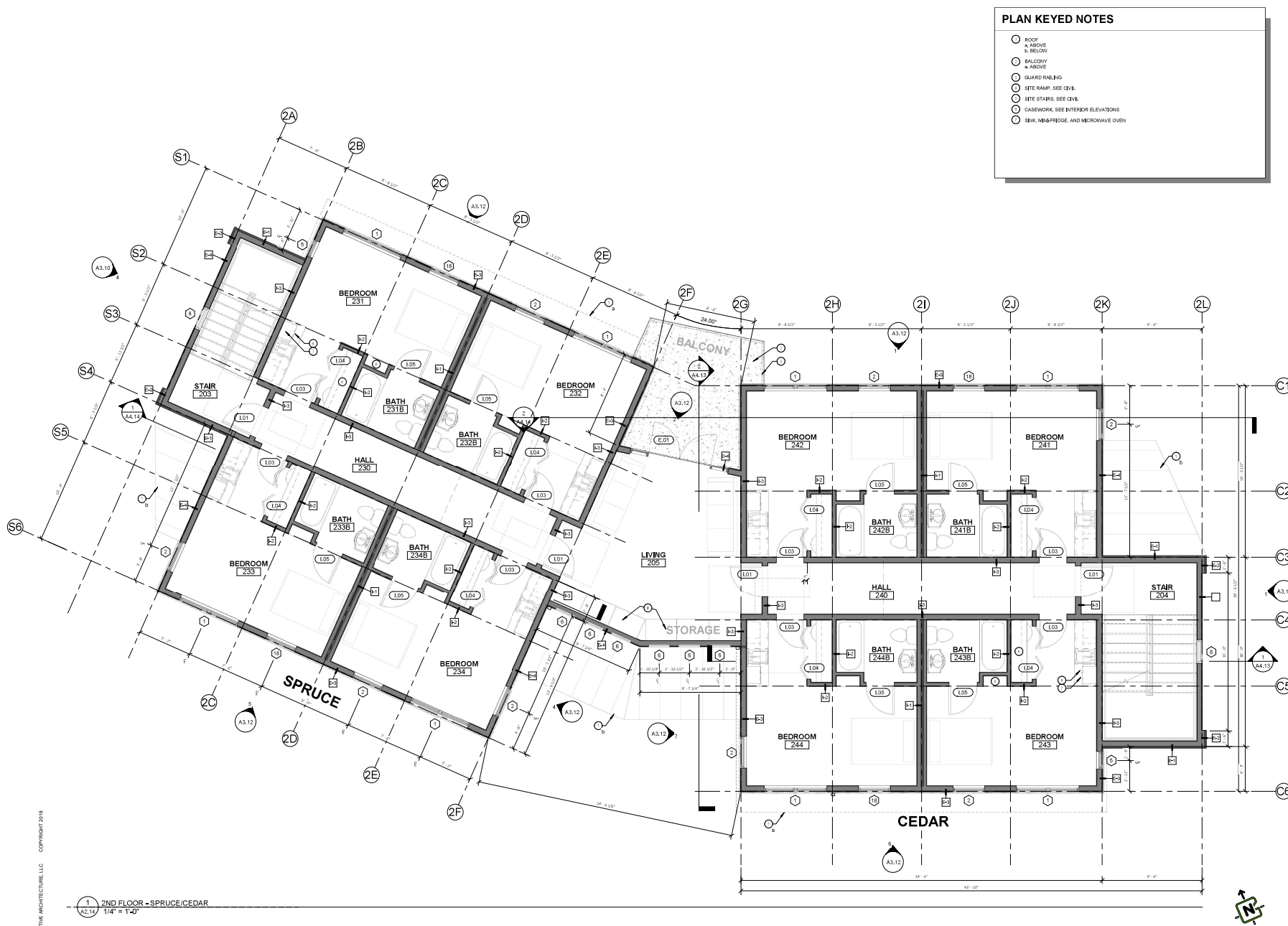
SCHEMATIC DESIGN

SECOND & THIRD FLOOR PLAN

- LARCH/JUNIPER

A2.13

12/9/19





DEVELOPMENT SERVICES

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

MEMO No. 1

TO: City Council

DATE: September 18, 2020

FROM: Kaitlin McCafferty, Development Services

RE: **365-375 Scott Street Group Living Conditional Use**

The Land Use and Planning (LUP) committee of City Council discussed the Group Living Conditional Use on September 16, 2020. City Council members discussed concerns expressed by the City Attorney regarding proposed conditional of approval #2. Staff conferred with the City Attorney and offers the following revisions to Condition of Approval #2 with the attached Draft Affidavit.

Title 20, Section 20.40.070.B restricts density for Group Living uses to 2.7 residents per 1,000 square feet of parcel area in order to help address public facility and service demands and prevent overcrowding. The parcel area of the subject property is 17,477 square feet and the maximum density allowed is 47 residents. In order to guarantee compliance with the allowed density, staff proposes the following revisions to condition #2 for City Council's consideration:

2. ~~In order to comply with Title 20 Section 20.40.070.B the applicant shall restrict density to one (1) resident per bedroom suite and shall provide a copy of the lease agreement with the density restriction, subject to review and approval of Development Services, prior to building permit approval.~~ The applicant shall provide an executed affidavit restricting density in compliance with Title 20, Section 20.40.070.B, filed with the County Clerk and Recorder, subject to review and approval of City Attorney and Development Services, prior to building permit approval.

The City Attorney created the attached Draft of the affidavit which requires the density restriction to run with the land and apply to successors and assigns. The applicant in signing the affidavit is acknowledging the restriction and is the person responsible for enforcing the restriction.

ATTACHMENT: Draft Affidavit dated 9/18/2020

DRAFT-9/18/2020

REAL PROPERTY OWNER BINDING COVENANT AND SUPPORTING AFFIDAVIT AGREEING TO CITY OF MISSOULA GRANTED CONDITIONAL ZONING USE COMPLIANCE REQUIREMENTS

The undersigned affiant real property owner(s)

_____ as successful applicant for a conditional City of Missoula conditional use group living land use zoning privilege for real property located at 365-375 Scott Street in the City of Missoula, Montana, legally described as follows:

Legal is Lot A in Block 46 of WJ McCormick's Addition and portion of vacated W Pine Street Right-of-way in Section 21, Township 13 North, Range 19 West, P.M.M.

agrees to provide this zoning compliance covenant to the City of Missoula with supporting property owner affidavit that requires the undersigned property owner and successors in interest, heirs and assigns to comply with applicable zoning conditions and regulations or lose the City of Missoula conditional zoning land use authorization that is granted by the Missoula City Council.

The undersigned additionally agrees that this restrictive covenant supporting affidavit shall be filed at the Missoula County Clerk and Recorder's office and covenants and hereby states that it is intended to run with the land as well as be binding on any and all successors in interest, heirs and assigns.

The undersigned owner(s) hereby recognize, understand, agree and covenant that the applicable City of Missoula zoning regulation group living density regulation calculation applicable to 365-375 Scott Street is restricted pursuant to Title 20, Section 20.40.070.B Missoula Municipal Code (MMC) to 2.7 residents per 1,000 square feet of parcel area in order to prevent overcrowding of the land as well as to help address public infrastructure and public facility service demands where the residential group living conditional use is to be located. Further, it is recognized, understood, agreed and covenanted that the parcel area of 365-375 Scott Street is calculated to be 17,477 square feet which pursuant to provision 20.40.070.B of Missoula Municipal Code (MMC) applicable zoning regulations would allow up to a maximum resident density of 47 residents at 365-375 Scott Street.

In addition, the undersigned recognizes, understands, agrees and covenants that the property owners shall solely be responsible to ensure that the real property owner of 365-375 Scott Street shall provide any and all housing at 365-375 Scott Street in compliance with federal, state and city municipal code laws regulating discriminate in housing on the basis of sex, marital status, race, creed, religion, color, age, familial status, physical or mental disability, national origin, sexual orientation, gender identity, or gender expression.

I/we the undersigned being first duly sworn on oath, state that I/we possess sole ownership interest for myself/ourselves and no other person, association, corporation, partnership or shareholder with respect to ownership of the land identified herein as well as hereby covenant with the City of Missoula that it is my/our intent that this affidavit be a binding covenant running with the land and binding on any and all successors in interest, heirs, assigns and if violated or not complied with by the real property owner(s) of 365-375 Scott Street shall result in the loss of the conditional use zoning land use privileged that has been granted to the undersigned. This affidavit shall be filed with the Missoula County Clerk and Recorder.


Property owner _____

Property owner _____

Subscribed and sworn to before me this _____ day of _____ 20__

_____ Notary Public

CONDITIONAL USE STAFF REPORT & REFERRAL

Agenda item:	Referral – Staff Report for 2275 N Reserve Street Tavern and Casino Conditional Use	
Report Date(s):	9/10/2020	
Case Planner:	Cassie Tripard, Associate Planner	
Report Reviewed & Approved By:	Mary McCrea, Permits and Land Use Manager	
Public Meetings & Hearings:	Land Use & Planning (LUP) pre-hearing: 9/16/2020 City Council hearing: 9/21/2020	
Applicant & Owner:	Jeff Maphis 319 W Pine St. Suite A Missoula, MT 59802 Bob Powell & Nick Alonzo – Club Properties LLC 3101 S Russell St. Missoula, MT 59801	
Representative:	Jeff Maphis JCM Architecture 319 W Pine St. Suite A Missoula, MT 59802	
Location of request:	The subject property is located at 2275 N Reserve Street. Neighborhood Council: Capt. John Mullan Ward: Ward 2	
Legal description:	Tract 2 of Certificate of Survey Number 4590, located in the Southeast ¼, Northeast ¼ of Section 18, Township 13 North, Range 19 West, P.M.M.	
Legal ad:	The legal ad was published in the <i>Missoulian</i> on 9/6/2020 and 9/13/2020. The site was posted on 9/4/2020. Adjacent property owners within 150 feet of the site were notified by certified mail on 8/19/2020.	
Growth Policy:	The applicable regional plan is the Our Missoula: City Growth Policy 2035 which recommends a land use designation of Regional Commercial and Services	
Zoning:	C2-4 Community Commercial / DE-C Design Excellence Corridor Typology 4	
	Surrounding Land Uses	Surrounding Zoning
North:	C2-4 Community Commercial / DE-C Design Excellence Corridor Typology 4	Retail
South:	C2-4 Community Commercial / DE-C Design Excellence Corridor Typology 4	Fuel sales, retail, casino
East:	M1R-2 Limited Industrial – Residential / DE-C Design Excellence Corridor Typology 4	Fuel sales, retail, restaurant
West:	C2-4 Community Commercial / DE-C Design Excellence Corridor Typology 4	Fuel sales, retail, casino

I. RECOMMENDED MOTION

Approval of the tavern and casino conditional use request located at 2275 North Reserve Street, in accordance with Missoula City Zoning Ordinance, Title 20, Sections 20.10.020.D, 20.40.040, 20.85.070, and 20.105.040.I.2 and X.1, based on the findings of fact in the staff report and subject to the condition of approval.

II. CONDITION(S) OF APPROVAL

1. The tavern and casino conditional uses at 2275 North Reserve Street shall comply with all applicable portions of Title 20 and Design Excellence Review approval. Plans submitted at the time of building permit application shall substantially conform with the plans submitted at the time of conditional use review, subject to the review and approval of Development Services prior to building permit approval.

III. INTRODUCTION

The City of Missoula Development Services has received a conditional use request from Jeff Maphis of JCM Architecture on behalf of Club Properties LLC for a tavern and casino conditional use at 2275 North Reserve Street. The existing building which was previously used as a restaurant will be remodeled to accommodate tavern, casino, and restaurant uses. The building façade will be updated in compliance with Design Excellence as well.

The subject property is zoned C2-4 Community Commercial / DE-C Design Excellence Corridor Typology 4. According to Title 20, Section 20.10.020, both tavern and casino uses require conditional use approval to operate in the C2-4 Community Commercial zoning district. Title 20 defines a tavern as “an establishment that is primarily engaged in serving alcoholic liquor for consumption on the premises and in which the serving of prepared food and meals constitutes less than 65% of the establishment's gross income...”. Title 20 defines a casino as “any establishment that offers legalized gambling authorized under MCA Title 23, Chapter 5, Part 1 et seq.,...”. The proposed restaurant use is permitted as-of-right in the C2-4 Community Commercial zoning district.

IV. APPLICABLE ZONING REGULATIONS IN TITLE 20

Title 20 Zoning Ordinance, Section 20.85.070(H) outlines the review criteria for review of conditional use applications. According to the Zoning Ordinance, “not all review criteria will apply in every case... [and] only the applicable review criteria need to be met.” Uses that require conditional use approval may be approved by the City Council only when Council determines that the proposed uses meet all the applicable review criteria. Section 20.85.070(I) outlines “Factors to be Considered” that City Council may specifically consider in determining whether all applicable review criteria have been satisfied.

V. Conditional Use Review Criteria

Findings of fact:

General

1. The property is located at 2275 North Reserve Street.
2. The subject property is legally described as Tract 2 of Certificate of Survey 4590, located in the Southeast ¼ Northeast ¼ of Section 18, Township 13 North, Range 19 West, P.M.M.
3. The subject property has frontage on North Reserve Street which is functionally classified as a major arterial street.
4. The subject property is within the Missoula Urban Transportation District, the Urban Growth Area, the Wastewater Facilities Service Area, and Air Stagnation Zone. The building is connected to City Water and Sewer.
5. The subject property is within an established service area for Missoula hospitals and the City Fire and Police Departments.
6. The building is existing. The applicant is proposing to remodel the building to update the façade and to accommodate the new tavern and casino uses.
7. The proposed casino will be located in a separate room within the existing building and will have a separate entrance from the restaurant and bar.
8. There is a proposed pedestrian path from the main entry to the public sidewalk on North Reserve Street. Aside from the new pedestrian path and voluntary landscaping improvements, no other site work is proposed.

Growth Policy and Zoning:

9. The applicable regional plan is the Our Missoula 2035 City Growth Policy. The subject property has a land use designation of Regional Commercial and Services.
10. Areas designated as Regional Commercial and Services are for commercial uses that serve the needs of the broader region and often require larger land areas. High density residential development (up to 43

dwelling units per acre) is also permitted in most zoning districts corresponding to this land use designation. The corresponding zoning districts for lands designated as Regional and Commercial Services are: C2 Community Commercial, M1R-2 Limited Industrial-Residential, OP3 Public Lands and Institutions, and C1 Neighborhood Commercial.

11. The subject property is zoned C2-4 Community Commercial / DE-C Design Excellence Corridor Typology 4.
12. Pursuant to Table 20.10-1 "Uses Allowed in Business and Commercial Districts" of the Title 20 Zoning Code, tavern and casino uses require conditional use approval to operate in the C2-4 Community Commercial zoning district.
13. Parcels to the north, south, and west of the subject property are zoned C2-4 Community Commercial / DE-C Design Excellence Corridor Typology 4. The parcel to the east of the subject property is zoned M1R-2 Limited Industrial – Residential / DE-C Design Excellence Corridor Typology 4.
14. Surrounding uses include retail, fuel sales, restaurant, and casino. There are no abutting residential uses.
15. There is no minimum parcel area or building setback requirements for commercial use buildings in the C2-4 zoning district unless the property abuts a residential zoning district, which is not the case for this parcel.
16. The new tavern and casino uses will be required to meet all Missoula Municipal Code requirements at the time of building permit approval, per condition of approval #1.

Design Excellence Review

17. The project was reviewed and approved under Missoula's Design Excellence Review. Design Excellence Review includes site and building design standards that are intended to shape development to be consistent with community character. The project meets all applicable standards required by Design Excellence.

Parking and Access

18. Per Title 20.60.020, Table 20.60-1, the parking requirement for both the tavern and casino uses is one (1) space per four (4) seats plus one (1) space per two (2) employees plus one (1) space per billiard table plus one (1) space per two (2) gambling machines. The required parking for a restaurant use is one (1) space per four (4) seats plus one (1) space per two (2) employees.
19. A total of fifty-five (55) parking spaces are required for all three uses. The existing parking lot contains fifty-eight (58) parking spaces. The parking requirement for the project is met.
20. There will not be an increase in parking requirements from the previous restaurant use.
21. According to Title 12, Section 12.22.060.B, a parking lot containing fifty-one (51) to seventy-five (75) parking spaces must have three (3) ADA accessible spaces, one (1) of which must be ADA van-accessible. Three (3) ADA space will be provided to meet this requirement, per the provided site plan. The provision of these spaces in compliance with federal and local regulations will be verified by Development Services Engineering Division, prior to building permit approval, as described in condition of approval #1.
22. There is an existing two-way access drive from North Reserve Street. The site will continue to be accessed by the existing drive. The parcel can also be accessed through the parking lot of the adjacent parcel to the south and to the west. No right-of-way improvements are required.
23. Design Excellence required that a pedestrian route be provided from the main entry to the public sidewalk. The applicant is proposing to meet this requirement by providing a new five-foot wide pedestrian route along the drive access to the main entry. The pedestrian route will be highlighted by a change in paving material.
24. Title 12, Section 12.22.060 I & M requires accessible routes to maintain five (5) feet clear width. All accessible routes are in compliance with the accessible route width standards.
25. Title 20, Table 20.60-2 outlines the bicycle parking requirements for commercial uses. One (1) short term bicycle parking space is required per ten (10) motor vehicle parking spaces. Six (6) short term bike parking spaces are required.

26. Six (6) short term bike parking spaces are proposed near the main entry to the building in compliance with the short term bike parking location and design standards of Title 20, Section 20.60.090.C.
27. One (1) long term bicycle parking space is required per five (5) employees. The applicant has indicated there will be fifteen (15) employees. Three (3) long term bike parking spaces are required.
28. Three (3) long term bike parking spaces are proposed on the north side of the site near the trash enclosure in compliance with the long term bike parking location and design standards of Title 20, Section 20.60.090.D.
29. Compliance with the minimum required provision of bicycle parking will be confirmed at the time of building permit review per condition of approval #1.

Conditional Use Review

30. Title 20, Section 20.85.070(H)2 outlines criteria for the review of conditional uses, which include whether the proposed uses are: compliant with all applicable Title 20 zoning standards; compatible with the character of the surrounding area; in the interest of public convenience; will not have a significant adverse impact on the general welfare of the neighborhood or community; compatible operating characteristics in terms of hours of operation, noise, outdoor lighting and traffic generation; and will not have a significant adverse impact on traffic safety or comfort – both motorized and non-motorized.
31. The tavern and casino uses will comply with all applicable Title 20 regulations. Compliance with zoning, engineering, fire and building code will be confirmed prior to building permit approval per condition of approval #1.
32. The proposed design for the façade upgrade has received Design Excellence Review approval and will be compatible with the character of the surrounding area.
33. There are no abutting residential uses. Abutting parcels contain retail, fuel sales, casino, and restaurant uses. The tavern and casino uses are compatible with adjacent uses and the character of the surrounding area.
34. Adverse impacts on the general welfare of the neighborhood or community are not anticipated. The tavern and casino are located in a commercial business area that includes similar uses. Motorized and non-motorized transportation options are available to serve the tavern and casino and the property is served by City Police and City Fire.
35. The tavern and casino uses in this location are in the interest of public convenience by providing more services adjacent to a major arterial street. The new proposed pedestrian path will make accessing the building safer and more convenient for pedestrians.
36. The total parking requirement for the new project will not increase from the previous restaurant use. No additional traffic will be generated by the proposed project.
37. The hours of operation for the tavern and conditional uses are 8:00 am to 2:00 am. Abutting parcels containing fuel sales and casino uses have similar hours of operation.
38. No new site lighting was proposed at the time Design Excellence Review. The existing parking lot lighting will remain. The project will not increase the amount of outdoor lighting. If new site or building lighting is installed it must be reviewed by Development Services as a condition of the Design Excellence approval and must meet the Missoula Outdoor Lighting Ordinance.
39. Any signage associated with this project will be required to meet all applicable standards as outlined in Title 20, Chapter 20.75.

Conclusions of Law:

1. **Whether the proposed use complies with all applicable standards of the Title 20 Zoning Ordinance;**
 1. Both tavern and casino uses are permitted as conditional uses in the C2-4 Community Commercial zoning district. The project has been approved for compliance with Design Excellence. Compliance with

all applicable sections of the Title 20 Zoning Ordinance will be confirmed prior to building permit approval if City Council imposes condition of approval #1.

- 2. Whether the proposed use is in the interest of public convenience and will not have a significant adverse impact on the general welfare of the neighborhood or community;**
 1. The tavern and casino uses in this location will not compromise public convenience or the general welfare of the neighborhood or community. There are no abutting residential uses and the project is similar to adjacent commercial businesses.
 2. The Tavern use is in an area that is already served by City Police and City Fire.
- 3. Whether the proposed use is compatible with the character of the surrounding area in terms of site planning, building scale and project design;**
 1. The existing building and parking lot will remain.
 2. The façade improvements were approved for Design Excellence and will be compatible with the character of the surrounding area in terms of building scale and project design.
 3. The site will be improved by a new pedestrian route from the public sidewalk to the main entry, and expanded plaza area, and revitalized landscaping.
- 4. Whether the proposed use has operating characteristics that are compatible with the surrounding area in terms of hours of operation, outdoor lighting, noise, and traffic generation; and**
 1. The proposed tavern and casino uses will have similar operating hours to adjacent properties.
 2. No new site or building lighting is being proposed. If new site or building lighting is installed it must be reviewed by Development Services as a condition of the Design Excellence approval and must meet the Missoula Outdoor Lighting Ordinance.
 3. Noise generated by the use will be required to conform with the regulations for a commercial zone, as established in the Missoula Municipal Code, Chapter 9.30.040.
 4. The parking requirement for the project will not increase from the previous restaurant use. The project will not generate additional traffic.
- 5. Whether the proposed use will not have a significant adverse impact on traffic safety or comfort, including all modes of transport (non-motorized and motorized).**
 1. North Reserve Street adjacent to the subject property has existing pedestrian, bicycle, and vehicular infrastructure.
 2. Additional traffic will not be generated by the project.
 3. A new pedestrian route from the public sidewalk to the main entry will be installed to increase pedestrian safety. The route will be ADA accessible.
 4. Short term and long term bike racks will be installed in compliance with Title 20.
 5. The tavern and casino conditional uses will not have adverse impacts on traffic safety or comfort, regardless of the mode of transportation.

VI. AGENCY COMMENT

Missoula Valley Water Quality District: No comment.

Health Department - Air Quality Division: No comment.

Missoula County Emergency Management: No comment.

Missoula Urban Transportation District: No comment received at the time of this report.

City Parks & Recreation: No comment.

Office Of Housing & Community Development: No comment.

Missoula Redevelopment Agency: No comment.

City Police: No comment.

City Fire: No comment received at the time of this report.

Montana Department of Transportation: “It does not appear there are any proposed changes to the Reserve St access that serves both this parcel and the corner parcel. If there are to be any proposed changes to the access MDT will require a new approach application submittal to be reviewed and approved.

Any additional amenities within the Reserve St right of way such as trees, shrubs, irrigation system, new or widened sidewalk will require a HSSRA maintenance agreement with the City of Missoula.” – Glen Cameron 8/14/20

City Stormwater Division: No comment.

City Wastewater Division: No comment.

City Water Division: No comment received at the time of this report.

Neighborhood Council (NC): No comment received at the time of this report.



319 West Pine, Suite A
Missoula, MT 59802
T: (406)543.9659
F: (406)543.1464

Monday June 1, 2020

City of Missoula
435 Ryman Street
Missoula, MT 59801

RE: Tap Club Conditional Use Permit, 2275 N. Reserve Street, Missoula.

To Whom it may concern,

On behalf of the ownership of Club Properties, I am writing this regarding the proposed Tap Club, located at the old Perkins Diner at 2275 N. Reserve Street. We are looking forward to transforming the existing blighted property, which will include modernizing the existing street facing facades with new architectural elements, materials, textures, enhance pedestrian access to the site, and provide a social and entertainment establishment for the adjacent North Reserve Neighborhoods. We have completed the Design Excellence Overlay – Typology 4 review, and the project meets all City of Missoula Title 20 Zoning requirements.

The proposed establishment will be classified as a Tavern or Night Club / Casino Use that will primarily center around food and beer. It will be compatible with the surrounding neighborhood and offer community benefits in the following ways:

- The establishment will include a full kitchen, dining room, and casino.
- The establishment will offer a full menu of mid to high end food.
- The establishment will offer beers from both local and regional breweries. Will offer approximately 40 beers on taps.
- The conditional use is compatible with the 2035 Missoula City Growth Policy.
- The conditional use will restore the employment opportunities in the City of Missoula that were lost when the previous establishment went out of business.
- The conditional use is compatible with the character of the surrounding area. The renovated design enhances the exterior, improves building scale, and adds colors and textures.
- The existing site and previous use fell under Eating and Drinking Establishment – Restaurant and has 62 parking spaces with four ADA accessible spaces. The new Tavern or Night Club / Casino Use requires 55 spaces thus reducing vehicular traffic load.
- The New Design reconfigures and improves the ADA parking and ADA accessible route into the building.
- The New Design improves all on-site and boulevard landscaping.
- The New Design will provide a new accessible route from the public right of way which will enhance pedestrian and bicycle activity and safety along Reserve Street.

In addition to the benefits listed above, the new design also includes added glazing to capture more natural daylight as well as views of the surrounding mountains and natural landscape. It is compatible with the character of the surrounding area by complimenting building massing, scale, materials, and colors. We feel that this conditional use offers many social, eating and gathering benefits to both nearby neighborhoods and the community, as well as, economic benefits brought to the city of Missoula.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeff C. Maphis', with a stylized flourish at the end.

Jeff C. Maphis
Principal Architect



DEVELOPMENT SERVICES

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

CITY CONDITIONAL USE APPLICATION

A. GENERAL INFORMATION

1. One submittal packet is required for Completeness/Sufficiency Review.
2. Once the application is deemed complete by Development Services (DS), 2 submittal packets and the appropriate fee shall be submitted.
3. Name of Conditional Use Request: **Tap Club**
4. Name(s) of Applicant: **Jeff Maphis**
Mailing Address: **319 W. Pine ST Suite A.**
Telephone Number: **406-543-9659**
Email Address: **jeff@jcmarchitecture.com**
5. Name(s) of all Owners of Record: **Bob Powell & Nick Alonzo - Club Properties LLC.**
Mailing Address(es): **3101 S. Russell ST, Missoula MT. 59801-6872**
Telephone Number(s): **(406) 728-0558**
Email Address(es): **bpowell@foodfuninc.com, nick@foodfuninc.com**
6. Name and Company of Representative: **Jeff Maphis, JCM Architecture.**
Mailing Address: **319 W. Pine ST Suite A.**
Telephone Number: **(406) 543-9659**
Email Address: **jeff@jcmarchitecture.com**
7. If the applicant is someone other than the property owner, the owner must also sign the application in the space provided below.

Certification: I hereby certify that the foregoing information contained or accompanied in this application is true and correct to the best of my knowledge.

Applicant's Signature

Date

Owner's Signature

Date

Representative's Signature

Date

B. SUBJECT PROPERTY INFORMATION

General location of subject property and address (if address has been assigned): 2275 N. Reserve ST.

Legal Description - complete and unabbreviated: S18, T13 N, R19 W, COS 4590 TRACT 2 IN NE4.

Township, Range, Section(s): **13 N**

Subdivision, Lot(s), Block(s):

Tract(s), COS#: **4590**

Bearings & Distances Descriptions (if boundaries of proposed Conditional Use are not exactly the same as the boundaries of the property legally described above):

Geocode: **04-2200-18-1-04-14-0000**

C. ZONING AND GROWTH POLICY INFORMATION

1. Complete the following table (where applicable, indicate Unzoned):

	Zoning	Current Land Use
Adjacent (North)	C2-4/DE-C, Community Commercial Design Excellence Overlay Corridor Typology 4.	Retail
Adjacent (South)	C2-4/DE-C, Community Commercial Design Excellence Overlay Corridor Typology 4.	Fuel sales, Retail, Casino
Adjacent (East)	M1R-2/DE-C, Limited Industrial-Residential Design Excellence Overlay Corridor Typology 4.	Fuel sales, Retail, Restaurant
Adjacent (West)	C2-4/DE-C, Community Commercial Design Excellence Overlay Corridor Typology 4.	Retail, Office.

2. What is the current zoning of the property? **C2-4 /DE-C Community Commercial Design Excellence Overlay Corridor Typology 4.**

3. What is the applicable comprehensive plan and land use designation for the property? **The 2035 Missoula City Growth Policy is the applicable regional plan and recommends a land use designation of Regional Commercial and Services. The Growth Policy indicates that the following zoning districts are most closely aligned with the Regional Commercial and Services Land Use Designation: C1-4, C2-4, M1R-2, and OP3.**

4. What is the conditional use requested? **TAVERN AND CASINO CONDITIONAL USES.**

D. RESPONSES TO TITLE 20 ZONING ORDINANCE CONDITIONAL USE REVIEW CRITERIA

1. **Review Criteria.** Describe how the proposal meets the following review criteria. (Not all review criteria will apply in every case. Only the applicable review criteria need to be met.)

- Whether the conditional use complies with all applicable standards of the zoning ordinance.
Yes, the project has received Design Excellence Review approval and complies with Title 20 standards.
- Whether the conditional use is in the interest of the public convenience and will not have a significant adverse impact on the general welfare of the neighborhood or community.

Yes, the project is in interest of public convenience - the proposed use is an eating and gathering establishment. The parcel is surrounded by highway heavy commercial uses. There are no surrounding residential uses and there will not be any adverse impact on general welfare of neighborhood or community.

- c. Whether the conditional use is compatible with the character of the surrounding area in terms of site planning, building scale, and project design.

Yes, this project received Design Excellence Review approval. The proposed project is for a remodel of the existing structure and should not impact the neighborhood in terms of site planning, building scale, and project design. The new design enhances the exterior street frontages, improves building scale, colors, and textures.

- d. Whether the conditional use has operating characteristics that are compatible with the surrounding area in terms of hours of operation, outdoor lighting, noise, and traffic generation.

Project is replacing a previous restaurant use, no additional traffic will be generated on streets or parking lot. The new project / use will operate with a Beer and Wine with Gambling License and hours of operation will be between the hours of 8am - 2am.

- e. Whether the conditional use will not have a significant adverse impact on traffic safety or comfort, including all modes of transport (non-motorized and motorized).

No, significant adverse impact on safety or comfort. New design will improve pedestrian and bicycle access with new accessible route from public right-a-way to main building entry.

2. Factors to be Considered.

Section 20.85.070(I) includes factors that City Council may consider in determining whether all applicable review criteria have been satisfied. These are listed below for reference.

- a. That new buildings and structures are located to create a positive relationship with their environment, both urban and natural.
- b. That the site design properly addresses building orientation, open space, light, sun exposure, views, and protection of natural features.
- c. That buildings, structures, and uses are compatible with adjacent properties and uses in terms of physical design elements, such as volume and mass management, building materials, color, open space design, screening, and other design elements.
- d. That the overall project will be functional, attractive, and safe in terms of pedestrian, bicycle, and vehicular access, parking, loading, and servicing.

E. ATTACHMENTS

As separate attachments (8.5" x 11" or 11" x 17"), provide the following materials with the site clearly identified. Where appropriate, required information may be combined as long as the information is clearly presented. Please check the box if the material is included in the packet. If the material is not included in the submittal packet, please note "N/A".

- ☐ **A cover letter** describing the purpose of the proposed project, existing site conditions, and a brief description of the proposal. **X**
- ☐ **A vicinity map** showing the subject property and the area within 300 feet of the subject property. **X**
- ☐ **A Zoning map** of the subject property and vicinity (showing the existing zoning district), extending at least 300 feet from the property boundaries. **X**
- ☐ **An aerial photo** of the subject property and vicinity extending at least 300 feet from the property boundaries. **X**

- ☐ **A Growth Policy/Comprehensive Plan map** of the subject property and vicinity extending at least 300 feet from the property boundaries for the applicable comprehensive plan, clearly showing the land use designation of the subject property and surrounding properties. **X**
- ☐ **The current plat** of the subject property. **X**
- ☐ **A site plan**, including existing and proposed landscaping, parking, streets/access, sidewalks, bike lanes, and any other improvements to the property. **X**
- ☐ **Building elevation drawings** of all proposed structures and/or photos of existing structures. **X**
- ☐ **Floor plans** of all existing and proposed buildings. **X**

TAP CLUB

2275 N. RESERVE STREET
MISSOULA, MONTANA
FEBRUARY 2020

LEGAL DESCRIPTION

LOT: -
COS: 4590
TRACT: 2 IN NE4
SUBDIVISION: -
TOWNSHIP: 13 N
RANGE: 19 W
SECTION: 18
GEOCODE: 04-2200-18-1-04-14-0000

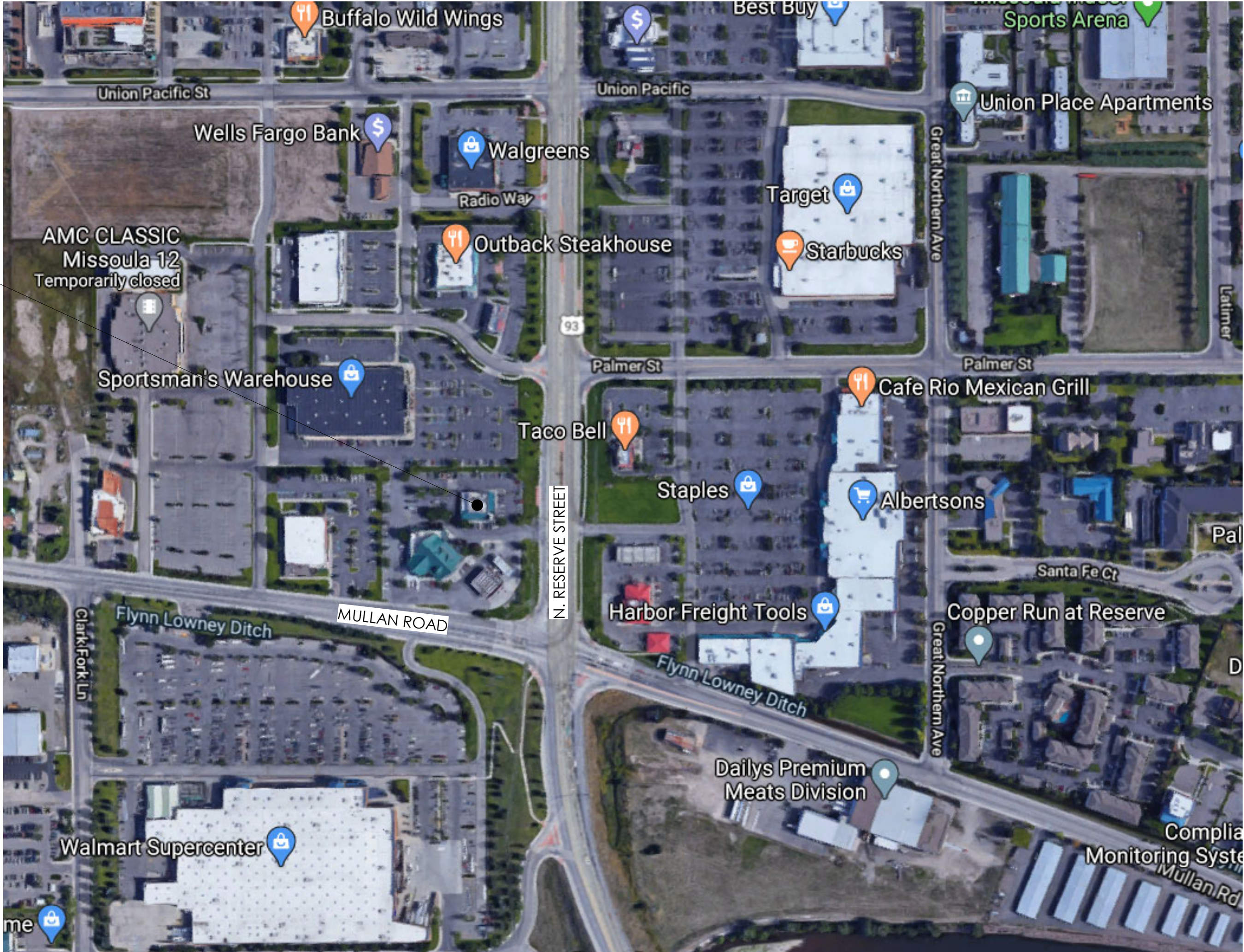
SHEET LIST

COVER SHEET	
ARCHITECTURAL	
A.1.0	SITE PLAN
A.2.1	FLOOR PLAN
A.2.2	ENLARGED PLANS & EQUIPMENT SCHEDULE
A.5.0	BUILDING ELEVATIONS
A.5.1	BUILDING ELEVATIONS
A.5.3	3D PERSPECTIVES

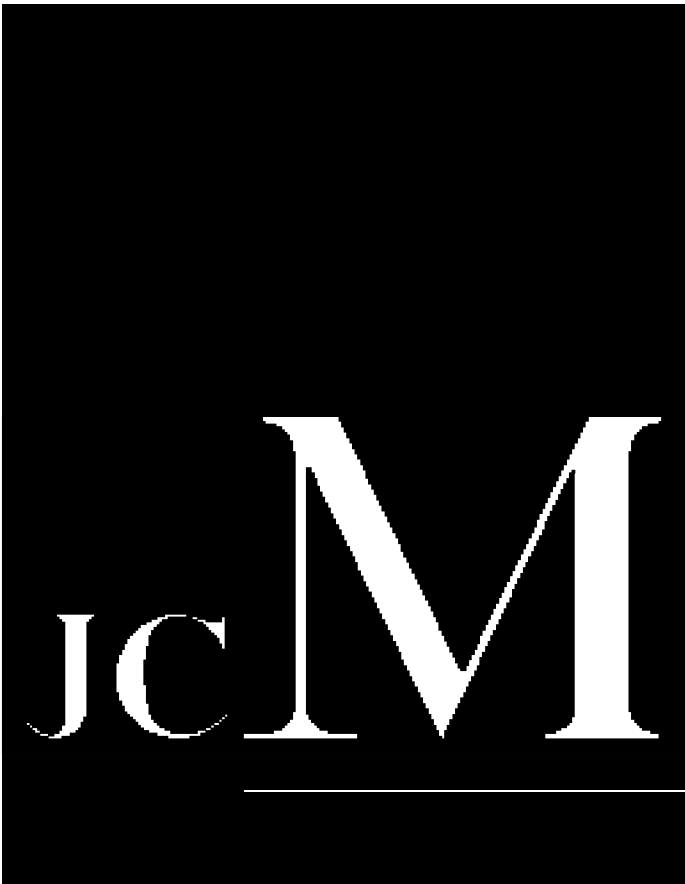
CODE REVIEW

CODICES	INTERNATIONAL BUILDING CODE, 2012 EDITION (IBC) UNIFORM PLUMBING CODE, 2012 EDITION (UPC) INTERNATIONAL MECHANICAL CODE, 2012 EDITION (IMC) NATIONAL ELECTRICAL CODE, 2014 EDITION (NEC) INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION (IECC) ICC/ANSI A117.1, 2003 EDITION LOCAL ZONING ORDINANCES AMERICANS WITH DISABILITIES ACT (ADA) OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) MONTANA OCCUPATIONAL SAFETY AND HEALTH ACT (MONT OSHA)												
OCCUPANCY	ASSEMBLY: GROUP A-2 RESTAURANT / TAVERN / CASINO												
CONSTRUCTION TYPE	TYPE VB - NON RATED, NON-SPRINKLED												
SEISMIC DESIGN CATEGORY	D												
OCCUPANT LOAD	<table><tr><td>TOTAL BUILDING OCCUPANTS</td><td>= 206</td></tr><tr><td>RESTAURANT</td><td></td></tr><tr><td>- FIXED SEATS (1 PER 24" BOOTH SEAT LENGTH)</td><td>= 53</td></tr><tr><td>- 0 FIXED SEATS UNCONCENTRATED 1,500 SF (15 NET)</td><td>= 100</td></tr><tr><td>KITCHEN 1,586 SF (200 GROSS)</td><td>= 8</td></tr><tr><td>CASINO 492 SF (11 GROSS)</td><td>= 45</td></tr></table>	TOTAL BUILDING OCCUPANTS	= 206	RESTAURANT		- FIXED SEATS (1 PER 24" BOOTH SEAT LENGTH)	= 53	- 0 FIXED SEATS UNCONCENTRATED 1,500 SF (15 NET)	= 100	KITCHEN 1,586 SF (200 GROSS)	= 8	CASINO 492 SF (11 GROSS)	= 45
TOTAL BUILDING OCCUPANTS	= 206												
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- 0 FIXED SEATS UNCONCENTRATED 1,500 SF (15 NET)	= 100												
KITCHEN 1,586 SF (200 GROSS)	= 8												
CASINO 492 SF (11 GROSS)	= 45												
BUILDING AREA	5,627 S.F. (EXISTING STRUCTURE) 57 S.F. (ADDITION - CASINO VESTIBULE)												

PROJECT AREA



VINICITY MAP
SCALE: NTS



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19025 - TAP CLUB
D.E.R. REV. - DRAFT - 04.27.20



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TAP CLUB

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REVISION

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National Electric Code, 2014 edition
International Mechanical Code, 2012 edition
Uniform Plumbing Code, 2012 edition
ICC/ANSI A117.1, 2009 edition
International Energy Conservation Code, 2012 ed.
Local Zoning Ordinances
Americans with Disabilities Act
Occupational Safety and Health Act
Montana Occupational Safety and Health Act

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Preliminary Design

Final Design

Issued for Pricing

Issued for Permit

Issued for Construction

DATE: 04.27.20

PROJ. NO.: 19025

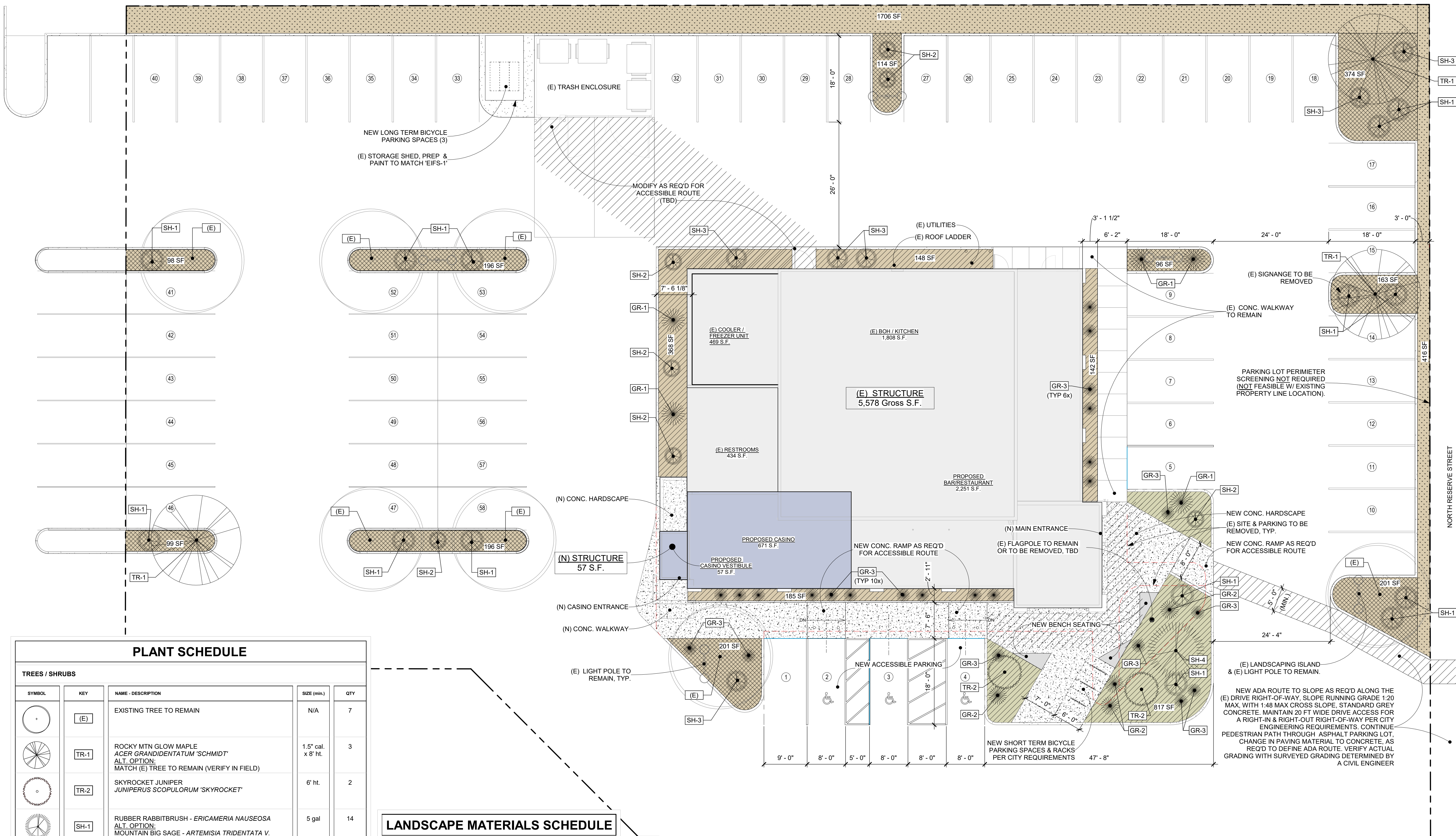
DESIGN: JCM

PROJ. ARCH: JCM

DRAFT: KLW

SHEET NO.

A.1.0



PLANT SCHEDULE

TREES / SHRUBS

SYMBOL	KEY	NAME - DESCRIPTION	SIZE (min.)	QTY
	(E)	EXISTING TREE TO REMAIN	N/A	7
	TR-1	ROCKY MTN GLOW MAPLE ACER GRANDIDENTATUM 'SCHMIDT' ALT. OPTION: MATCH (E) TREE TO REMAIN (VERIFY IN FIELD)	1.5" cal. x 8' ht.	3
	TR-2	SKYROCKET JUNIPER JUNIPERUS SCOPULORUM 'SKYROCKET'	6' ht.	2
	SH-1	RUBBER RABBITBRUSH - ERICAMERIA NAUSEOSA ALT. OPTION: MOUNTAIN BIG SAGE - ARTEMISIA TRIDENTATA V. VASEYANA	5 gal	14
	SH-2	HELMOND PILLAR BARBERRY BERBERIS THUNBERGII 'HELMOND PILLAR'	5 gal	7
	SH-3	LILLA SMOKE BUSH CONTINUS COGGYGRIA 'LILLA'	5 gal	6
	SH-4	JELENA WITCH HAZEL HAMAMELIS x INTERMEDIA 'JELENA'	5 gal	1

GRASSES

SYMBOL	KEY	NAME - DESCRIPTION	SIZE (gal.)	QTY
	GR-1	FOERSTER'S FEATHER REED GRASS CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	1 gal	5
	GR-2	BLUE GRAMA GRASS BOULETLOUA GRACILIS	1 gal	4
	GR-3	IDAHO FESCUE FESTUCA IDAHOENSIS	1 gal	24

LANDSCAPE MATERIALS SCHEDULE

SYMBOL	MATERIAL	AREA
	(EXISTING) SOD TO REMAIN	2,122 S.F.
	GRAVEL, BLACK ANGULAR	1,660 S.F.
	WOOD MULCH, FULLY SHREDDED 3" MIN. TO 5" MAX. CONT. SOIL COVER	1,738 S.F.

LANDSCAPED AREA LEGEND

SYMBOL	MATERIAL	LOCATION	AREA	TOTAL AREA
	EXISTING LANDSCAPED AREA TO REMAIN "OWNER WILL VOLUNTARILY IMPROVE EXISTING LANDSCAPING AREAS TO MEET TITLE 20 (20.65.080) REQUIREMENTS"	BUILDING PERIMETER.....843 S.F. INTERIOR PARKING LOT.....1,738 S.F. PARKING LOT PERIMETER.....2,122 S.F.		4,703 S.F.
	NEW LANDSCAPED AREA (ALTERED AREA)	BLDG PERIMETER.....817 S.F.		817 S.F.
LANDSCAPED AREA TOTAL				(12.55%) 5,520 S.F.
SITE AREA TOTAL				44,000 S.F.



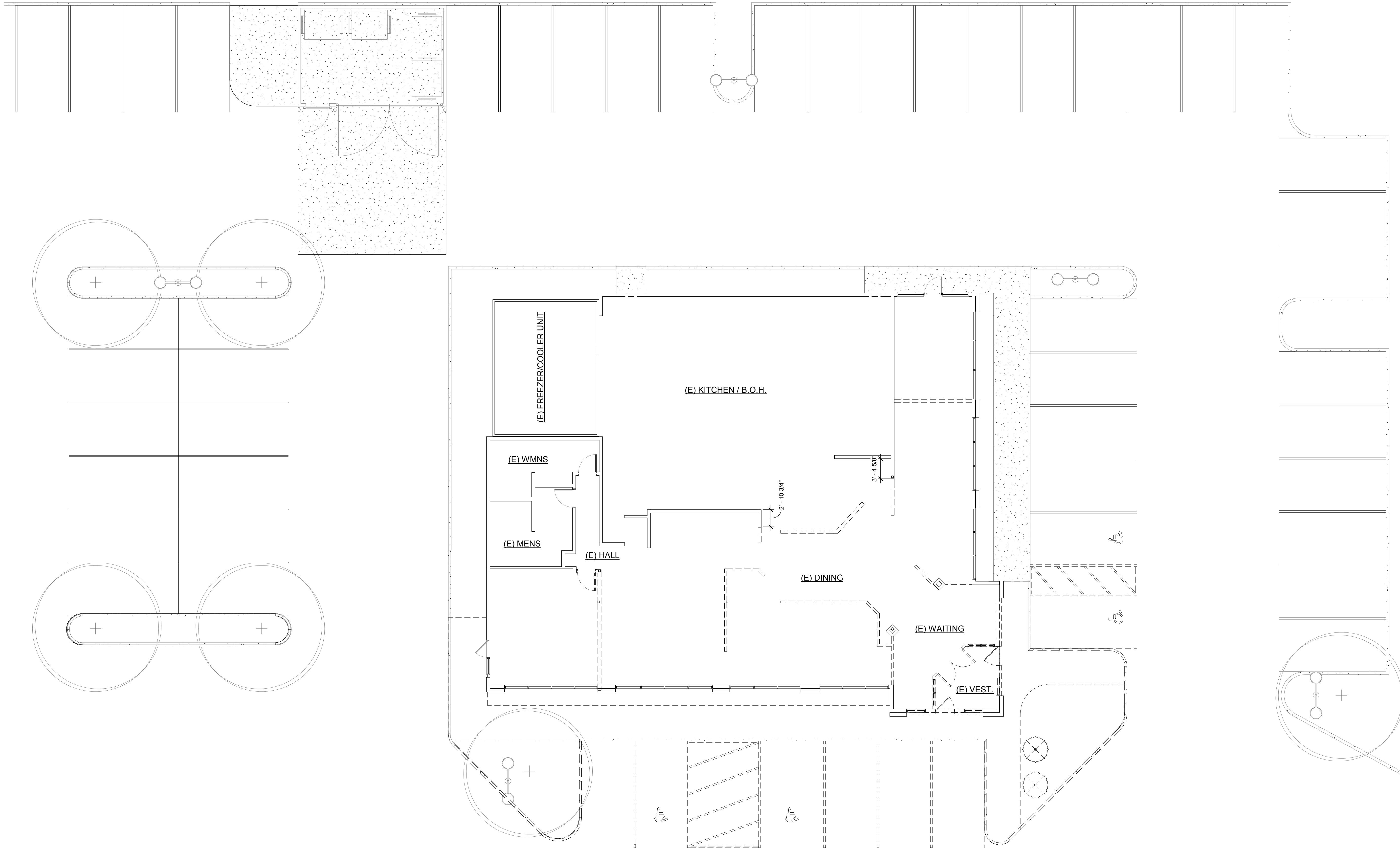
1
A.1.0
SITE PLAN
SCALE: 1" = 10'-0"

PARKING CALCULATONS

CASINO		
20 MACHINES	= 10 SPACES	
4 SEATS	= 1 SPACE	
2 EMPLOYEES	= 1 SPACE	
RESTAURANT / TAVERN		
145 SEATS	= 36 SPACES	
14 EMPLOYEES	= 7 SPACES	
TOTAL PARKING SPACES REQUIRED	= 55 SPACES	
TOTAL SPACES PROVIDED	= 58 SPACES	
BICYCLE PARKING SPACES REQUIRED		
SHORT TERM (1 PER 10 MOTOR SPACES)	= 6 SPACES	
LONG TERM (1 PER 5 EMPLOYEES)	= 3 SPACES	

GENERAL NOTES

- FIELD VERIFY ALL DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- G.C. TO ENSURE THAT ALL PAVED AREAS, GARAGE SLAB, LANDSCAPED AREAS, ETC. HAVE A POSITIVE SLOPE AWAY FROM THE BUILDING.
- PROVIDE ELECTRICAL PROVISIONS FOR EXTERIOR LANDSCAPE AND ACCENT LIGHTING. VERIFY FIXTURE PLACEMENT AND TYPE. WITH ARCHITECT AND OWNER. ALL NEW FIXTURES TO COMPLY WITH MISSOULA DESIGN EXCELLENCE - BUILDING ILLUMINATION REQUIREMENTS (BD15-19).
- ALL NEW BUILDING/SITE LIGHT FIXTURES TO BE SHIELDED & DOWNWARD FOCUSED (BD18).
- NO COLOR EXPOSED TUBE LIGHTING TO BE USED, TYPICAL FOR ALL BUILDING/SITE LIGHT FIXTURES (BD19).



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TAP CLUB

2275 N. RESERVE STREET MISSOULA, MONTANA	
REVISION	

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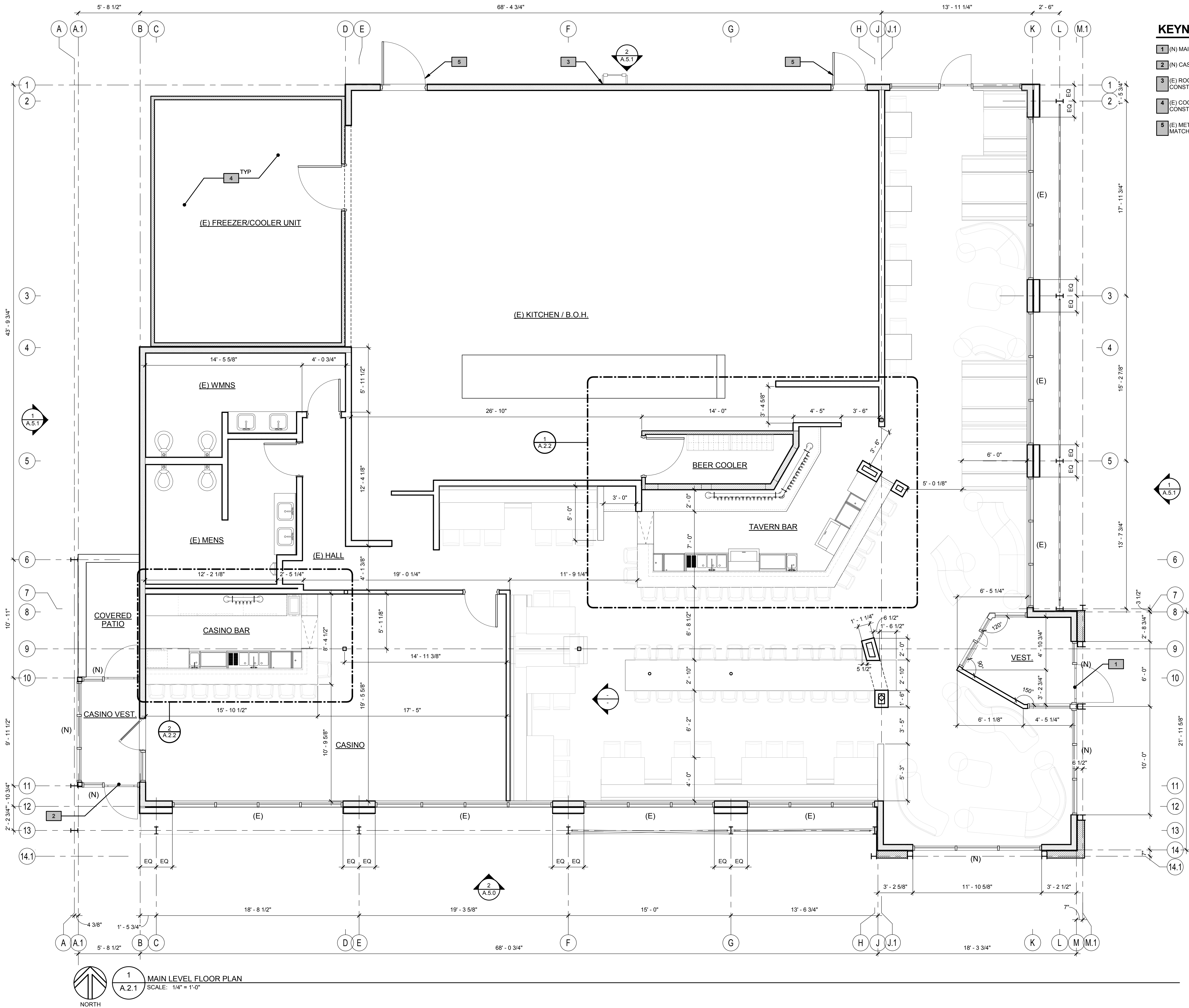
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- ☐ Preliminary Design
- ☒ Final Design
- ☐ Issued for Pricing
- ☐ Issued for Permit
- ☐ Issued for Construction

DATE: 04.10.20
PROJ. NO.: 19025
DESIGN: JCM
PROJ. ARCH.: JCM
DRAFT: KLW

SHEET NO.

A.2.0



KEYNOTES

- (N) MAIN ENTRANCE
- (N) CASINO ENTRANCE
- (E) ROOF ACCESS LADDER TO REMAIN, PROTECT AS REQ'D DURING CONSTRUCTION, VERIFY CONDITION IN FIELD.
- (E) COOLER / FREEZER UNIT TO REMAIN, PROTECT AS REQ'D DURING CONSTRUCTION.
- (E) METAL DOOR, FRAME & HARDWARE TO REMAIN, PREP & PAINT TO MATCH ADJACENT WALLS, TYPICAL.



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- Preliminary Design
- Final Design
- Issued for Pricing
- Issued for Permit
- Issued for Construction

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- NEW CONC. WALL
- WALL FINISH

DATE: 04.10.20
PROJ. NO.: 19025
DESIGN: JCM
PROJ. ARCH: JCM
DRAFT: KLW

SHEET NO.

A.2.1

EQUIPMENT SCHEDULE					
KEY	DESCRIPTION	MANUFACTURER	MODEL	NOTES	QTY
EQ01	UNDERBAR DUMP SINK (NSF CERTIFIED)	JOHN BOOS	EUBD-1221	ADD SIDE SPLASH?	3
EQ02	UNDERBAR GLASS RACK STORAGE UNIT W/ DRAINBOARD TOP	JOHN BOOS	EUBGRS-24	2 OR 3 SHELVES?	3
EQ03	UNDERBAR SINK, 48" TRIPLE SINK, RIGHT DRAIN BOARD	JOHN BOOS	EUB3S48-1RD		2
EQ04	GLASS FROSTER	BEVERAGE-AIR	GF34L-S		2
EQ05	10-CIRCUIT UNDERBAR INSULATED ICE BIN W/COLD PLATE (NSF CERTIFIED)	JOHN BOOS	EUBIB-3021CP10		2
EQ06	UNDERBAR HANDSINK, 12"	Advance Tabco	CR-HS-12		2
EQ07	UNDERCOUNTER GLASSWASHER	CMA	GL-X		1
EQ08	BACK BAR REFRIGERATOR	Beverage Air	BB72HC-1-GS-S-27		1
EQ09	BACK BAR REFRIGERATOR	Beverage Air	BB48HC-1-GS-S-27		1
EQ10	CUSTOM DRAFT TOWER - 4" DIA. PIPE STYLE - 37 FAUCETS MIN.	MICRO-MATIC	CUSTOM	37 KEG LINES - CUSTOM FINISH TO MATCH YELLOW STEEL ACCENTS?	1
EQ11	DRAFT TOWER - 4" DIA. PIPE STYLE - 5 FAUCETS MIN.	MICRO-MATIC	TBD - CUSTOM?	5 KEG LINES - CUSTOM FINISH TO MATCH YELLOW STEEL ACCENTS?	1
EQ13	DROP SAFE - 22"	-	-		1

KEYNOTES



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TAP CLUB

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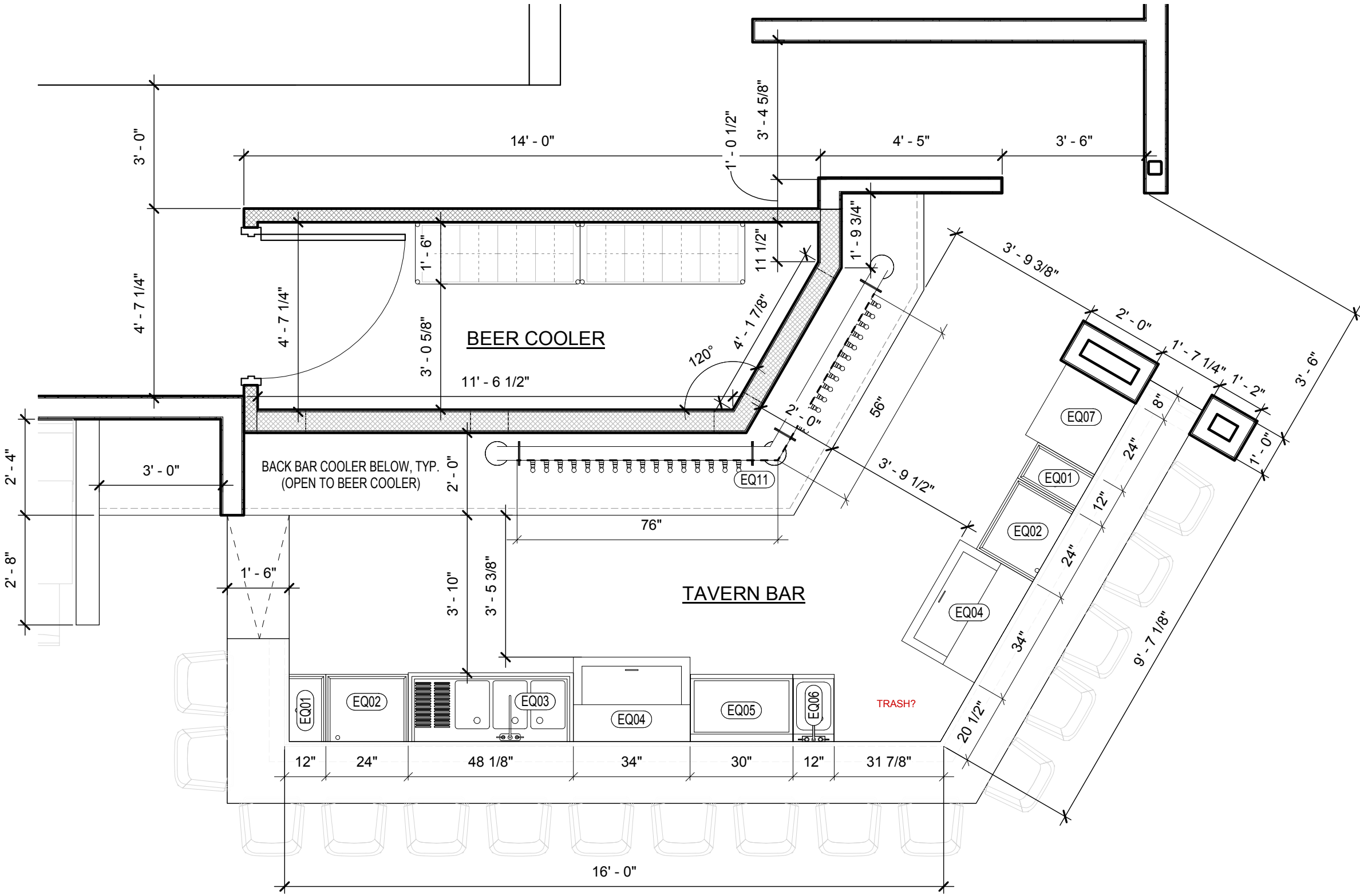
International Building Code, 2012 edition
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Local Zoning Ordinances
Americans with Disabilities Act
Occupational Safety and Health Act
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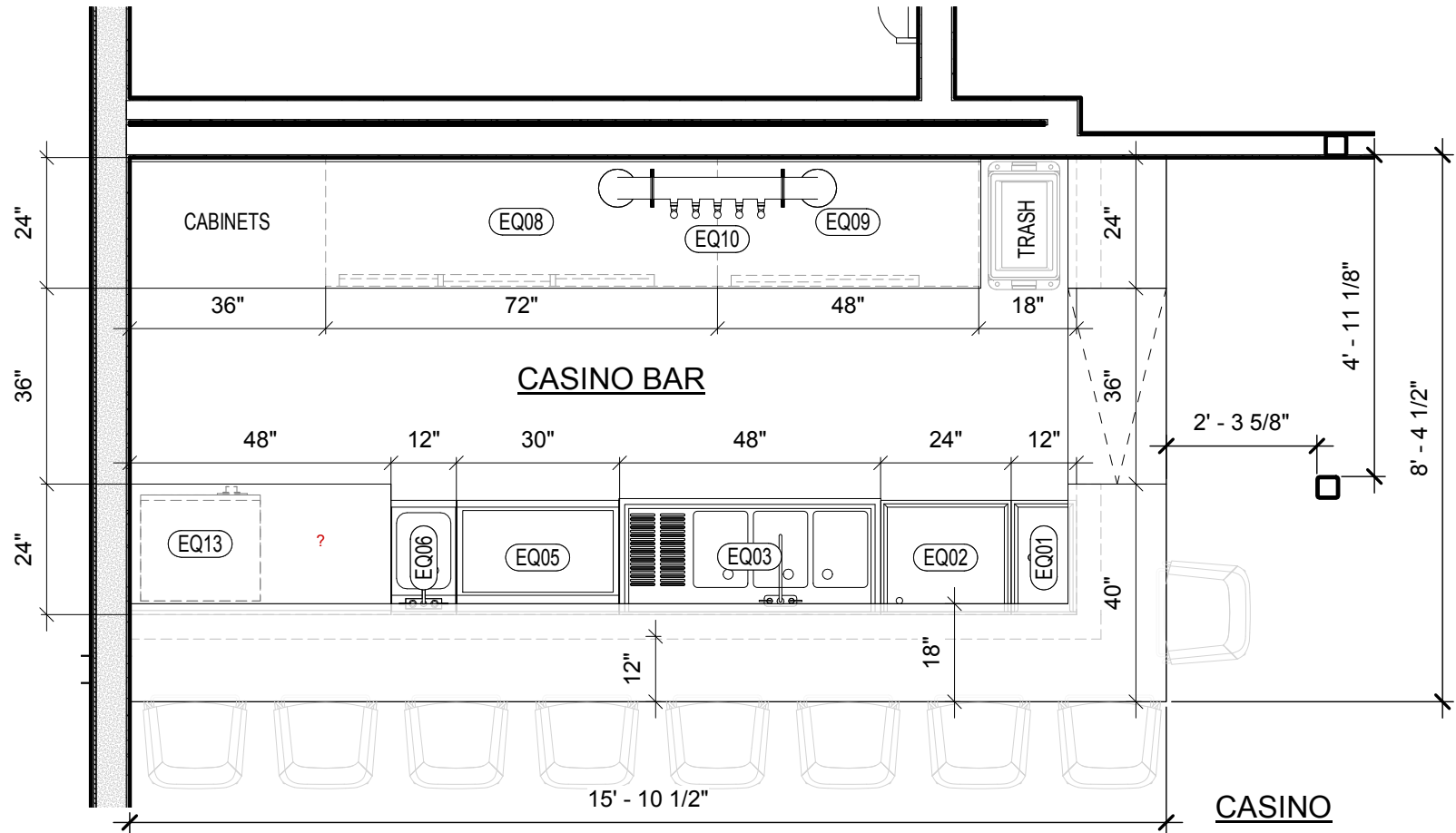
DATE: 04.10.20
PROJ. NO.: 19025
DESIGN: JCM
PROJ. ARCH.: JCM
DRAFT: KLW

SHEET NO.

A.2.2



1 TAVERN BAR FLOOR PLAN
A.2.2 SCALE: 3/8" = 1'-0"



2 CASINO BAR
A.2.2 SCALE: 3/8" = 1'-0"

EXT. MATERIALS LEGEND

(E) EIFS CLADDING
PATCH & REPAIR AS REQ'D, PREP & PAINT
COLOR: SW 7048 URBANE BRONZE

(E) EIFS CLADDING
PATCH & REPAIR AS REQ'D, PREP & PAINT
COLOR: SW 7045 INTELLECTUAL GRAY

(N) METAL ROOFING PANELS
EPIC STEEL - 1" SNAPLOCK 20" WIDTH - 26 ga
FINISH: PEBBLE GRAY

(N) METAL WALL PANEL
PERFORATED CORRUGATED PROFILE
FINISH: BLACK - MATTE OR SATIN

(N) PLATE STEEL - 1/4"
POWDER COAT FINISH: RAL 8004

(E) METAL SHEET FLASHING & PARAPET CAP
FINISH: DARK BRONZE

(N) METAL FLASHING & PARAPET CAP - 20 ga
FINISH: DARK BRONZE (MATCH EXISTING), VERIFY IN FIELD.

(E) THINSET STONE MASONRY VENEER
PREP & PAINT
COLOR: SW 7048 URBANE BRONZE

(E) ALUM. CLAD STOREFRONT SYSTEM
FRAME FINISH: DARK BRONZE

(N) ALUM. CLAD STOREFRONT SYSTEM
FRAME FINISH: DARK BRONZE (MATCH EXISTING), VERIFY IN FIELD.

(N) ALUM. CLAD STOREFRONT SYSTEM
POWDER COAT FRAME FINISH: RAL 1016

(N) EXPOSED STEEL FRAMING
RAW / WEATHERED HEAVY STEEL FRAMING
CLEAR COAT FINISH: PERMALAC ORIGINAL - MATTE

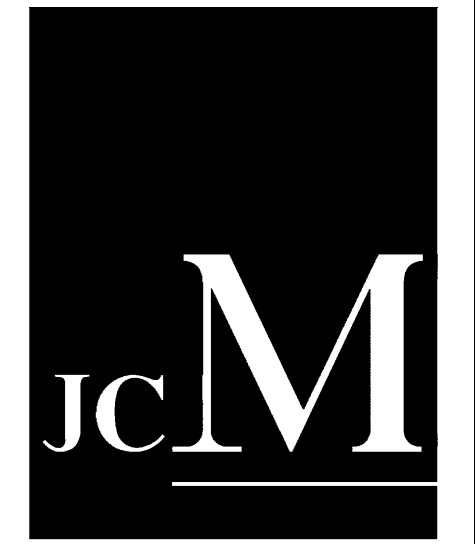
(N) EXPOSED STEEL CROSS BRACING
POWDER COAT FINISH: RAL 1016

(N) EXPOSED TUBE STEEL FRAMING
POWDER COAT FINISH: RAL 8001

(N) EXPOSED STEEL FRAMING
POWDER COAT FINISH: RAL 8004

KEYNOTES

- (N) CASINO ENTRANCE
- (N) MAIN ENTRANCE
- APPROX. SIGNAGE LOCATION, WALL SIGN TYPE, 50 SF MAX AREA, (DESIGN TBD.)
- (E) ROOF ACCESS LADDER TO REMAIN, PROTECT AS REQ'D DURING CONSTRUCTION, VERIFY CONDITION IN FIELD.



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PROGRESS SET
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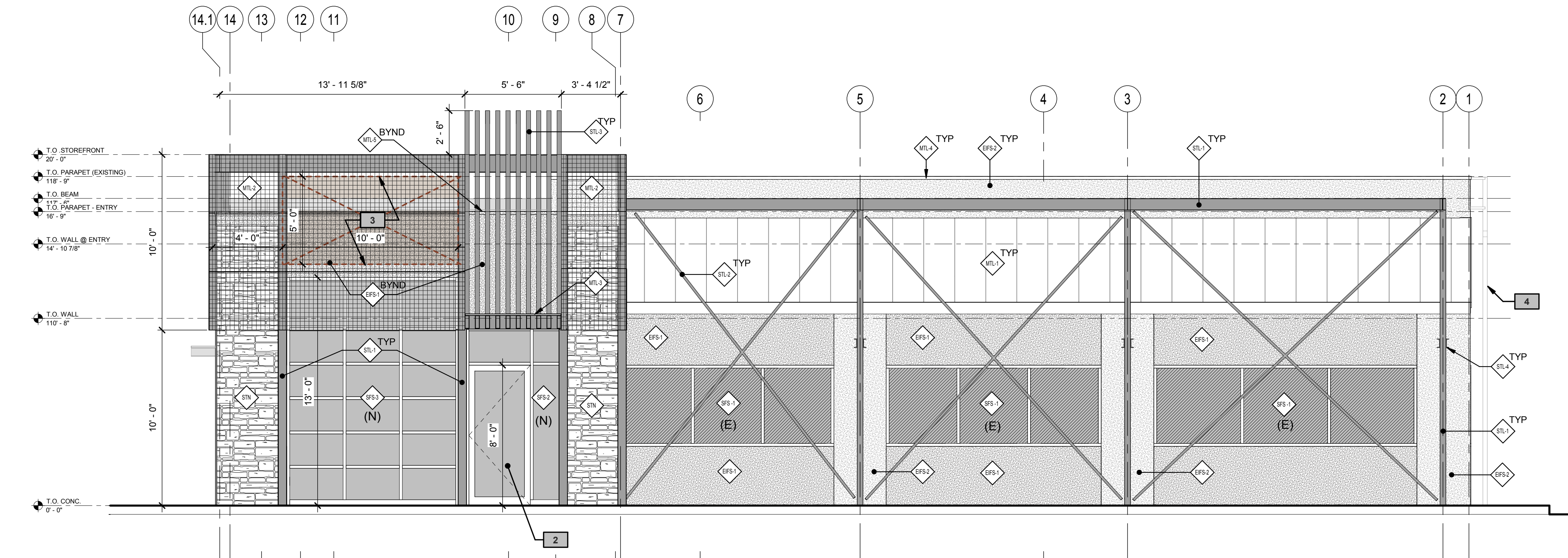
TAP CLUB

2275 N. RESERVE STREET
MISSOULA, MONTANA

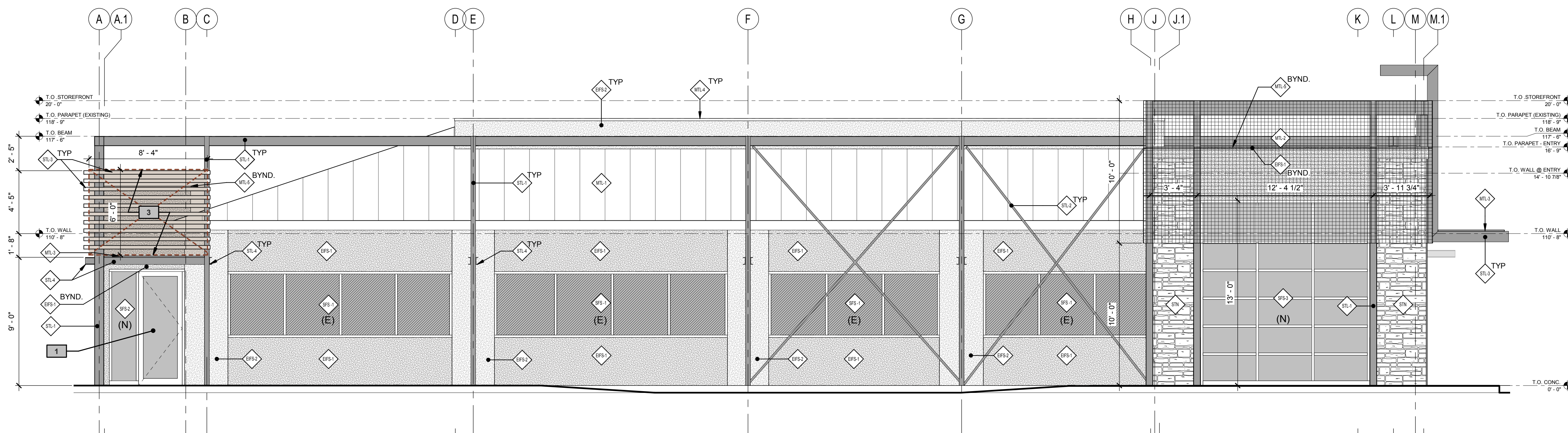
REVISION

MATERIAL COVERAGE STREET FACING FACADE - 1/A.5.0

CATEGORY	MATERIAL TYPE	COVERAGE	
		AREA	%
GLAZING (EXISTING)	ALUM. STOREFRONT	182 SF	18%
GLAZING (NEW)	ALUM. STOREFRONT	191 SF	18%
NATURAL MATERIAL	STONE (EXISTING)	106 SF	10%
SYNTHETIC STUCCO	EIFS (EXISTING)	556 SF	54%



1 EAST ELEVATION
A.5.0 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A.5.0 SCALE: 1/4" = 1'-0"

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- Issued for Construction

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PROJ. ARCH: JCM
DRAFT: KLW

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A.5.0

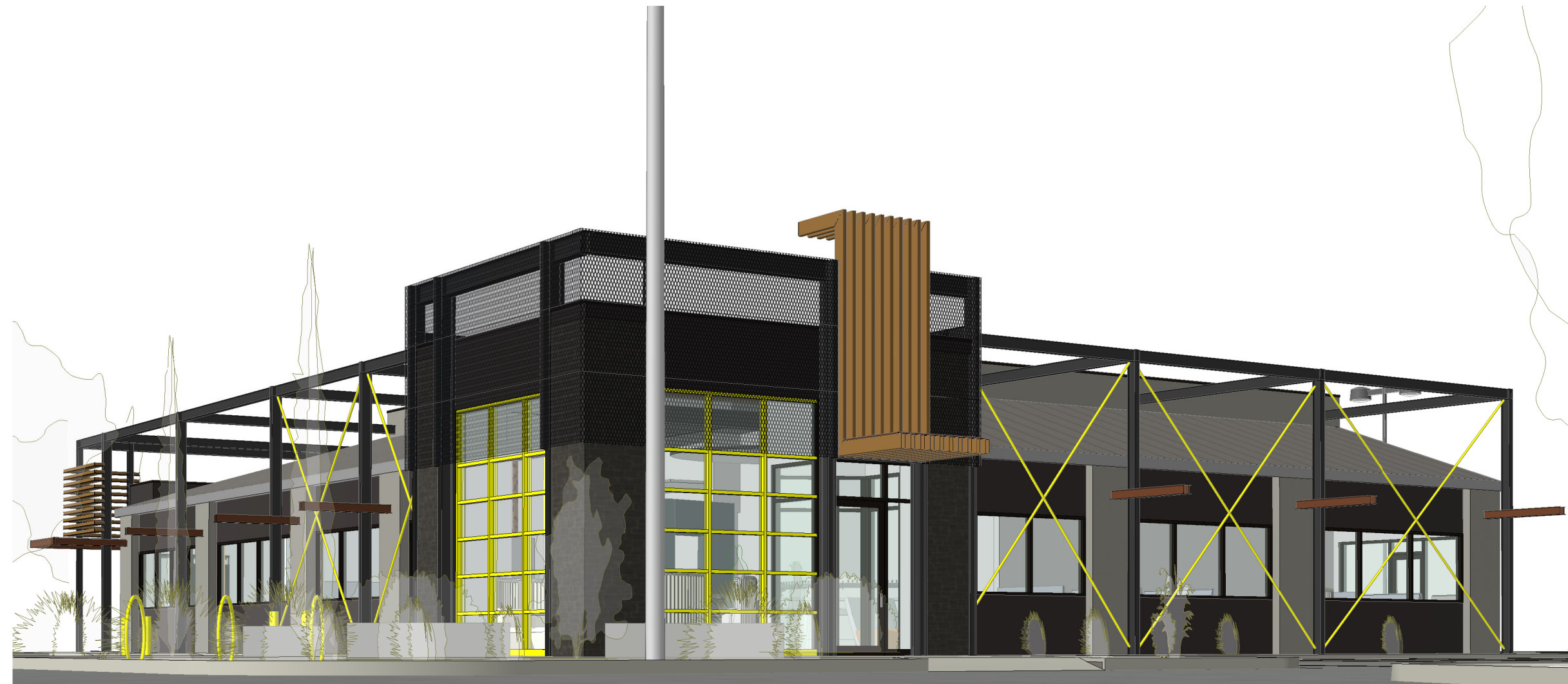
MTL-3

 **(N) ALUM. CLAD STOREFRONT SYSTEM**
POWDER COAT FRAME FINISH: RAL 1016

(N) EXPOSED STEEL FRAMING
POWDER COAT FINISH: RAL 8004



MAIN ENTRY - E
SCALE: NTS



MAIN ENTRY - SE
SCALE: NTS



MAIN ENTRY - NE
SCALE: NTS



CASINO ENTRY - SE
SCALE: NTS



CASINO ENTRY - SW
SCALE: NTS



AERIAL - SE
SCALE: NTS



AERIAL - SW
SCALE: NTS



AERIAL - NE
SCALE: NTS



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PROGRESS SET
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TAP CLUB

2275 N. RESERVE STREET
MISSOULA, MONTANA

REVISION

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DATE: 04.10.20
PROJ. NO.: 19025
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DRAFT: KLW

SHEET NO.

A.5.3



2275 North Reserve Street Tap Club

Casino & Tavern Conditional Use

Land Use and Planning Committee

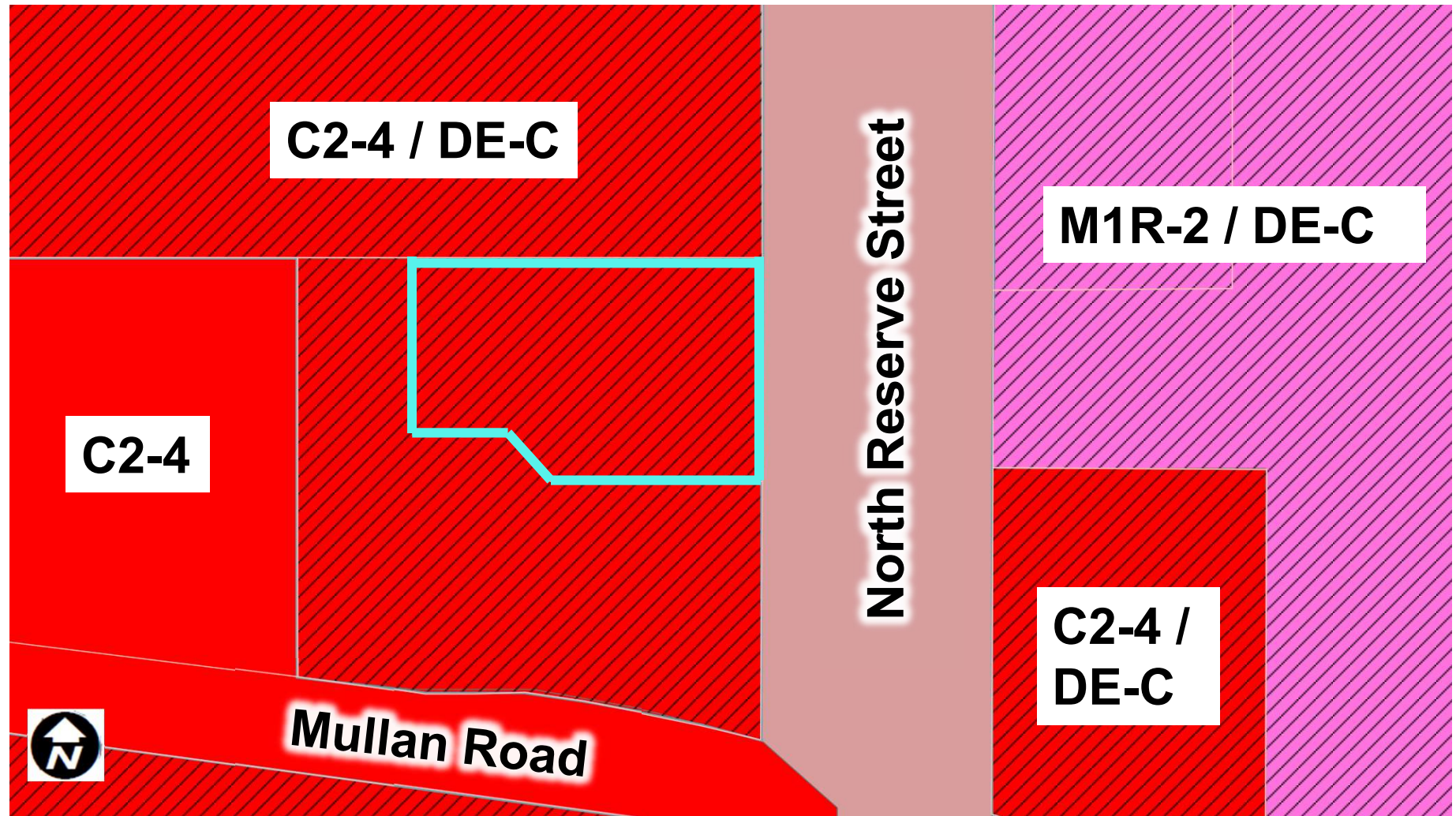
Cassie Tripard
Development Services
September 16, 2020



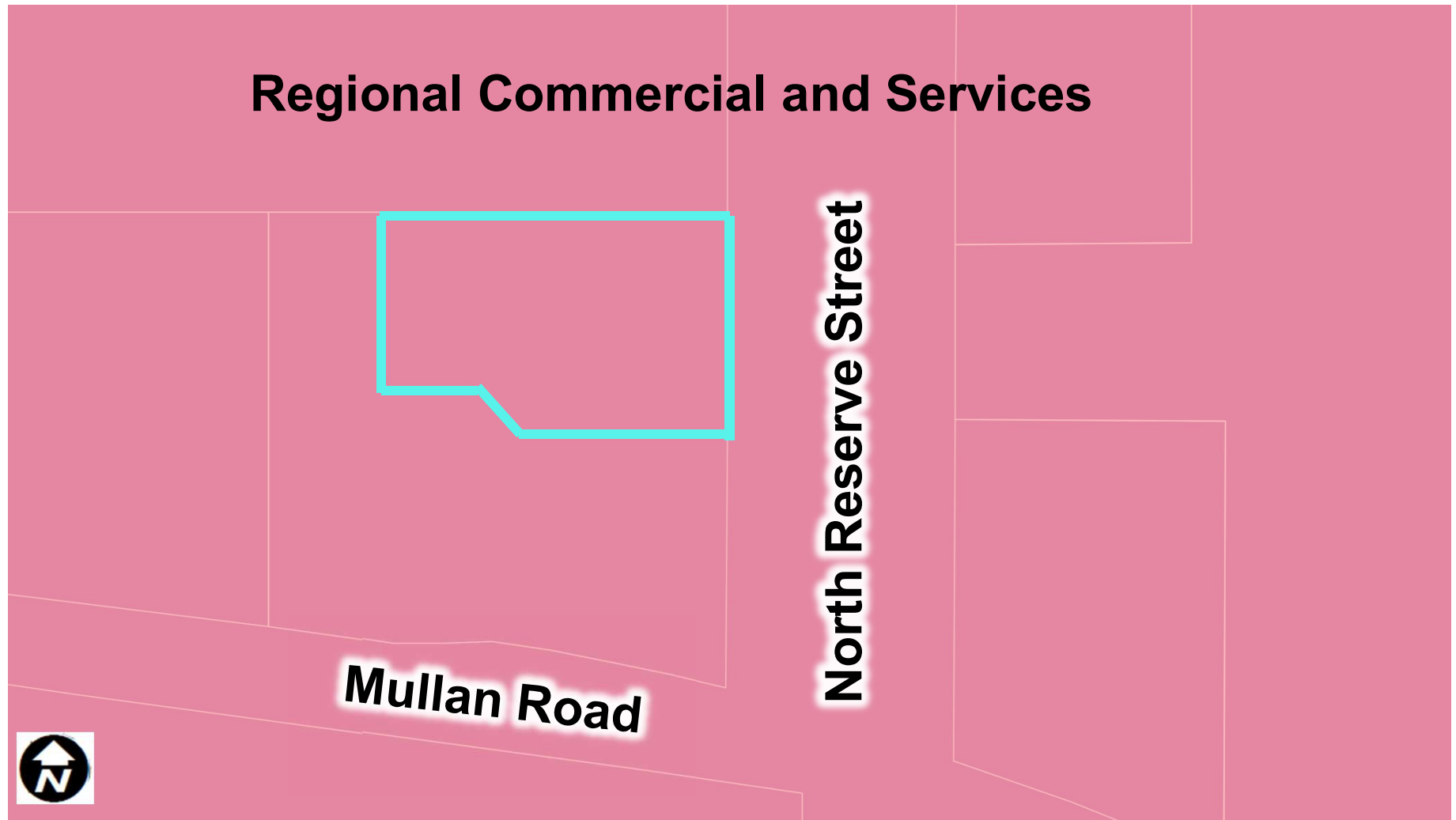
Location



Zoning Map



Our Missoula Growth Policy



Current Conditions



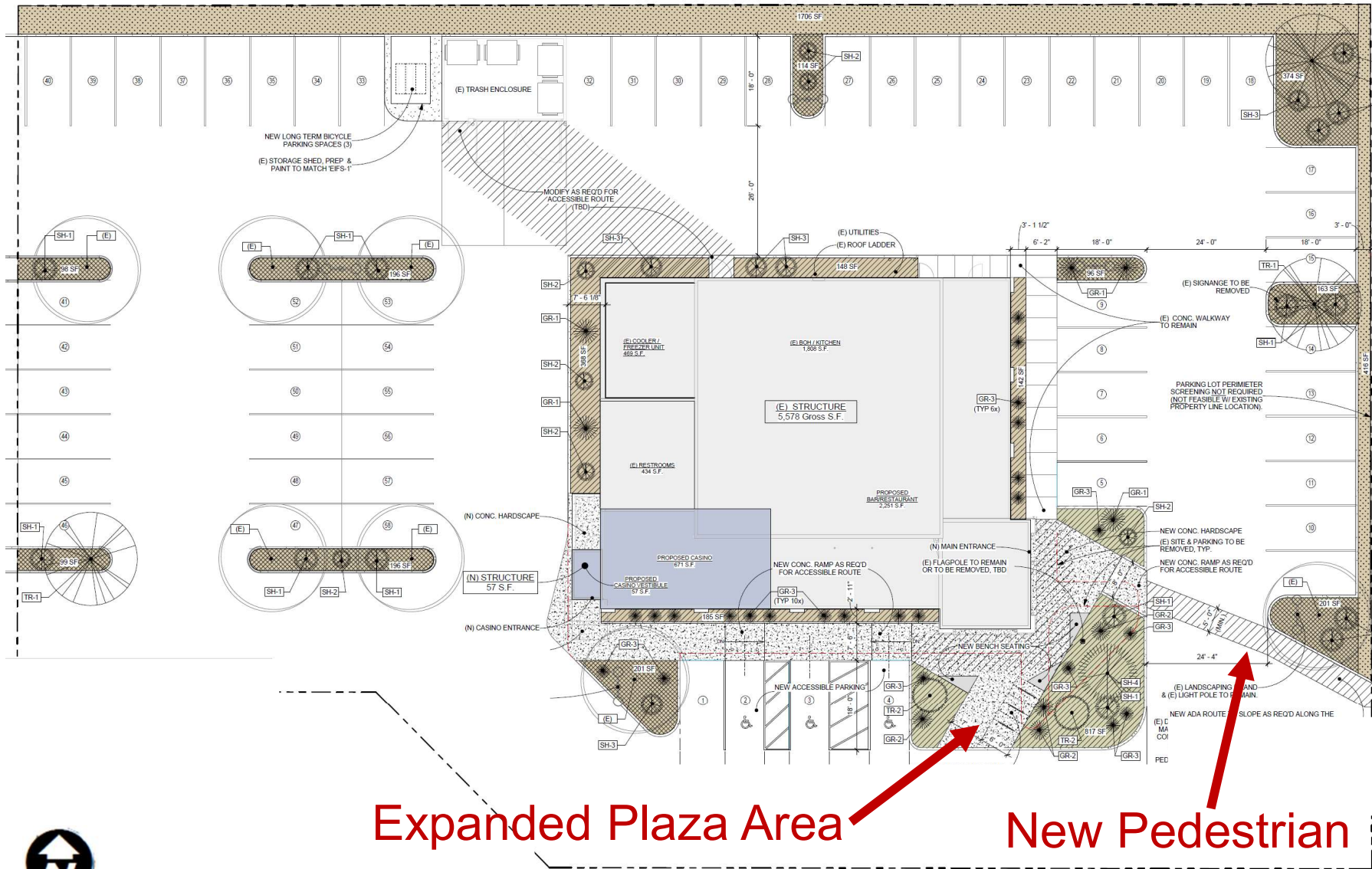
Current Conditions



Current Conditions



Site Plan



N Reserve Street

Expanded Plaza Area

New Pedestrian Route



Parking Calculations



CASINO

20 MACHINES	= 10 SPACES
4 SEATS	= 1 SPACE
2 EMPLOYEES	= 1 SPACE

RESTAURANT / TAVERN

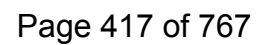
145 SEATS	= 36 SPACES
14 EMPLOYEES	= 7 SPACES

<u>TOTAL PARKING SPACES REQUIRED</u>	= 55 SPACES
--------------------------------------	-------------

<u>TOTAL SPACES PROVIDED</u>	= 58 SPACES
------------------------------	-------------

BICYCLE PARKING SPACES REQUIRED

SHORT TERM (1 PER 10 MOTOR SPACES)	= 6 SPACES
LONG TERM (1 PER 5 EMPLOYEES)	= 3 SPACES



Elevations



Elevations



Conditional Use Review Criteria



- Compliance with Title 20 zoning standards;
- Compatible with the character of the surrounding area – site and building design;
- In the interest of public convenience;
- No adverse impact on general welfare of the neighborhood or community;
- Compatible operating characteristics;
- Traffic safety – all modes of transportation.

Conditions of Approval (1)



The tavern and casino conditional uses at 2275 North Reserve Street shall comply with all applicable portions of Title 20 and Design Excellence Review approval. Plans submitted at the time of building permit application shall substantially conform with the plans submitted at the time of conditional use review, subject to the review and approval of Development Services prior to building permit approval.

Approval of the tavern and casino conditional use request located at 2275 North Reserve Street, in accordance with Missoula City Zoning Ordinance, Title 20, Sections 20.10.020.D, 20.40.040, 20.85.070, and 20.105.040.I.2 and X.1, based on the findings of fact in the staff report and subject to the condition of approval



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: A resolution amending the Engineering Fee Schedule to remove the SWPPP and Erosion Control Permits and to establish the Storm Water Permit and Dry Well Approval

Date: August 5, 2020

Sponsor(s): Tracy L. Campbell

Prepared by: Katie Emery

Ward(s) Affected:

- | | |
|---|---------------------------------|
| <input type="checkbox"/> Ward 1 | <input type="checkbox"/> Ward 4 |
| <input type="checkbox"/> Ward 2 | <input type="checkbox"/> Ward 5 |
| <input type="checkbox"/> Ward 3 | <input type="checkbox"/> Ward 6 |
| <input checked="" type="checkbox"/> All Wards | <input type="checkbox"/> N/A |

Action Required:

Adopt a resolution of the Missoula City Council amending the Engineering Fee Schedule to remove the SWPPP and Erosion Control Permits and establish the Storm Water Permit and Dry Well Approval.

Recommended Motion(s):

I move the City Council: Set a public hearing on September 14, 2020 on a resolution amending the Engineering Fee Schedule to remove the SWPPP and Erosion Control Permits and establish the Storm Water Permit and Dry Well Approval. **September 14, 2020** (Adopt/deny) a resolution amending the Engineering Fee Schedule to remove the SWPPP and Erosion Control Permits and establish the Storm Water Permit and Dry Well Approval.

Timeline:

Referral to committee:	August 10, 2020
Committee discussion:	August 12, 2020
Council action (or sets hearing):	August 17, 2020
Public Hearing:	September 14, 2020
Deadline:	N/A

Background and Alternatives Explored:

Previously, the City implemented the SWPPP permit and the Erosion Control permit for the Storm Water Utility. To comply with the Department of Environmental Quality (DEQ) requirements, these permits need to be removed and the City Council need to implement the proposed Storm Water Permit and Dry Well Approval instead. Without implementing these new items, the City could be at risk for fines issued by the DEQ.

The new Storm Water Permit will encompass all properties where new construction will be generating storm water runoff. A site management plan and post-construction site inspection will be required for each permit. If a dry well is being installed due to new construction, it will also need to be inspected for proper installation. This permit will need to be paid for through the Development Services department and listed in the Engineering Fee Schedule.

Financial Implications:

N/A

Links to external websites:

N/A

Draft Dated August 5, 2020
RESOLUTION NUMBER _____

A resolution of the Missoula City Council amending the Engineering Fee Schedule to remove the SWPPP and Erosion Control Permits and to establish the Storm Water Permit and Dry Well Approval.

WHEREAS, the Storm Water Utility would like to comply with the requirements of the Department of Environmental Quality by establishing the Storm Water Permit and Dry Well Approval to replace the SWPPP and Erosion Control Permits; and

WHEREAS, 7-1-4123(7) MCA authorizes local governments to charge reasonable fees for the provision of services; and

WHEREAS, the City Council duly advertised and conducted a public hearing relating to these proposed fees; and

WHEREAS, in accordance with the City Charter, Article 1, Section 6, a public hearing was duly advertised on August 30, 2020, September 6, 2020 and held by the City Council on September 14, 2020, in order to give the public an opportunity to be heard.

NOW THEREFORE, BE IT RESOLVED that the Missoula City Council hereby amends the Engineering Fee Schedule to remove the SWPPP and Erosion Control Permits and to establish the Storm Water Permit and Dry Well Approval effectively immediately from the date of execution of this resolution.

PASSED AND ADOPTED this _____ day of _____, 2020.

ATTEST:

APPROVED:

Martha L. Rehbein, CMC
City Clerk

John Engen
Mayor

(SEAL)



PUBLIC WORKS • STORM WATER UTILITY

435 RYMAN ST • MISSOULA, MT 59802-4297 • (406) 552-6358

Existing City Permits (to be replaced with new Storm Water Permit)

Existing Permits	Description	Fee
SWPPP	≥1- to 5-acre development/parcel/lot	\$310
	Greater than 5-, up to 10-acre, development/parcel/lot	\$363
	Greater than 10-acre, up to 20-acre, development/parcel/lot	\$422
	Greater than 20-acre development/parcel/lot:	\$508
Grading, Drainage, and Erosion Control	Single family residence with slopes between 5% and 10%	\$376
	Single family residence with slopes greater than 10%	\$434
	Commercial/industrial/multifamily development	\$527

New Storm Water Permit (SWP) and Dry Well Approval

Forms and Checklists	Description	Fee
SWP - Erosion Control Site Plan	Tier 1 2,500 square feet ≤ Disturbance Area < 1 acre Single Family Residential	\$209
	Tier 2 2,500 square feet ≤ Disturbance Area < 1 acre Multifamily/Commercial/Industrial	\$258
	Tier 3 Disturbance Area ≥ 1 acre All projects with a SWPPP	\$516
	Low Priority	
	Medium Priority (need to submit Post-Construction Storm Water Management Plan)	
	High Priority (need to submit Post-Construction Storm Water Management Plan)	
SWP - Storm Water Management Site Plan	Low- and Medium-Priority Sites	\$258
	High-Priority Sites	\$387
Post-Construction Site Inspection Frequency Determination	Low- and medium-priority sites Annual inspection by Owner	
	High-priority sites Annual inspection by City	
Dry Well Approval	Required for new, reconditioned, and closed sumps	\$129



PUBLIC WORKS • STORM WATER UTILITY

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Storm Water Permit (SWP) and Dry Well Approval

Forms and Checklists	Description	Hours	Fee*
SWP - Erosion Control Site Plan	Tier 1 2,500 square feet ≤ Disturbance Area < 1 acre Single Family Residential	6.5	\$209
	Tier 2 2,500 square feet ≤ Disturbance Area < 1 acre Multifamily/Commercial/Industrial	8.5	\$258
	Tier 3 Disturbance Area ≥ 1 acre All projects with a SWPPP	16.0	\$516
	Plan Review 2,500 square feet ≤ Disturbance Area < 1 acre	1.0	
	Disturbance Area ≥ 1 acre All projects with a SWPPP	2.5	
	Site Evaluation Form All projects, submitted by Contractor and Approved by City	0.5	
Construction Site Inspection	Low Priority	1.0	
	Medium Priority (need to submit Post- Construction Storm Water Management Plan)	3.0	
	High Priority (need to submit Post-Construction Storm Water Management Plan)	15.0	
	Notice of Termination (Final Inspection) Requires City concurrence that the conditions of the permit have been achieved	1.0	
	SWP - Storm Water Management Site Plan Low and Medium Priority Sites	8.0	\$258
	High Priority Sites	12.0	\$387
Plan Review	All projects	2.5	
Post-Construction Site Inspection Frequency Determination	All projects, submitted by Contractor and Approved by City	0.5	
Post-Construction Site Inspection	Low- and medium-priority sites Annual inspection by Owner	1.0	
	High-priority sites Annual inspection by City	5	
Notice of Termination (Final Inspection)	Requires City concurrence that the conditions of the permit have been achieved	1.0	
Dry Well Approval	Required for new, reconditioned, and closed dry wells	4.0	\$129
Notice of Termination (Final Inspection)	Requires City concurrence that the conditions of the permit have been achieved	1.0	

*Based on loaded rate of \$32.25/hour for Eng. Permit Tech I and adding 1.5 hour for Admin/Accela and 1.5 for GIS/Recording

Erosion Control Permit: Tier 1 = 4.5 hours (low priority); Tier 2 = 6.5 hours (medium priority); and Tier 3 = 14.0 hours (average medium and high priority)



Storm Water Permits Fact Sheet

The City of Missoula is required to comply with the conditions of our General Permit for Storm Water Discharges associated with Small Municipal Separate Storm Sewer Systems (MS4 Permit). To ensure compliance with federal and state environmental regulations, the City has implemented a Storm Water Permit and Dry Well Approval. This Fact Sheet explains what is needed for your project.

1. Does your project disturb less than 2,500 ft² of land?
Yes Go to 2
No Go to 3
2. Does your project involve installing a dry well?
Yes Dry Well Approval required under an Excavation Permit
No No permits needed for Storm Water, other City permits may still apply to your project
3. Does your project involve installing a dry well?
Yes Dry Well Approval and Storm Water Permit required Go to 4
No Storm Water Permit required Go to 4
4. Storm Water Permit submittals
 - a. Erosion Control Site Plan
 - b. Site Evaluation Form
 - i. Low Priority stop here, nothing else required
 - ii. Medium and High Priority See Table 1 for summary
 1. Storm Water Management Site Plan
 - a. Maintenance Agreement (template provided by City)
 - b. Operation and Maintenance Manual
 2. Post-Construction Inspection Frequency Determination

Table 1. Storm Water Permit Submittals

Construction Inspection Frequency	
Low	Medium and High
<ul style="list-style-type: none">• Erosion Control Site Plan• Site Evaluation Form	<ul style="list-style-type: none">• Erosion Control Site Plan• Site Evaluation Form• Storm Water Management Site Plan• Maintenance Agreement• Operation and Maintenance Manual• Post-Construction Inspection Frequency Determination

Storm Water Permit and Dry Well Approval

City of Missoula
Storm Water Management Program

Tracy Campbell, Regulatory Compliance Manager
(406) 552-6364
campbellTL@ci.missoula.mt.us



Storm Water Utility
Page 46 of 67

Introduction

- Replace the existing Storm Water Pollution Prevention Plan and Erosion Control Permits with the Storm Water Permit (Missoula Municipal Code 13.27)
 - Starting January 1, 2021
 - Applies to permit requests on or after the start date and is not retroactive to permits currently in progress.

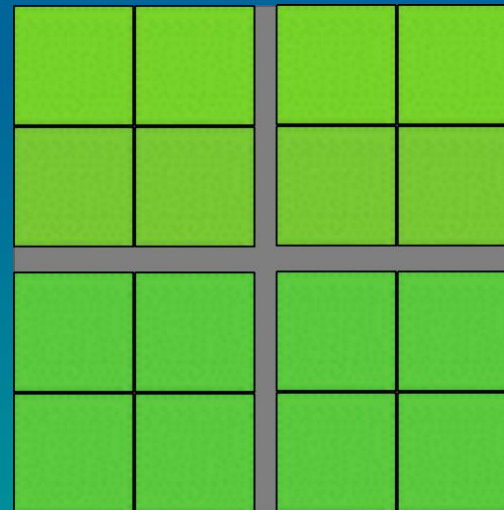
Existing Permits	New Storm Water Permit
1 acre of disturbance	2,500 square feet of disturbance
Change in grade of 3 feet or more	Change in grade of 3 feet or more
\$310 to \$527, per area of disturbance	\$209 to \$903, per area of disturbance, type of development, and site conditions

- New dry well approval (\$129), obtained under an Excavation Permit
 - Starting October 1, 2020

Introduction

- Replace the existing Storm Water Pollution Prevention Plan and Erosion Control Permits with the Storm Water Permit (Missoula Municipal Code 13.27)
 - Starting January 1, 2021
 - Applies to permit requests on or after the start date and is not retroactive to permits currently in progress.

Existing Permits	New Storm Water Permit
1 acre of disturbance	2,500 square feet of disturbance



Purpose and Need

- Storm water runoff is the #1 source of water pollution in Montana and across the U.S.
- To comply with the conditions in the City's General Permit for Storm Water Discharges Associated with Municipal Separate Storm Sewer Systems (MS4 Permit)
 - Clean Water Act compliance
 - Administered by Montana Department of Environmental Quality, under the authority of the U.S. Environmental Protection Agency
- Track and inspect dry wells
 - Safe Drinking Water Act compliance
 - Administered by the U.S. EPA



MS4 Permit Conditions

- Develop a Storm Water Management Program Team
- Minimum Control Measures
 - Public Education and Outreach
 - Public Participation
 - Illicit Discharge Detection and Elimination
 - Construction Site Storm Water Management
 - Post-Construction Storm Water Management
 - Pollution Prevention/Good Housekeeping for Municipal Operations
- Training
- Sampling and Monitoring

MS4 Permit Conditions

- Develop a Storm Water Management Program Team
- Minimum Control Measures
 - Public Education and Outreach
 - Public Participation
 - Illicit Discharge Detection and Elimination
 - Construction Site Storm Water Management
 - Post-Construction Storm Water Management
 - Pollution Prevention/Good Housekeeping for Municipal Operations
- Training
- Sampling and Monitoring

Storm Water Permit



- Regulate smaller project sites
 - 2,500 square feet of disturbance
 - DEQ SWPPP loophole
- Requires an Erosion Control Site Plan (construction)
 - Best Management Practices
 - Protect waterways
 - Prevent pollution
- May require a Storm Water Management Site Plan (post-construction)

Storm Water Permit – Erosion Control Site Plan

- Tier 1 \$209

- 2,500 square feet of disturbance
- Less than one acre of disturbance
- Single family/duplex residential

- Tier 2 \$258

- 2,500 square feet of disturbance
- Less than one acre of disturbance
- Multifamily/commercial/industrial

- Tier 3 \$516

- 1 acre of more of disturbance
- All projects that require coverage under the Montana Department of Environmental Quality Construction General Permit



Storm Water Permit – Storm Water Management Site Plan

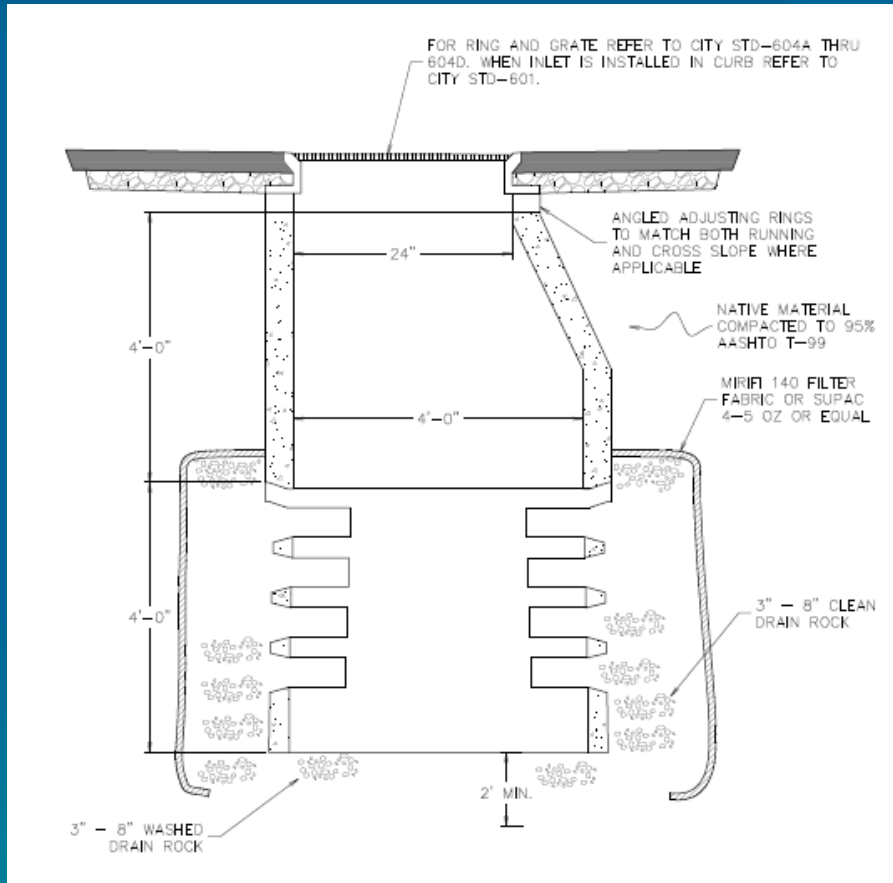


○ \$258 to \$387

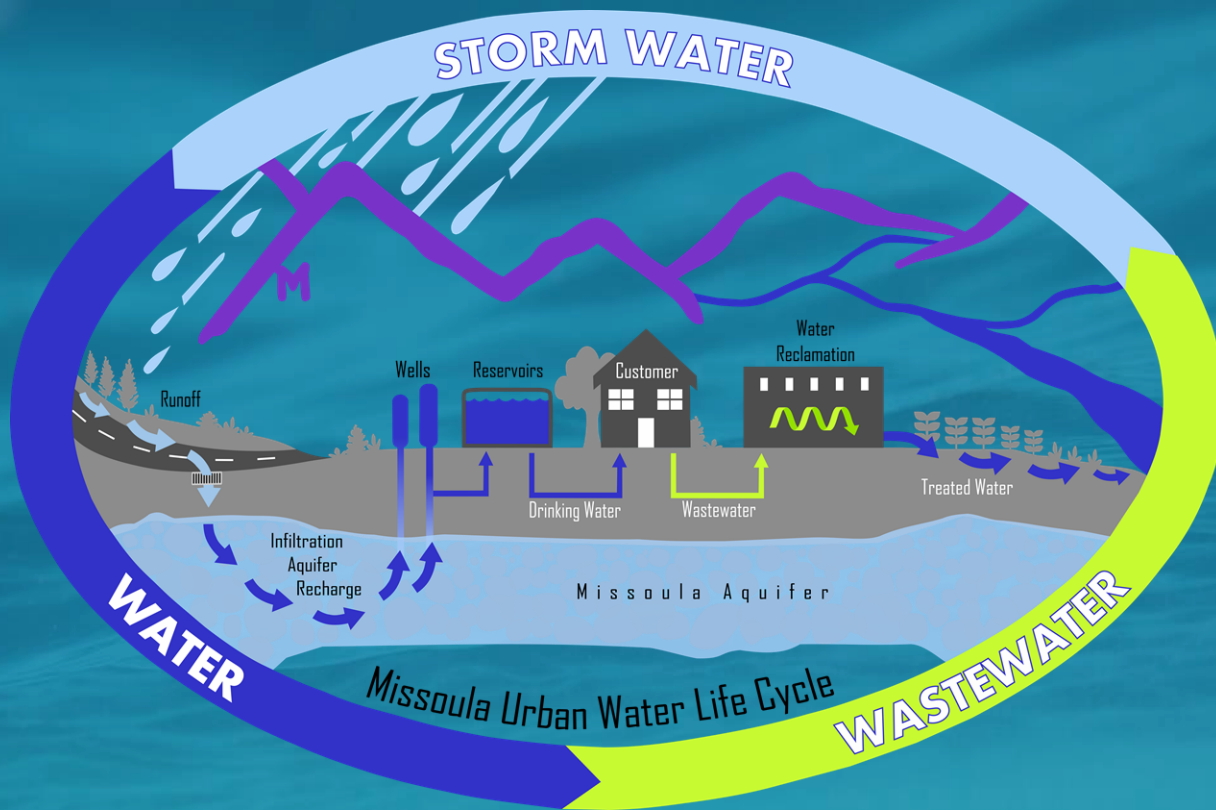
- Required for medium and high priority sites, per the Site Evaluation Form
- Cost per the Post-Construction Inspection Frequency Determination
- Renewed every five years



Dry Well Approval



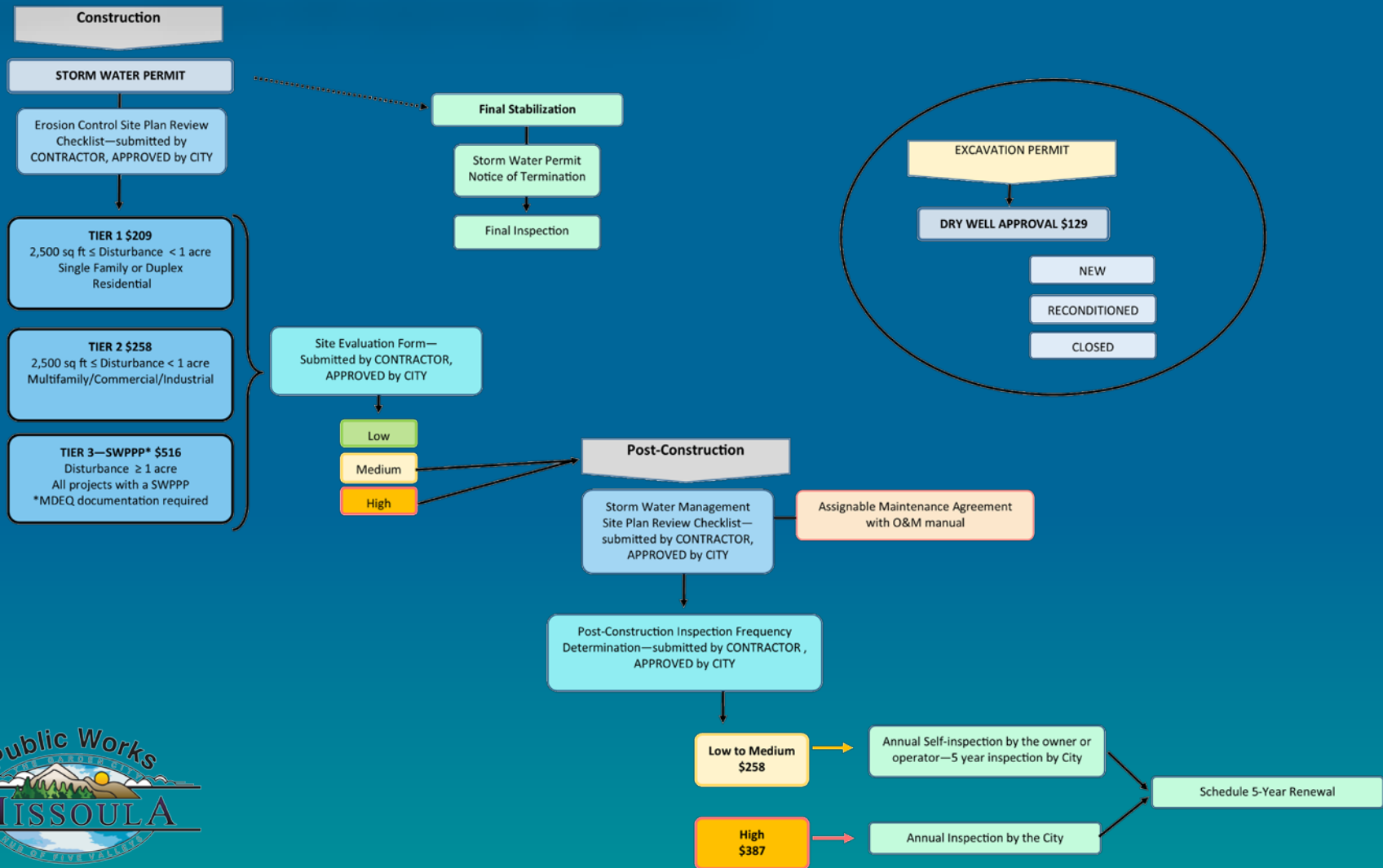
- \$129
- Obtained under an Excavation Permit
- Required for new, reconditioned, and closed dry wells
- Dry wells are regulated under the Safe Drinking Water Act
- An inventory form must be submitted to U. S. EPA by the contractor



Tracy Campbell, Regulatory Compliance Manager
 (406) 552-6364
 campbellTL@ci.missoula.mt.us



Permitting Work Flow



ANNEXATION AND ZONING STAFF REPORT & REFERRAL

Agenda item:	Referral and Staff Report – 3270 and 3770 Mullan Rd. – Mullan Crossing Annexation	
Report Date:	8/13/2020	
Case Planner:	Cassie Tripard, Associate Planner	
Report Reviewed & Approved By:	Mary McCrea, Permits and Land Use Manager	
Public Meetings & Hearing Schedule		
City Council referral:	8/17/2020	
LUP recommends resolution of intent:	8/19/2020	
City Council adopts resolution of intent & sets public hearing:	8/24/2020	
City Council public hearing & final resolution to annex:	9/14/2020	
Applicant & Owner:	George Jensen Family Limited Partnership PO Box 1479 Missoula, MT 59806	
Representative:	Jason Rice Territorial-Landworks, Inc./IMEG 1817 South Avenue West Missoula, MT 59801	
Location of request:	3720 and 3770 Mullan Rd. Missoula, MT 59808	
Legal description:	3770 Mullan Rd.: Tract 1 of Halling Farms located in Section 18, Township 13 North, Range 19 West, P.M.M. 3720 Mullan Rd.: Tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M.	
Legal ad:	August 30, 2020 and September 6, 2020 in the <i>Missoulian</i>	
Growth policy:	The applicable regional plan is the <i>Our Missoula: City Growth Policy 2035</i> , which recommends a land use designation of “Community Mixed Use” for the property located at 3770 Mullan Rd. and “Regional Commercial and Services” for the property located at 3720 Mullan Rd.	
Zoning:	3720 Mullan Rd.: C-C2 General Commercial (County) 3770 Mullan Rd.: C-RR3 Residential (1 dwelling unit / 4 acres) (County)	
Surrounding Land Uses		Surrounding Zoning
North:	Vacant land	C1-4 Neighborhood Commercial
South:	Limited Manufacturing, Production and Industrial Service	M1-2 Limited Industrial
East:	Financial Services (Bank) and Entertainment and Spectator Sport use (Movie Theater)	C1-4 Neighborhood Commercial
West:	Multi-dwelling Residential	B2-2 Community Business

RECOMMENDED MOTIONS

LUP: 8/19/2020	Adopt a resolution of intention to annex and incorporate within the boundaries of the City of Missoula two certain parcels of land described as Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M., and zone the property C1-3 Neighborhood Commercial, based on the findings of fact in the staff report, subject to the recommended conditions of annexation approval, and set a public hearing for September 14, 2020.
CC p/h: 9/14/2020	(Adopt/Deny) a resolution to annex and incorporate within the boundaries of the City of Missoula two certain parcels of land described as Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M., and zone the property C1-3 Neighborhood Commercial, based on the findings of fact in the staff report and subject to the recommended conditions of annexation approval.

I. RECOMMENDED CONDITIONS

Road Improvements

1. The applicant shall dedicate 25 feet of right-of-way measured from the southern property boundary of the two tracts of land, Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 shown on Exhibit A, and shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on either lot with frontage on Mullan Road or within two (2) years of annexation, whichever is sooner. The improvements on the north side of Mullan Road shall include: curb and gutter, drainage facilities, 5-foot wide bike lane, 10-foot wide landscaped boulevard, 6-foot wide sidewalk, patch back to existing paving and pedestrian crossings at Clark Fork Lane and Mullan Road.
2. The applicant shall dedicate 67 feet of right-of-way on the southern portion of Clark Fork Lane and install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of the City Engineer, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The improvements on the west side of Clark Fork Lane shall include: curb and gutter, 7-foot boulevard, 5-foot sidewalk, and 6-foot bike lane on the west side of Clark Fork Lane.
3. The applicant shall dedicate 61 feet of right-of-way on the northern portion of Clark Fork Lane and install full street improvements for this portion of Clark Fork Lane, subject to review and approval of the City Engineer, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The improvements shall include: 35 feet back-of-curb to back-of-curb roadway, curb and gutter, drainage facilities, 11-foot travel lanes, 6-foot bike lanes, 7-foot boulevards and 5-foot sidewalks.
4. The applicant shall provide an access easement filed with the County Clerk and Recorder from Clark Fork Lane across the tract of land described in Book 128 of Micro Records at Page 461 for the use and benefit of Tract 1 of Halling Farms, subject to review and approval of City Engineering, prior to building permit approval on parcels south of Clark Fork Lane.

Fire and Utilities

5. The applicant shall install a fire hydrant per the City Fire approved hydrant plan, subject to review and approval of City Fire, prior to combustible construction.
6. The applicant shall extend a 12-inch water main within the Mullan Road right-of-way from the existing main in Clark Fork Lane to serve Tract 1 of Halling Farms, subject to review and approval by City Public Works and City Engineering, prior to building permit approval of the first structure on Tract 1 of Halling Farms. Alternatively, the applicant could connect fire and domestic services to the water main in the adjacent property to the west if an easement is obtained and filed with the County Clerk and Recorder, subject to review and approval of City Public Works and City Engineering, prior to building permit approval of the first structure on Tract 1 of Halling Farms. Additional public utility infrastructure for water and sewer may be required at the time of building permit approval as determined by City Public Works and City Engineer.

Boulevard Landscaping

7. The applicant shall prepare a boulevard landscaping and maintenance plan for Clark Fork Lane and the portion of Mullan Road adjacent to the subject property, subject to review and approval of City Parks and Recreation, prior

to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The boulevard landscaping shall be installed and maintained per the approved boulevard landscaping and maintenance plan prior to certificate of occupancy for each building permit.
<u>Transit</u>
8. The applicant shall petition into the Missoula Urban Transportation District prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner, subject to review and approval by Development Services.
II. PROJECT SUMMARY
<u>Introduction</u>
1. Development Services has received a petition from Jason Rice of Territorial Landworks Inc./IMEG, on behalf of property owner George Jensen, a general partner of the George Jensen Family Limited Partnership, requesting annexation into the City of Missoula, and zoning upon annexation of C1-3 Neighborhood Commercial for 0.79 acres of land at 3770 Mullan Road and 3.5 acres of land at 3720 Mullan Road.
<u>Property Information</u>
2. The subject property consists of two parcels located at 3770 Mullan Road and 3720 Mullan Road, wholly surrounded by the City limits.
3. The subject property is adjacent to City limits on all sides. Per the City Annexation Policy, the City should prioritize the annexation of properties that would fill in gaps left by previous annexations that created islands, and other types of non-contiguous boundaries. This annexation will fill in a gap left by previous annexations.
4. Upon annexation, the subject property will become part of City Council Ward 2, and the Captain John Mullan Neighborhood Council.
5. The legal description of 3770 Mullan Road is Tract 1 of Halling Farms, located in Section 18, Township 13 North, Range 19 West, P.M.M. The legal description of 3720 Mullan Road is described in Book 128 of Micro Records at Page 461 and shown on Exhibit A.
6. There is an existing detached house at 3770 Mullan Road. The property described as 3720 Mullan Road contains an existing detached house and two accessory storage structures.
7. The parcel to the north of the subject property is vacant. The parcel to the east of the subject property contains financial services (bank) and entertainment and spectator sports (movie theater) uses. The parcel to the west of the subject property contains multi-dwelling residential. The parcel to the south of the subject property contains limited manufacturing, production and industrial service uses.
8. The subject properties fall under floodplain classification Zone X, Area of Minimal Flood Hazard.
<u>Annexation Request</u>
9. The property owner, George Jensen, filed Petition No. 10023, requesting the annexation of this property.
10. The subject property is inside the Urban Growth Area, the Utilities Service Area, and the Air Stagnation Zone. Per the City Annexation Policy, the City should prioritize the annexation of areas located within the Utilities Services Area, and areas that contribute to the logical growth pattern of the City by creating orderly and contiguous municipal boundaries.
11. The subject property will be added to the service area for the City Fire and Police Departments.
12. City Fire reviewed the proposal and will require the installation of a new fire hydrant to meet current city standards. Per the City Annexation Policy, the city should prioritize the annexation of areas that meet current city standards and equitably provide the same levels of service and infrastructure as other parts of the municipality with similar topography, land use, and population density. In order to meet current City Fire standards, staff recommends a condition of approval that requires installation of a fire hydrant per the City Fire approved hydrant plan.

<u>Annexation Policy</u>
13. The subject property is part of Annexation Area 'A' on the City's Annexation Policy Map. Areas designated as Annexation Area 'A' largely meet the guidelines of the City's Annexation Policy. Per the City Annexation Policy, the City should prioritize the annexation of areas located within the Annexation Area 'A'.
<u>Road Improvements, Transit, and Utility Infrastructure</u>
14. The properties described as 3770 and 3720 Mullan Road have frontage on one (1) public right-of-way: Mullan Road to the south which is functionally classified as a minor arterial street.
15. This portion of Mullan Road does not meet current city standards for a minor arterial street. Per the City Annexation Policy, the City should prioritize the annexation of areas that meet current city standards, including transportation infrastructure, and equitably provide the same levels of service and infrastructure as other parts of the municipality with similar topography, land use, and population density.
16. In order to meet current city standards, staff recommends a condition of approval that requires the applicant to dedicate right-of-way for Mullan Road and install half street improvements meeting minor arterial standards.
17. The property described as 3720 Mullan Road is intersected by proposed Clark Fork Lane. Clark Fork Lane is currently located within an existing public access easement.
18. The southern portion of Clark Fork Lane does not meet current city standards because it does not provide pedestrian and bicycle infrastructure on the west side of the road. Per the City Annexation Policy, the city should prioritize the annexation of areas that meet current city standards, including transportation infrastructure and equitably provide the same levels of service and infrastructure as other parts of the municipality with similar topography, land use, and population density.
19. In order to meet current city standards, staff recommends a condition of approval that requires the applicant to dedicate right-of-way on the southern portion of Clark Fork Lane and install road improvements on the west side of Clark Fork Lane adjacent to the subject property.
20. The portion of Clark Fork Lane connecting the southern portion of Clark Fork Lane on the subject property to Clark Fork Lane on the property to the west is not currently constructed. Per the City Annexation Policy, the City should prioritize annexation of areas that meet current city standards, including transportation infrastructure and equitably provide the same levels of service and infrastructure as other parts of the municipality with similar topography, land use, and population density.
21. In order to meet current city standards, staff recommends a condition of approval that requires the applicant to dedicate right-of-way on the northern portion of Clark Fork Lane and install full street improvements for the northern portion of Clark Fork Lane.
22. Current city standards require landscaped boulevards on City Streets. Boulevards are not required along the east side of the southern portion of Clark Fork Lane, because there are existing curbside sidewalks. Per the City Annexation Policy, the City should prioritize annexation of areas that meet current city standards, including transportation infrastructure and equitably provide the same levels of service and infrastructure as other parts of the municipality with similar topography, land use, and population density.
23. In order to meet current city standards which require boulevards, staff recommends a condition of approval that requires the applicant to prepare a boulevard landscaping and maintenance plan for Clark Fork Lane and Mullan Road adjacent to the subject property and installation of boulevards and sidewalks where there are no sidewalks.
24. There is an existing access easement from Clark Fork Lane to the parcel to the east containing the access drive to the bank.
25. Tract 1 of Halling Farms only has frontage on Mullan Road. Due to the proximity of the parcel to the intersection of Mullan Road and Clark Fork Lane, City Engineering will not grant access to the parcel from Mullan Road. Access will need to be provided from Clark Fork Lane through the tract of land to the north of Tract 1 of Halling Farms.

26. In order to provide access to Tract 1 of Halling Farms and to equitably provide the same levels of service and infrastructure as other parts of the municipality with similar topography, land use, and population density per the City Annexation Policy, staff recommends a condition that requires the applicant to file an access easement with the County Clerk and Recorder from Clark Fork Lane across the tract of land described in Book 128 of Micro Records at Page 461 for the use and benefit of Tract 1 of Halling Farms.
27. The subject property is not connected to City water or sewer. New construction will be required to connect to both utilities.
28. There is an existing water main located in Clark Fork Lane that extends from Mullan Road to the western property boundary of 3720 Mullan Road.
29. There is an existing sewer main located in the southern portion of Clark Fork Lane.
30. Per the City Annexation Policy, the city should prioritize annexation of areas that meet current city standards, including water and sewer infrastructure and equitably provide the same levels of service and infrastructure as other parts of the municipality with similar topography, land use, and population density
31. In order to meet current city standards, staff recommends a condition of approval which requires the extension of a water main within the Mullan Road right-of-way. Alternatively, the applicant could connect fire and domestic services to the water main in the adjacent property to the west if an easement is obtained and filed with the County Clerk and Recorder.
32. Per the City Annexation Policy, where appropriate, proposed annexation areas should be conditioned to join the Missoula Urban Transportation District.
33. In order to comply with the City Annexation Policy, staff recommends a condition of approval that states the applicant shall petition into the Missoula Urban Transportation District.
34. New development will be required to meet Missoula Municipal Codes, as well as all other applicable standards and regulations.
<u>Growth Policy & Zoning</u>
35. The applicable regional plan is Our Missoula: City Growth Policy 2035 which recommends a land use designation of Community Mixed Use for 3770 Mullan Road and Regional Commercial and Services for 3720 Mullan Road. The City Annexation Policy states that any annexation by the City should be guided by the current City Growth Policy.
36. Areas such as 3770 Mullan Road that are designated as Community Mixed Use promote the basic employment and services necessary for a vibrant community. High density residential development (up to 43 dwelling units per acre) is also permitted in the zoning districts corresponding to this land use designation. The corresponding zoning districts are: C1 Neighborhood Commercial, C2 Community Commercial, and M1R-2 Limited Industrial-Residential.
37. Areas such as 3720 Mullan Road that are designated as Regional Commercial and Services are for commercial uses that serve the needs of the broader region and often require larger land areas. High density residential development (up to 43 dwelling units per acre) is also permitted in most zoning districts corresponding to this land use designation. The corresponding zoning districts are: C2 Community Commercial, M1R-2 Limited Industrial-Residential, OP3 Public Lands and Institutions, and C1 Neighborhood Commercial.
38. The current County zoning that applies to 3770 Mullan Road is C-RR3, Residential. This district provides for four dwelling units per acre density, single-family and two-family housing in areas served by an adequate public water and sewer system, and promotes a residential density consistent with availability of public facilities and with the physical limitations of the land.
39. The current County zoning that applies to 3720 Mullan Road is C-C2, General Commercial. This district provides for the conduct of retail trades and services that are inherently automotive and highway oriented and for commercial uses of low intensity which may require large areas of land.
40. The requested City zoning upon annexation for both parcels is C1-3 Neighborhood Commercial. Staff supports this request, as it aligns with the Growth Policy recommendation for this area.

<u>Statutory Requirements</u>
41. Section 7-2-4211 MCA requires municipalities to include the full width of any public street or road right-of-way that are adjacent to the property being annexed.
42. The adjacent public right-of-way for Mullan Road has already been annexed into the City of Missoula.
43. Clark Fork Lane is currently located within a public access easement. Clark Fork Lane will be annexed into the City of Missoula and dedicated as right-of-way per the recommended conditions of approval.
44. The city will meet the statutory requirements for a petition method annexation in regards to MCA 7-2-4601 – 4625 and the MMC 20.85.040(I)(2) by considering the petition, adopting a resolution of intent and scheduling a public hearing regarding the zoning upon annexation, and advertising public notice for at least 15 days prior to the public hearing with the appropriate recommended zoning. The final step for council will be to adopt a resolution to adopt or deny the annexation request.
<u>Zoning Upon Annexation</u>
45. MCA 76-2-303 allows a municipality to conduct a hearing on the annexation in conjunction with a hearing on the zoning of the property proposed for annexation. Title 20 Zoning Ordinance, Section 20.85.040(I)(2) outlines the three review criteria taken from MCA 76-2-303 (3) which may be considered for zoning upon annexation. An annexation must comply with at least one of the criteria. The zoning district classification assigned at the time of annexation must:
a. Authorize land uses comparable to the land use authorized under the county zoning classification that applied to the property immediately before it was annexed in the city;
b. Authorize land uses that are consistent with the land uses approved by the Board of County Commissioners or the County Board of Adjustment; or
c. Be consistent with the land use and zoning recommendations for the subject areas, as set forth in the “ <i>Our Missoula Growth Policy</i> .”
50. The applicable regional plan is Our Missoula: City Growth Policy 2035 which recommends a land use designation of Community Mixed Use for 3770 Mullan Road and Regional Commercial and Services for 3720 Mullan Road. Areas designated as Community Mixed Use promote the basic employment and services necessary for a vibrant community. High density residential development (up to 43 dwelling units per acre) is also permitted in most zoning districts corresponding to this land use designation. The corresponding zoning districts are: C1 Neighborhood Commercial, C2 Community Commercial, and M1R Limited Industrial-Residential. Areas designated as Regional Commercial and Services are for commercial uses that serve the needs of the broader region and often require larger land areas. High density residential development (up to 43 dwelling units per acre) is also permitted in most zoning districts corresponding to this land use designation. The corresponding zoning districts are: C2 Community Commercial, M1R-2 Limited Industrial-Residential, OP3 Public Lands and Institutions, and C1 Neighborhood Commercial.
51. The requested C1-3 zoning district is one of the zoning districts that is associated with both Community Mixed Use and Regional Commercial and Services land use designations.
52. Criterion 2c applies to this annexation request because it applies a zoning district that is in alignment with the Growth Policy land use designation for the subject parcel.
46. Based on compliance with Criteria 20.85.040(I)(2)(c), staff recommends annexation of the subject property, and zoning upon annexation of the subject property of C1-3 Neighborhood Commercial upon annexation, subject to the recommended conditions of approval.
47. If the City Council does not approve the request to annex the subject property and apply the C1-3 Neighborhood Commercial zoning, the Resolution to Annex and the zoning upon annexation of the property shall become null and void, and the property shall revert to its original status in the County of Missoula.
III. ATTACHMENTS
1. Exhibit A

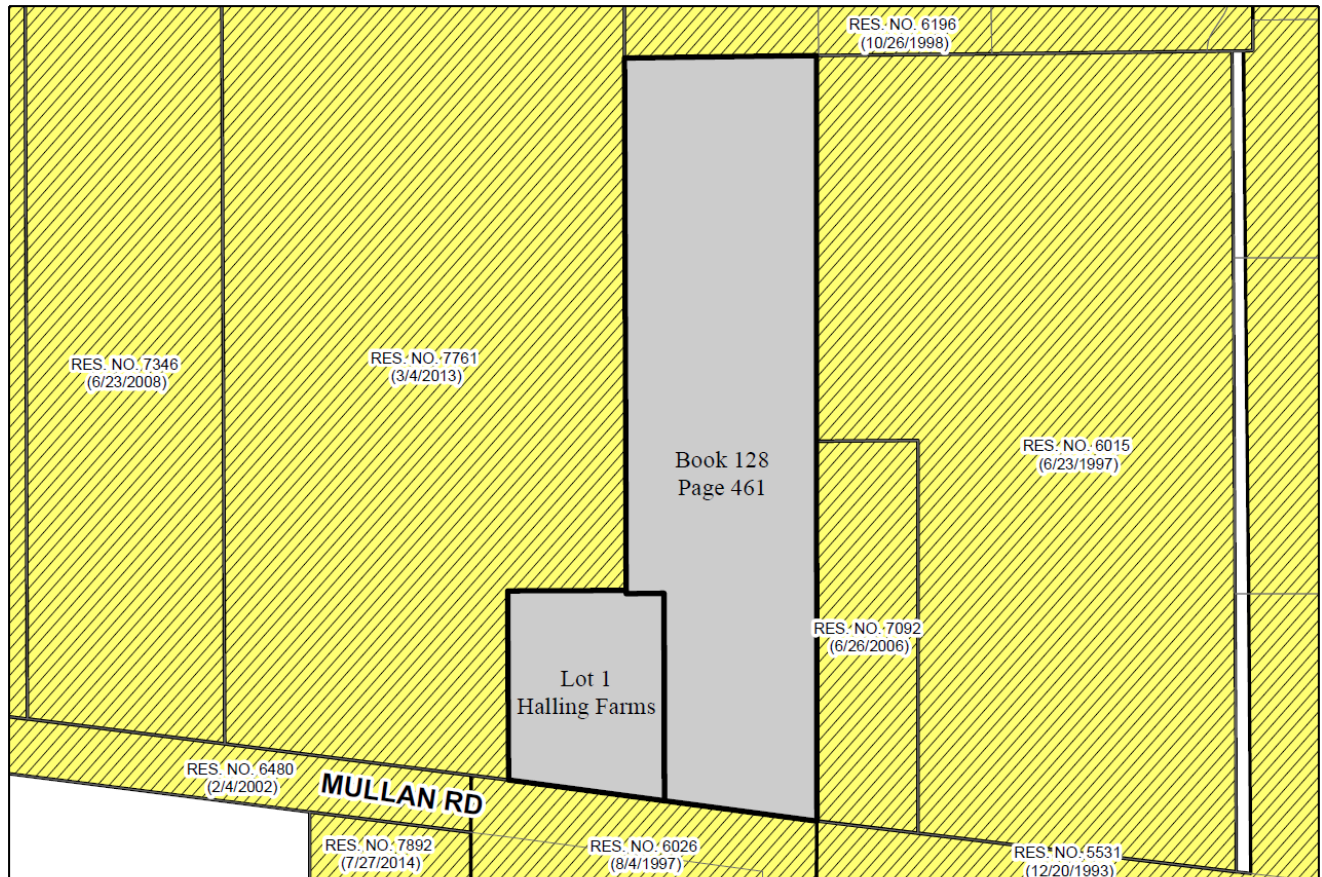


Exhibit A



**Lot 1 of Halling Farms
& Tract in the SESE of Sec18 T13N R19W
as recorded in Book 128 of Micro Records at Page 461
Missoula County, Montana**

All Located in Section 18, T.13 N., R.19 W., P.M.M.

Prepared by: CITY OF MISSOULA GIS SERVICES

Legend

- Proposed Annexation
- Annexation Resolutions
- Parcel Boundaries
- City Limits



November 14, 2019

Development Services
c/o Mary McCrea, Planning Supervisor
435 Ryman Street
Missoula, MT 59802

RE: Annexation Submittal – Mullan Crossing Property
Tract 1 of Halling Farms and a Tract of land located in the SE1/4 of the NE1/4 of Section 18, all located in Section 18, Township 13N, Range 19W, Missoula County, Montana

Dear Mary,

The purpose of this letter is to formally request annexation of the above described 3.5-acre and 0.79-acre properties. The requested zoning upon annexation is C1-3. This zoning will work well with the intended use of the site and it will be consistent with other zoning designations in the vicinity of this property.

I've attached a signed copy of the annexation petition. Please let me know if any edits are needed.

We look forward to meeting with you for the pre-application meeting for this project. If you have any questions, please feel free to contact me at (406) 721-0142 or christinal@territoriallandworks.com.

Sincerely,
Territorial-Landworks, Inc.


Christine Loucks, Planning Technician

Enclosures: Annexation Petition

C. File & Scan (with attachments)

T:\1_ACTIVE FILES\2019 Projects\5458 - Walker Mullan Crossing Commercial Development\4_PLANNING\Annexation\ltr.2019-11-14.CDS.Annexation Petition.doc

Return to:	City Clerk
	City of Missoula
	435 Ryman Street
	Missoula MT 59802-4297

PETITION NO.

BEFORE THE CITY
COUNCIL CITY OF
MISSOULA

PETITION FOR ANNEXATION TO CITY

SUID#: 1732459 & 2318906

GeoCode# 04-2200-18-2-02-13-0000 & 04-2200-18-1-04-12-0000

Dated this 6th day of November, 2019.

COME NOW the undersigned and respectfully petitions the City Council of the City of Missoula requesting city annexation of the following real property into the City of Missoula.

The petitioner(s) requesting City of Missoula annexation of the property described herein hereby mutually agree with the City of Missoula that immediately upon annexation of the land all City of Missoula municipal services will be provided to the property described herein on substantially the same basis and in the same manner as such services are provided or made available within the rest of the municipality prior to annexation.

Petitioner(s) hereby agrees and submits the real property described herein to municipal taxation and assessments upon annexation, including but not limited to sanitary sewer utility assessments, in the same manner as other private property within the city is taxed and assessed for municipal tax, assessment and utility service purposes.

Petitioner(s) hereby states that there is no need to prepare a Municipal Annexation Service Plan for this annexation pursuant to Section 7-2-4610, MCA since the parties are in agreement as to the provision of municipal services to the property requested to be annexed.

LEGAL DESCRIPTION OF PROPERTY TO BE ANNEXED:

TRACT 1 OF HALLING FARMS, LOCATED IN SECTION 18, TOWNSHIP 13 NORTH, RANGE 19 WEST, MISSOULA COUNTY, MONTANA

TOGETHER WITH A TRACT OF LAND LOCATED IN THE SE1/4NE1/4 OF SECTION 18, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN, MONTANA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST BOUNDARY OF SAID SE1/4NE1/4 OF SECTION 18, WHICH POINT IS SOUTH 327.6 FEET FROM THE NORTHWEST CORNER OF SAID SE1/4NE1/4; THENCE N.89°32'30"E., 200.0 FEET; THENCE SOUTH 809.6 FEET TO THE NORTHERLY BOUNDARY OF A COUNTY ROAD; THENCE N.82°08'W. ALONG SAID NORTHERLY ROAD BOUNDARY 161.6 FEET; THENCE NORTH 219.3 FEET; THENCE WEST 40.0 FEET TO THE WEST BOUNDARY OF SAID SE1/4NE1/4; THENCE NORTH 568.1 FEET TO THE POINT OF BEGINNING.

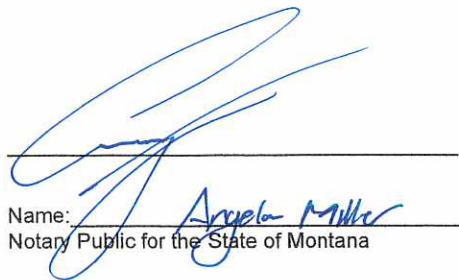
RECORDING REFERENCE: BOOK 701 OF MICRO RECORDS AT PAGE 1199.

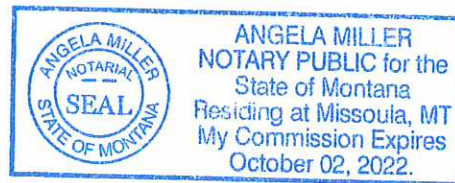
PROPERTY ADDRESS: 3770 & 3720 Mullan Road, Missoula, MT 59808


GEORGE JENSEN, GENERAL PARTNER

STATE OF MONTANA)
 : ss
County of Missoula)

This instrument was acknowledged before me on this 6th day of November, 2019
by George Jensen, General Partner of George Jensen Family Limited Partnership.


Name: Angela Miller
Notary Public for the State of Montana



STATE OF MONTANA)
) ss.
County of Missoula)

On this DATE day of MONTH, YEAR, before me the undersigned, a Notary Public for the State of Montana, personally appeared NAME(S), known to me personally (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name/s is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

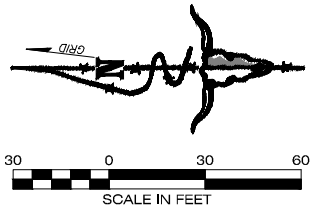
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal on the day, month, and year in this certificate first above written.

(Printed name required)
Notary Public for the State of Montana.

(SEAL) Residing at My Commission Expires: MM/DD/YY

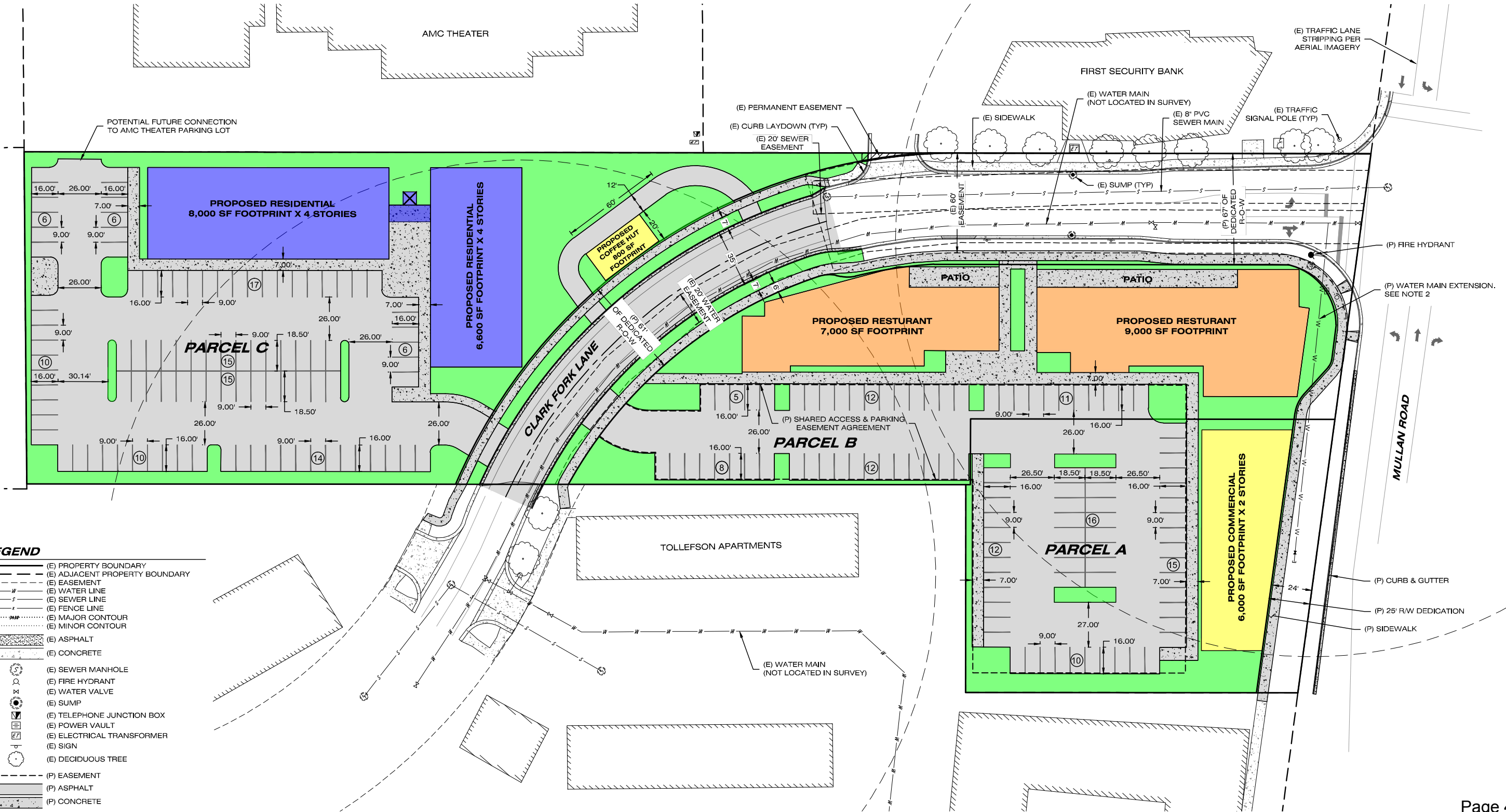
PARCEL	SIZE (APPROX.)	PROPOSED ZONING	PROPOSED DEVELOPMENT	LANDSCAPE AREA		
				REQUIRED	PROVIDED	PARKING
A	30,572	C1-3	12,000 SF COMMERCIAL, 6,000 SF FOOTPRINT ONE BUILDING / 2 LEVELS	4,576	4,680	53
B	43,242	C1-3	TWO RESTAURANT(S) TOTALING 12,000 SF INDIVIDUAL BUILDING SIZES: 9,000 SF / 7,000 SF	6,447	6,955	48
C	68,600	C1-3	MULTI-FAMILY APARTMENTS - 68 UNITS TOTAL: RESIDENTIAL BLDG A - 8,000 SF PER FLOOR / 4 FLOORS RESIDENTIAL BLDG B - 6,600 SF PER FLOOR / 4 FLOORS	10,290	16,462	99

- NOTES:
1. FINAL SITE PLANS WILL MEET ALL APPLICABLE ZONING REQUIREMENTS (SETBACKS, PARKING, LANDSCAPING, ETC.)
 2. RESIDENTIAL UNITS WILL INCLUDE ROOFTOP ACTIVITY AREAS AND PATIOS
 3. PARCELS A AND B TO HAVE ACCESS AND PARKING EASEMENT AGREEMENT
 4. ALTERNATE WATER MAIN EXTENSIONS TO PARCEL "A" BEING CONSIDERED AND EVALUATED
 5. ALL INFORMATION PROVIDED WITH THIS PRELIMINARY SITE MAP IS CONCEPTUAL BY NATURE. ANYTHING IN THIS MAP IS SUBJECT TO CHANGE FOR THE FINAL DESIGN



BASIS OF BEARING
MONTANA STATE PLANE, ZONE 2500
GROUND (TRUE) DISTANCES
GRID NORTH

VERTICAL DATUM
NAVD88



- LEGEND**
- (E) PROPERTY BOUNDARY
 - (E) ADJACENT PROPERTY BOUNDARY
 - (E) EASEMENT
 - (E) WATER LINE
 - (E) SEWER LINE
 - (E) FENCE LINE
 - (E) MAJOR CONTOUR
 - (E) MINOR CONTOUR
 - (E) ASPHALT
 - (E) CONCRETE
 - (E) SEWER MANHOLE
 - (E) FIRE HYDRANT
 - (E) WATER VALVE
 - (E) SUMP
 - (E) TELEPHONE JUNCTION BOX
 - (E) POWER VAULT
 - (E) ELECTRICAL TRANSFORMER
 - (E) SIGN
 - (E) DECIDUOUS TREE
 - (P) EASEMENT
 - (P) ASPHALT
 - (P) CONCRETE

TERRITORIAL LANDWORKS, INC.
CIVIL ENGINEERING • SURVEYING • LAND USE CONSULTING
www.territoriallandworks.com
P.O. Box 3851
Missoula, MT 59806
Ph: 406/721-0182
Fax: 406/721-5224

DATE: _____
REVISIONS: _____
DESIGNED: _____
DRAFTED: AE
CHECKED: _____
DATE: MAY 2020

LOCATION: SECTION 18, T13N, R19W, P.M.M.
CITY OF MISSOULA, MISSOULA CO., MT
PREPARED FOR: WALKER HOMES AND DEVELOPMENT

MULLAN CROSSING
ANNEXATION SITE PLAN

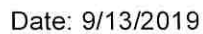
PROJECT NO. 19-5458
SHEET: 1 OF 1

PRELIMINARY

Vicinity Map

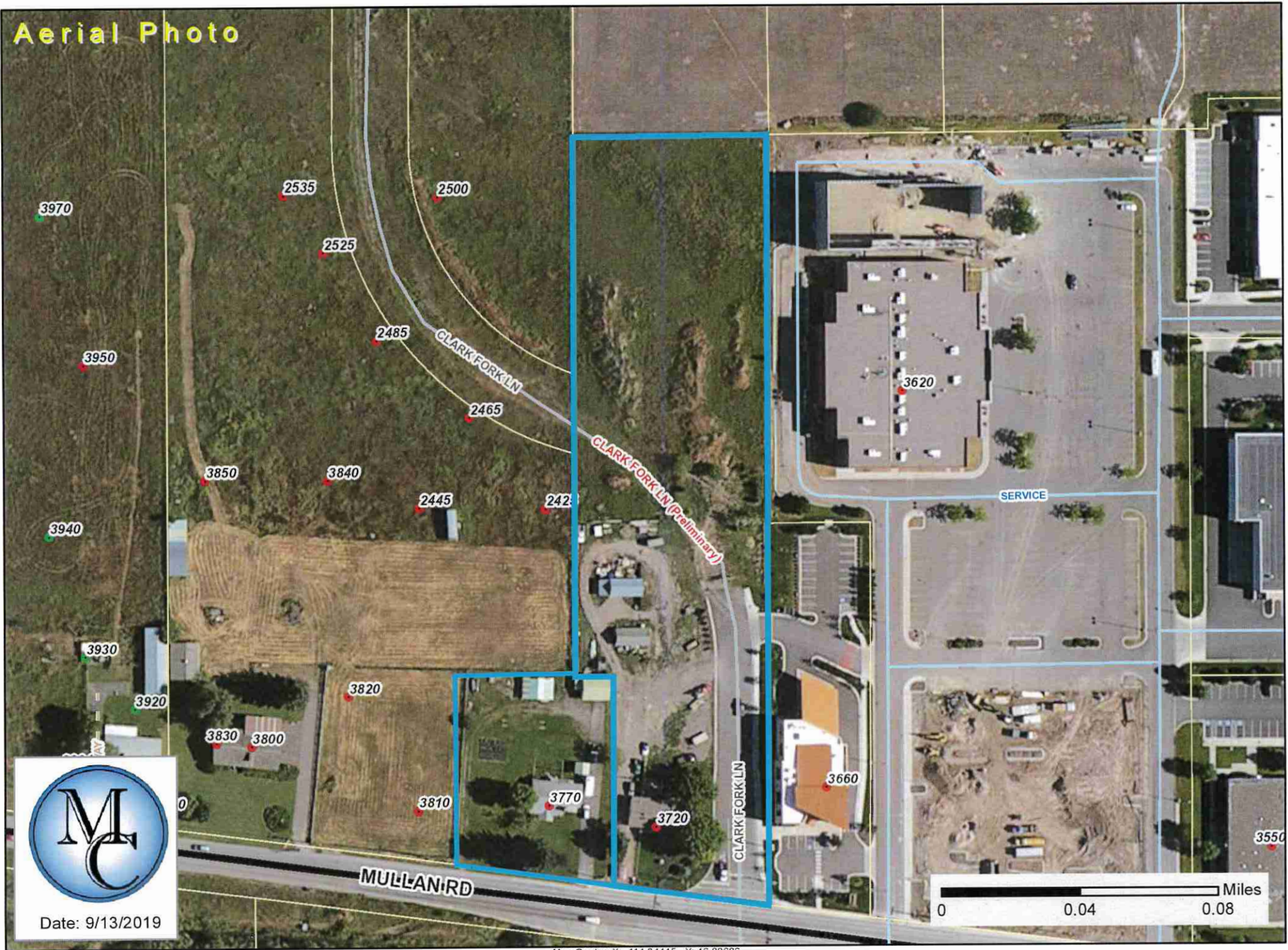
Map showing the project location (highlighted in blue) within a residential area. The map includes streets such as Galway Ave, Flanagan Ln, O'Leary St, Union Pacific St, American Way, Palmer St, Santa Fe Ct, Clark Fork Way, Concrete Way, and Mullan Dr. A scale bar indicates 0 to 0.3 miles. A logo with the letters 'MC' is in the bottom left corner.

Date: 9/13/2019



The material displayed on this page is informational and should be used for reference only. No reliance should be placed thereon without verification by the user. Missoula County does not warrant that the information is either complete or accurate. No representation, warranties or covenants of any kind are made by Missoula County. Before acting on the information contained on this page the user should consult original documents.

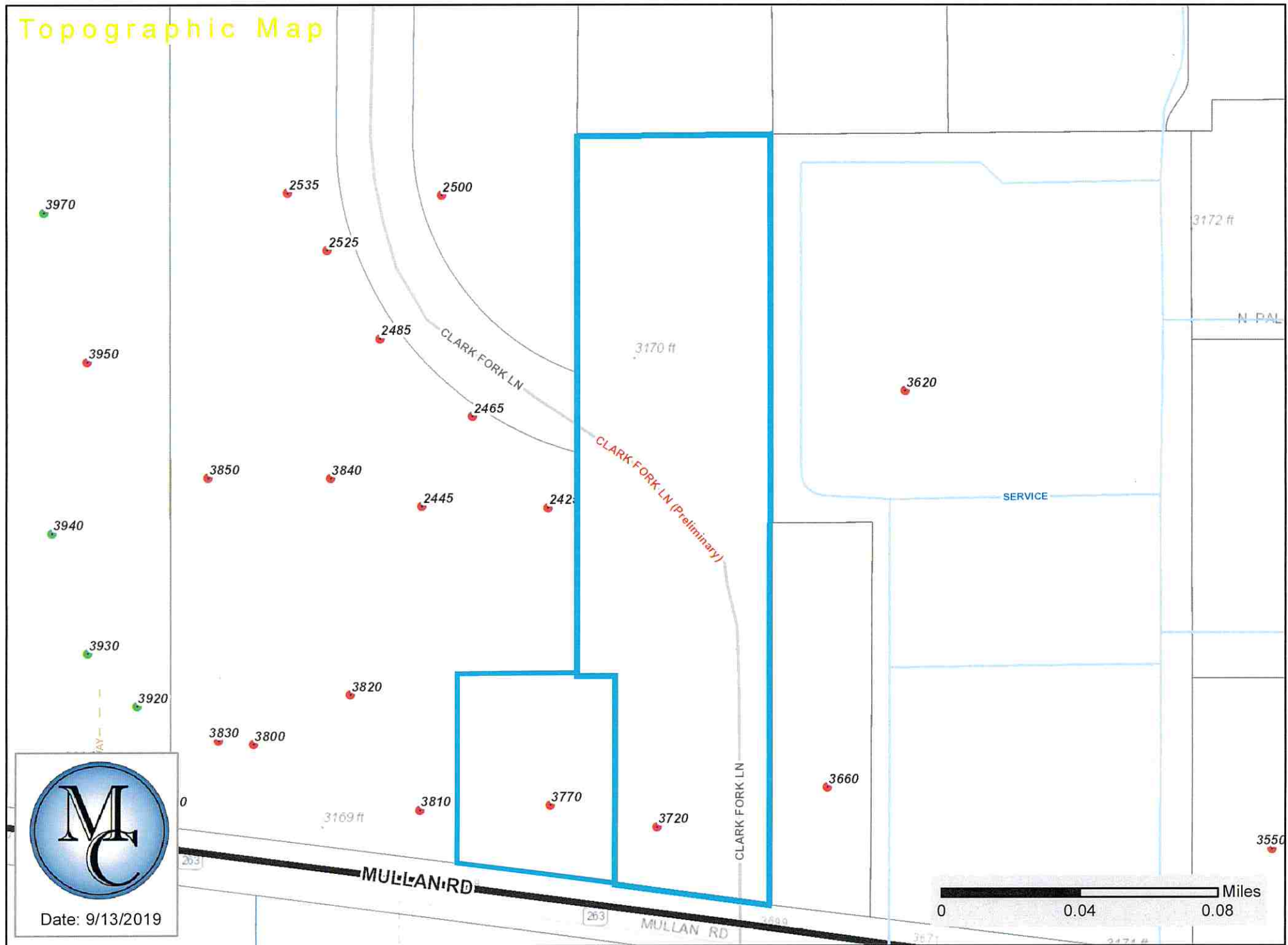
Aerial Photo



Map Center: X: -114.04445 - Y: 46.88686

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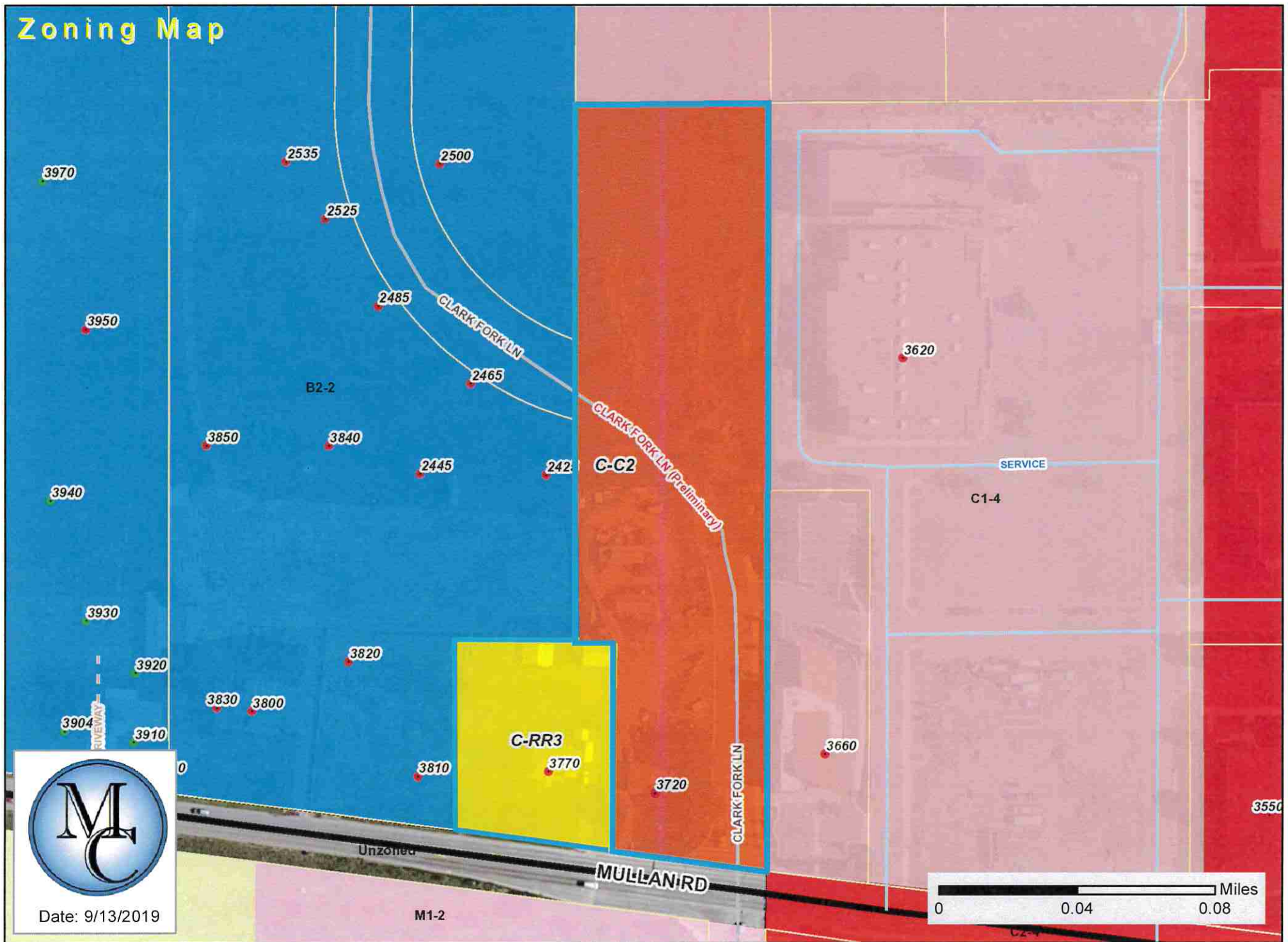
Topographic Map



Date: 9/13/2019

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Zoning Map

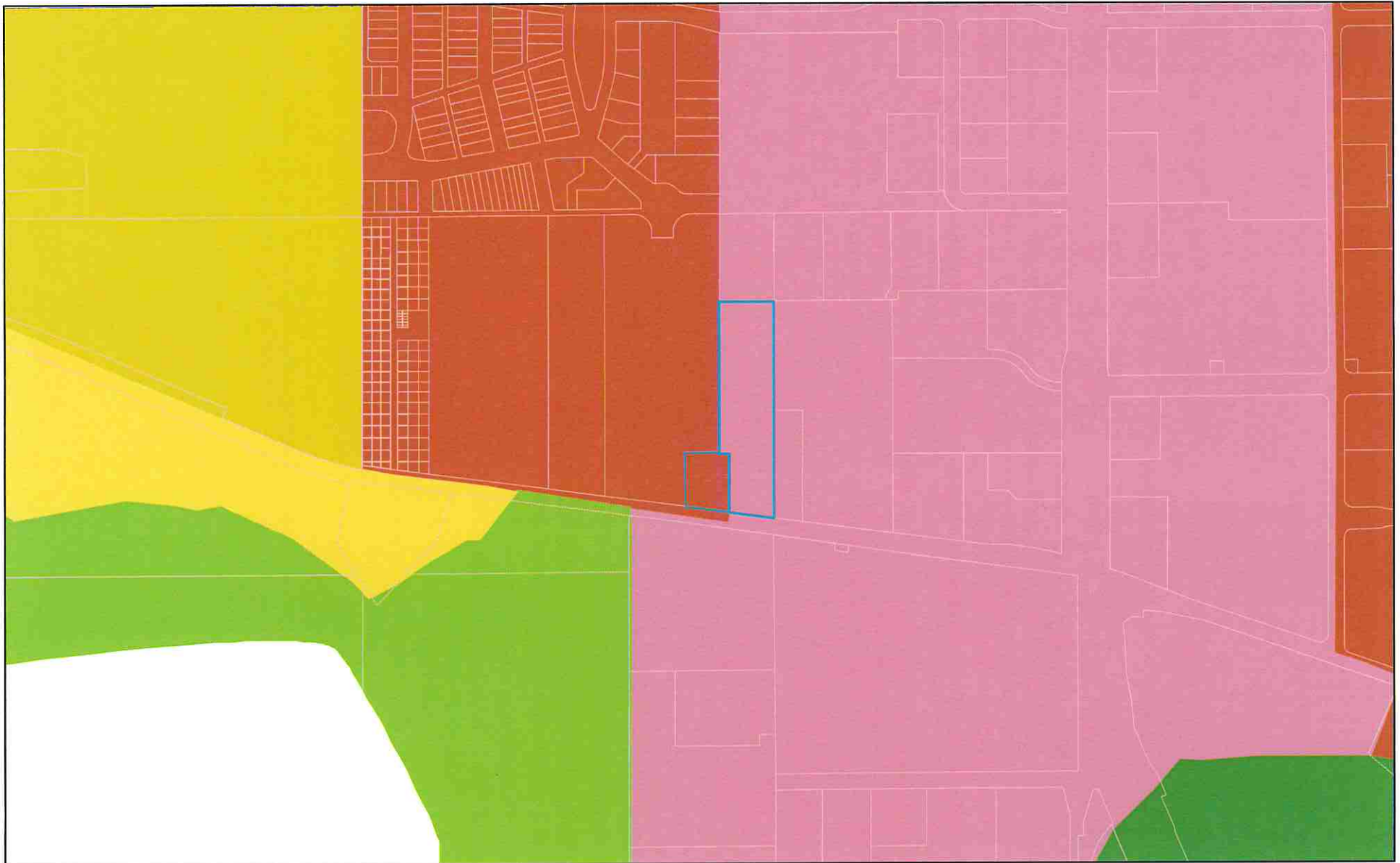


Date: 9/13/2019

Map Center: X: -114.04445 - Y: 46.88677

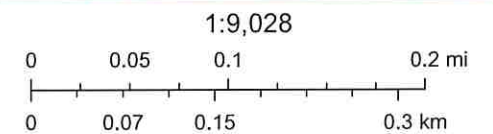
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Land Use Map



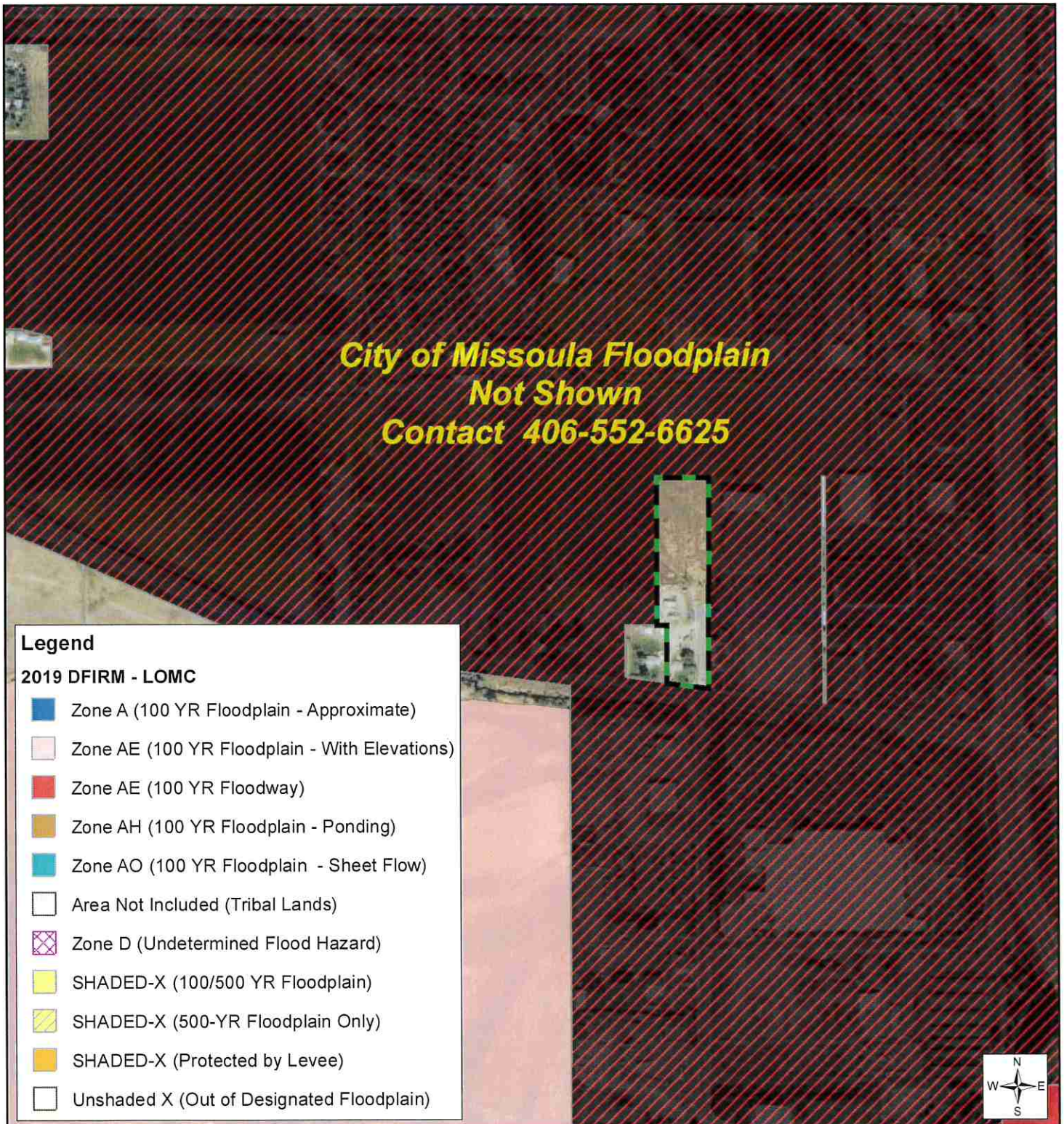
9/13/2019, 9:15:59 AM

Parcels
Land_Use - Land Uses
Community Mixed Use
Regional Commercial and Services
Open and Resource
Parks and Open Lands



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

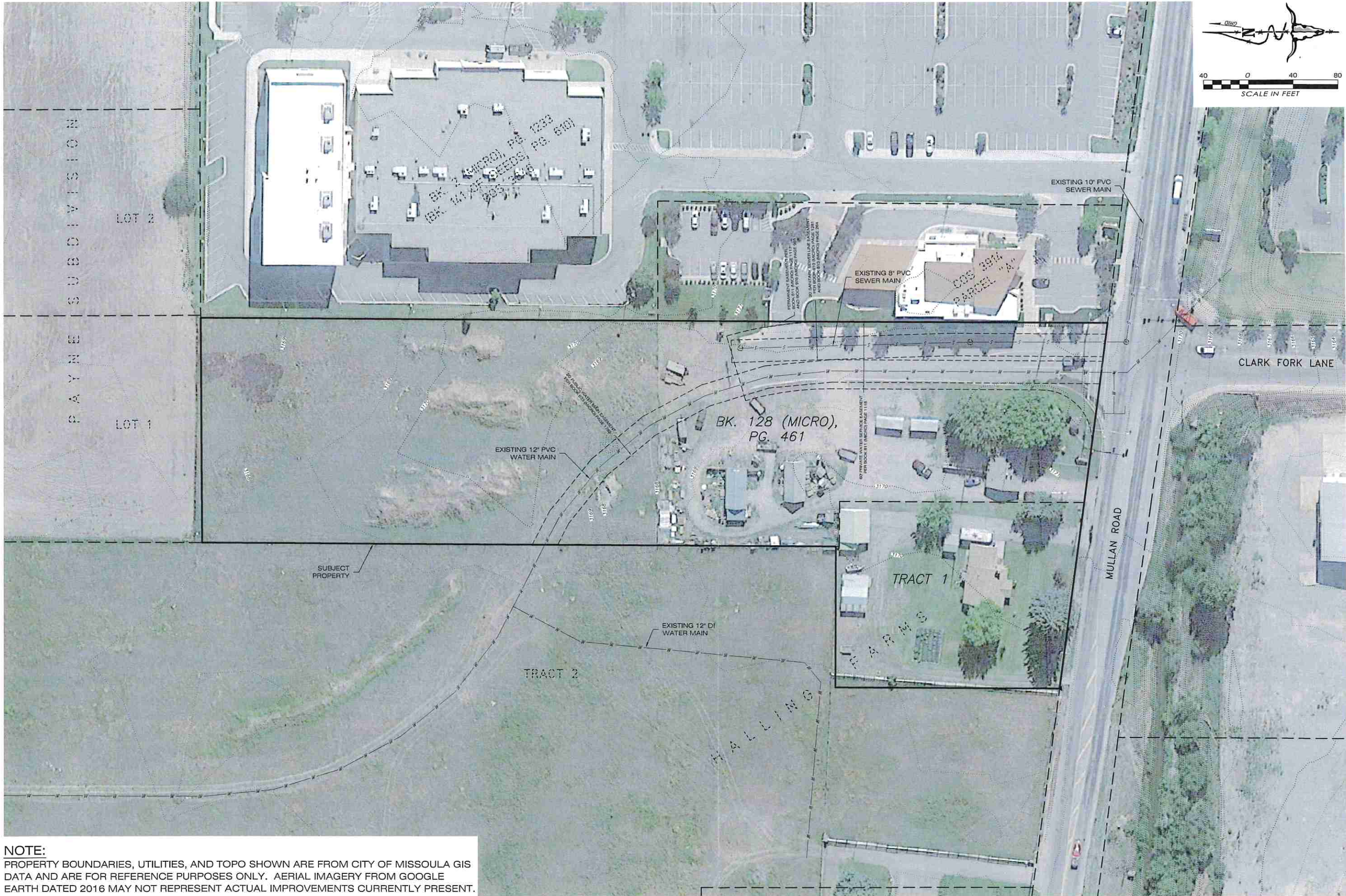
Missoula County Floodplain



Missoula County
Community and Planning Services
127 E Main St, Suite 2
Missoula, MT 59802
406-258-4657
<http://gis.missoulacounty.us/caps/floodplain>

Printed: 9/13/2019

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NOTE:
PROPERTY BOUNDARIES, UTILITIES, AND TOPO SHOWN ARE FROM CITY OF MISSOULA GIS DATA AND ARE FOR REFERENCE PURPOSES ONLY. AERIAL IMAGERY FROM GOOGLE EARTH DATED 2016 MAY NOT REPRESENT ACTUAL IMPROVEMENTS CURRENTLY PRESENT.

TERRITORIAL LANDWORKS, INC.
CIVIL ENGINEERING • SURVEYING • LAND USE CONSULTING
www.territorialandworks.com
P.O. Box 3951
Missoula, MT 59806
PH: 406.721.0142
FAX: 406.721.5224
PLOT DATE: 9/18/2019 9:27 AM

REVISIONS	DATE
DESIGNED:	
DRAFTED:	JW
CHECKED:	
DATE:	9/18/2019

LOCATION:	SECTION 18, T13N, R19W, P.M.M. CITY OF MISSOULA, MISSOULA CO., MT
PREPARED FOR:	WALKER HOMES AND DEVELOPMENT

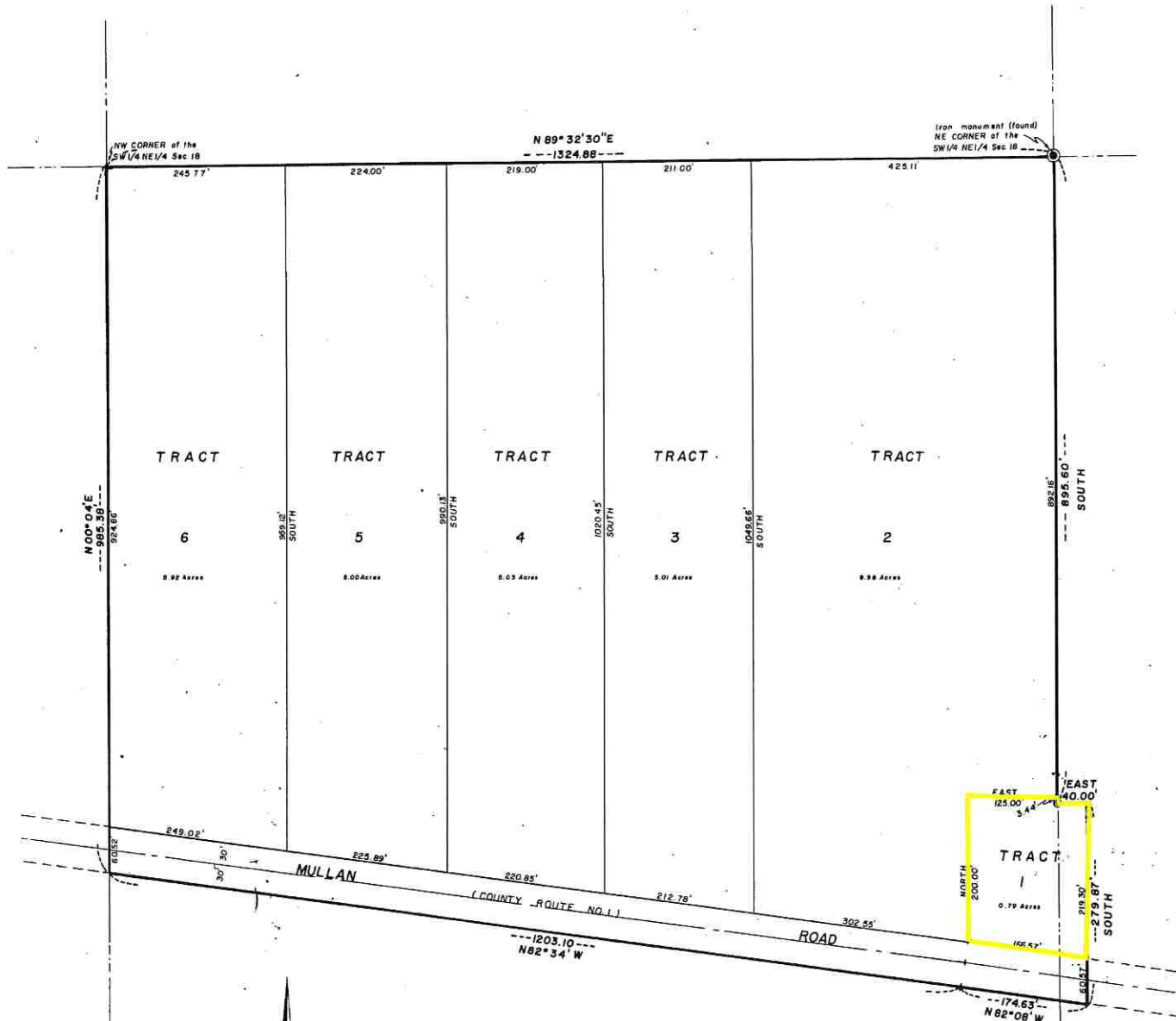
PROJECT NAME	MULLAN CROSSING
SHEET TITLE:	EXISTING CONDITIONS MAP

PROJECT NO.	19-5458
SHEET	1 OF 1

PRELIMINARY

HALLING FARMS

A TRACT SUBDIVISION OF MISSOULA
COUNTY, MONTANA, LOCATED IN THE
NE 1/4 SECTION 18 T 13 N., R 19 W.
PRINCIPAL MERIDIAN MONTANA



DEDICATION

We, the undersigned, do hereby certify that we have caused to be surveyed, subdivided, and plotted into lots, block, pedestrian and vehicular thoroughfares as shown on the accompanying plat and certificate of the survey herewith annexed the following described tract of land to-wit:

A tract of land located in the Northeast Quarter (NE 1/4) of Section 18, T. 13 N., R. 19 W., Principal Meridian Montana, and more particularly described as follows:

Beginning at the Northeast corner of the Southwest Quarter of the Northeast Quarter (SW 1/4) of said Section 18; thence South, 89° 32' 30" E., thence East, 100.00 ft.; thence South, 279.37 ft. to the Southerly boundary of Halling Road (Missoula County Route No. 11); thence N. 82° 03' 34" E., along the southerly boundary of the Halling Road, 174.63 ft.; thence N. 82° 34' 11" E., along said road boundary, 1,203.10 ft.; thence N. 00° 00' 00" E., 985.38 ft. to the Northwest corner of the Southwest Quarter of the Northeast Quarter (SW 1/4) of said Section 18; thence N. 89° 32' 30" E., 1,321.35 ft. to the point of beginning.

Contains 33.0 acres, more or less.

Further that the above parcel is to be known as Halling Farms and the land included in all streets, avenues, public squares, and pedestrian thoroughfares are dedicated, donated, and granted to the use of the public forever.

In witness whereof, we have hereunto set our hand and seal this 5th day of February, 1964.

Marie Halling seal Margaret Hippa seal Dorothy Bridwell seal

ACKNOWLEDGMENT

STATE OF MONTANA
COUNTY OF MISSOULA

On this 5th day of February, 1964, before me, Herbert A. Sebata, a notary public for the State of Montana, residing at Missoula, Montana, personally appeared Marie Halling, known to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same.

In witness whereof, I have hereunto set my hand and affixed my notarial seal the day and year first above written.

Herbert A. Sebata
Notary Public for the State of Montana.
Residing at Missoula, Montana.
My commission expires December 12, 1964

STATE OF California
COUNTY OF Los Angeles

On this 17th day of February, 1964, before me, the undersigned, a notary public for the State of California, residing at Los Angeles, California, personally appeared Margaret Hippa and Dorothy Bridwell, known to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same.

In witness whereof, I have hereunto set my hand and affixed my notarial seal the day and year first above written.

Frank J. Pirri
Notary Public for the State of California.
Residing at Los Angeles, California.
My commission expires August 27, 1965

SURVEYOR'S CERTIFICATE

STATE OF MONTANA
COUNTY OF MISSOULA

I, the undersigned, Paul L. Vick, Land Surveyor, Registration No. 15373, do hereby certify that I surveyed the land shown on the accompanying plat in the Northeast Quarter (NE 1/4) of section 18, T. 13 N., R. 19 W., Principal Meridian Montana, and to be known as HALLING FARMS, and further that this survey was made in the month of December, 1963, according to provisions of Chapter 6, Title 11, of the Revised Codes of the State of Montana, 1967.

Paul L. Vick
Land Surveyor

Subscribed and sworn to before me this 4th day of February, 1964.

Notary Public for the State of Montana.
Residing at Missoula, Montana.
My commission expires 1-2-1967

EXAMINED AND APPROVED

Date March 20, 1964

Paul L. Vick
County Surveyor, Missoula County Montana.

Certificate of ownership for this parcel examined and approved.

Date March 25, 1964

Herbert A. Sebata
County Attorney, Missoula County, Montana.

Approved this 21st day of March, 1964, and it having been made to appear that HALLING FARMS being the platted area herein contained and it so appearing to the Board of County Commissioners of Missoula County, Montana, that it is in the public interest that no park or playground be dedicated within the said tract, therefore it is hereby ordered that the order be incorporated into the proceedings of this board and copy thereof be endorsed and certified on the said addition on this date.

Date 3-26-64

Wm Lucier
Chairman

John Shellendy
County Commissioner in and for Missoula County, Montana.

ATTEST

Date 3-26-64

Maude J. Cohen
Clerk and Recorder, Missoula County Montana.

State of Montana
Dept. of Health
& Envir. Sciences
Title of Subdivision Plat
File No. 2439

Date received Missoula County
Clerk & Recorder's office, Aug 13, 1966 #353


Letter of lifting of sanitation
restriction Dated July 27, 1966
from the State Board of Health
according to Chapter 95 of the
Laws of Montana 1961 reg. No.
136 Addition by name Halling Farms Addition
filed by Larry Stetley tract 5 only

219480

I received and filed this instrument for record on the 21st day of March, 1964, at 2:12 o'clock P.M. pursuant to the laws of the State of Montana.

Witness my hand
MARTIN S. SPINER, County Recorder
By [Signature] Deputy
For 1.9.60 Paid

Book 7
Page 24
File D-25



Annexation of 3770 and 3720 Mullan Road

Land Use & Planning Committee

Cassie Tripard
Development Services
August 19th, 2020



Location



City Limits



Aerial Photo of Site

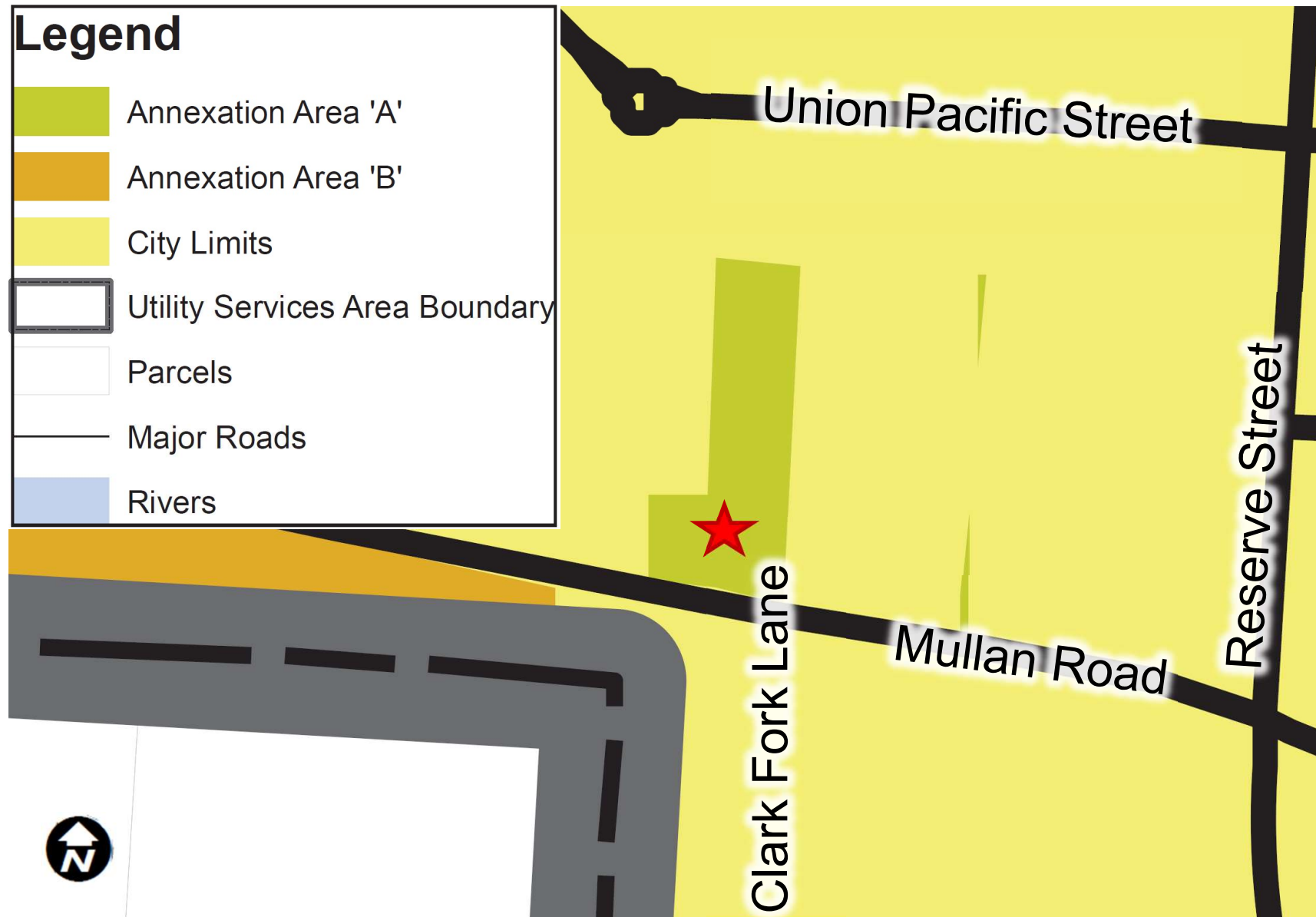


Annexation Policy Map



Legend

- Annexation Area 'A'
- Annexation Area 'B'
- City Limits
- Utility Services Area Boundary
- Parcels
- Major Roads
- Rivers



Annexation Policy



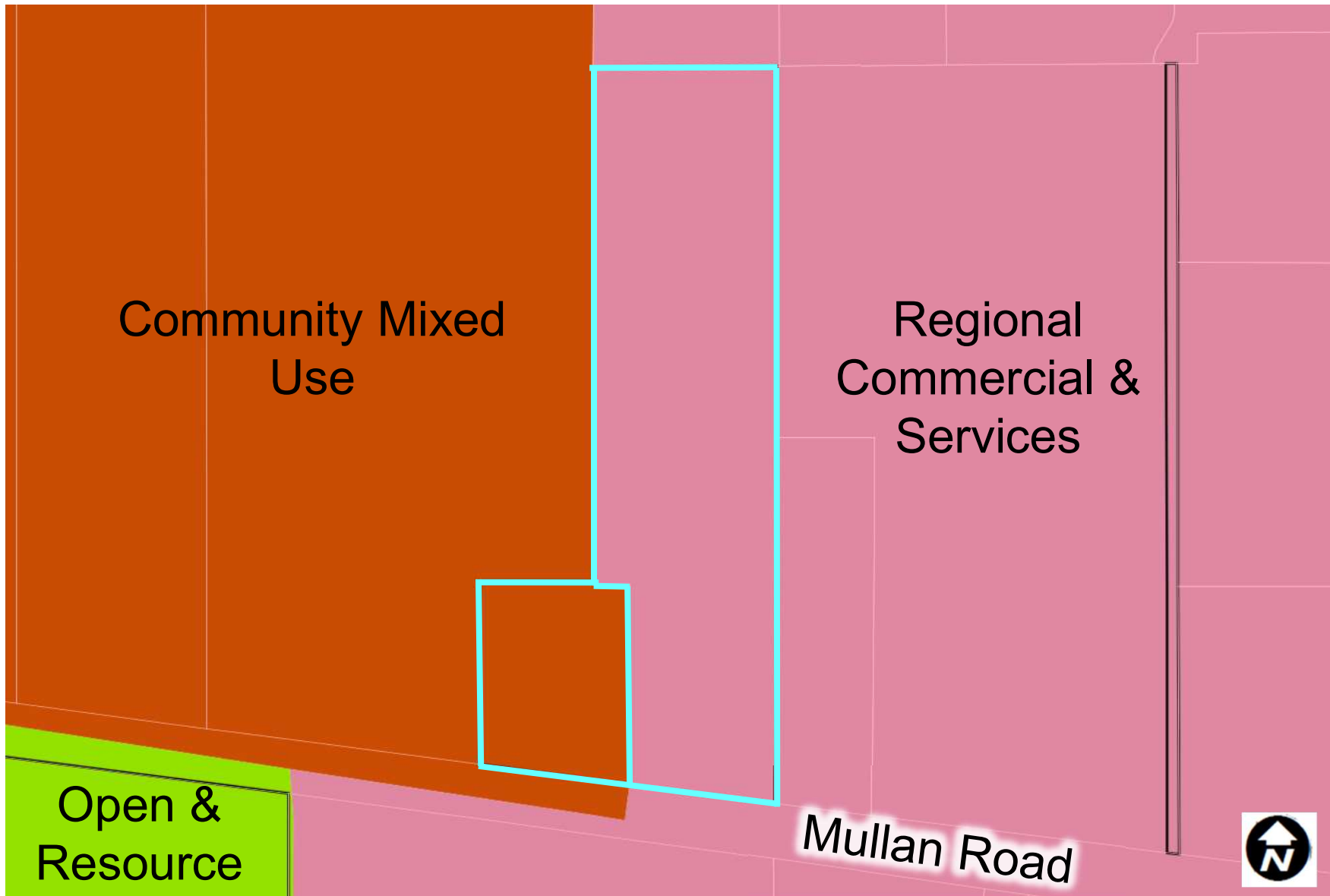
Purpose: Provide for orderly development including the efficient delivery of municipal services to developed and developing areas and to protect public health and safety.

Growth Policy: Comply with the Growth Policy recommendations.

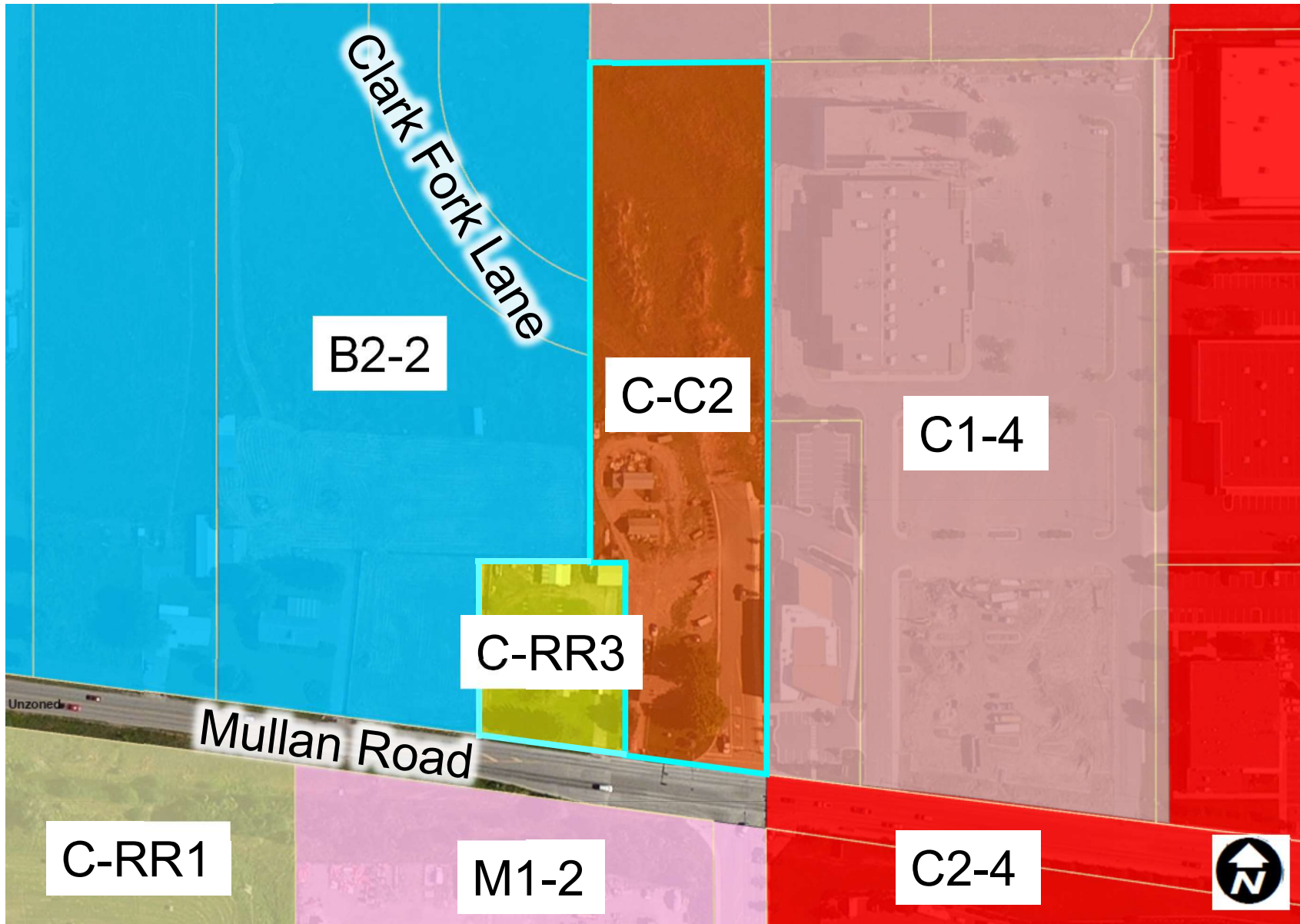
Public Improvements and Service:

- Provide the same levels of service and infrastructure as other parts of the municipality.
- Prioritize annexation of areas that meet current city standards, including but not limited to water, sewer and transportation infrastructure.

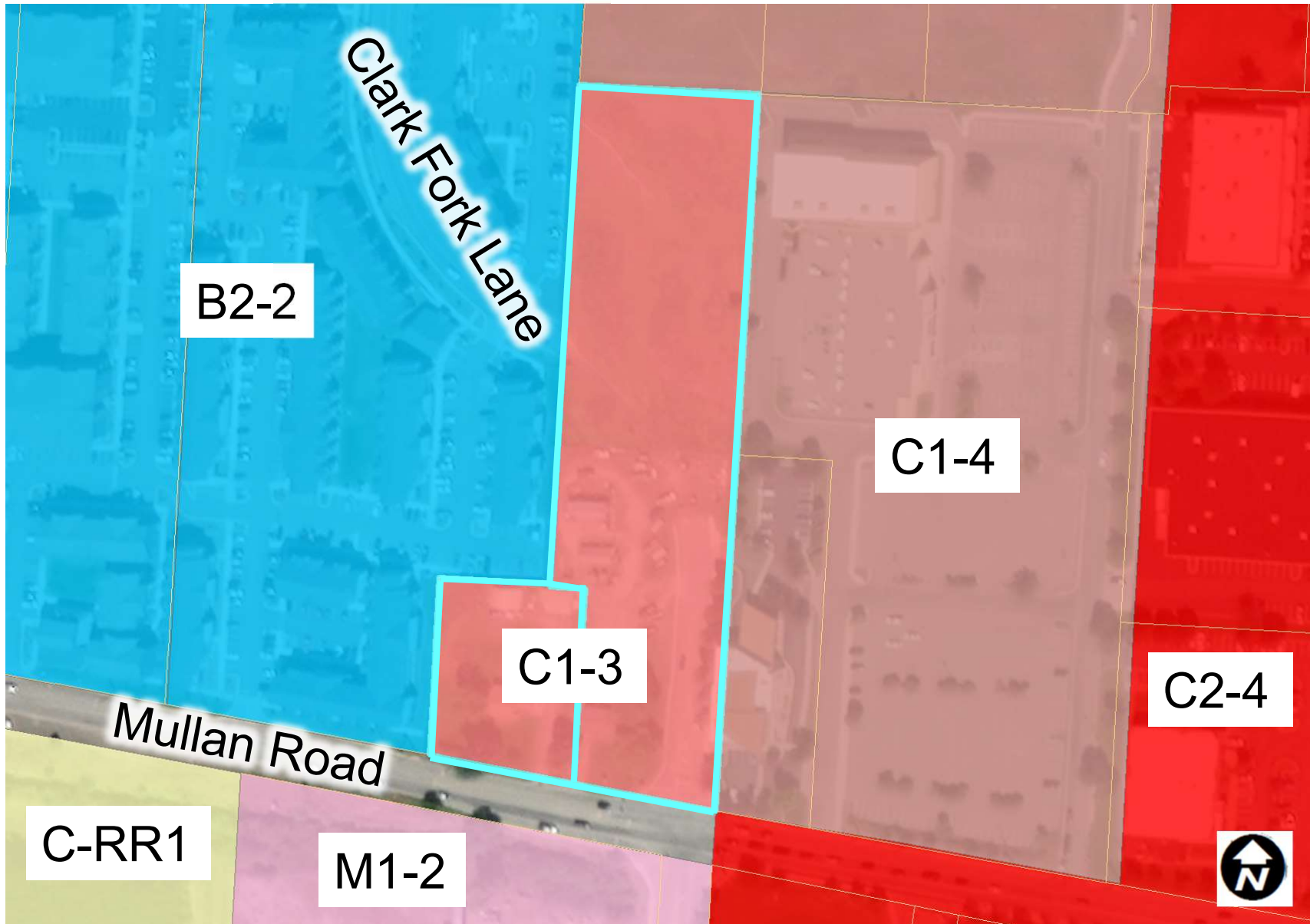
Our Missoula: City Growth Policy 2035



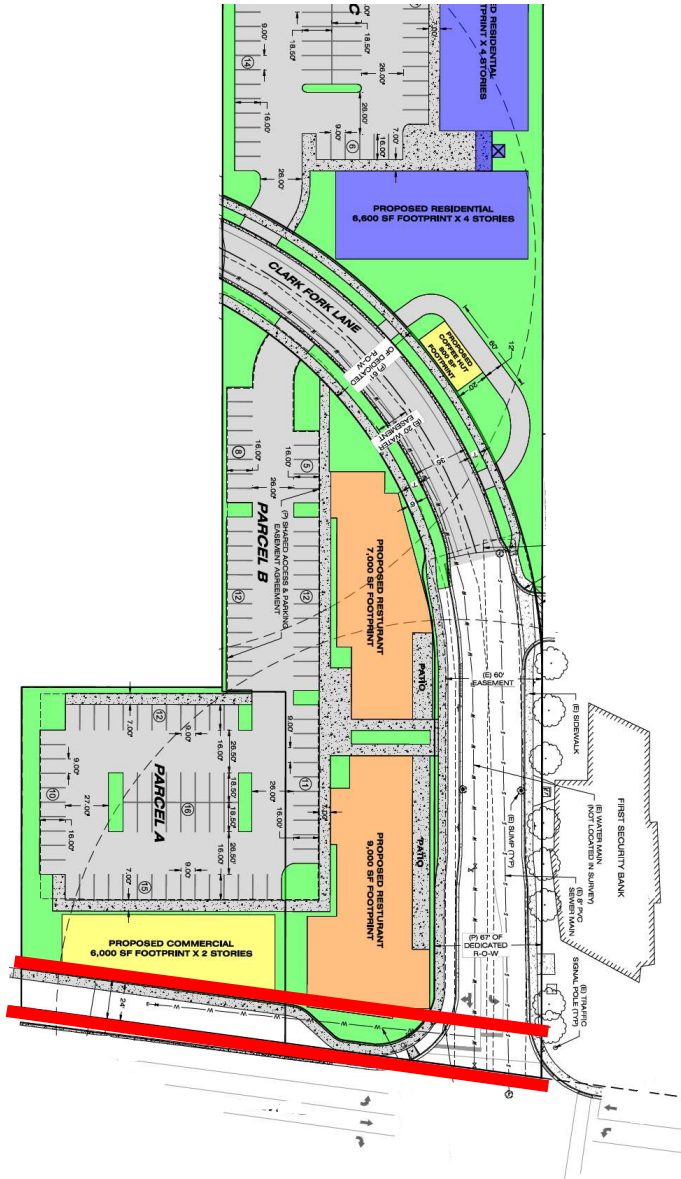
Current Zoning



Recommended Zoning



Conditions of Approval #1



Mullan Road

- Minor Arterial
- Dedicate 25 ft of ROW
- Half Street Improvements

Amendment to Condition #1



The applicant shall dedicate 25 feet of right-of-way measured from the southern property boundary of the two tracts of land, Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 shown on Exhibit A, within sixty (60) days of approval of the annexation, and shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering. The applicant shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on either lot with frontage on Mullan Road or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the north side of Mullan Road shall include: curb and gutter, drainage facilities, 5-foot wide bike lane, 10-foot wide landscaped boulevard. 6-foot wide sidewalk, patch back to existing paving and pedestrian crossings at Clark Fork Lane and Mullan Road.

Conditions of Approval #2, 3, & 4



Clark Fork Lane

Southern Portion:

- Dedicate 67 ft of ROW
- Improvements to west side

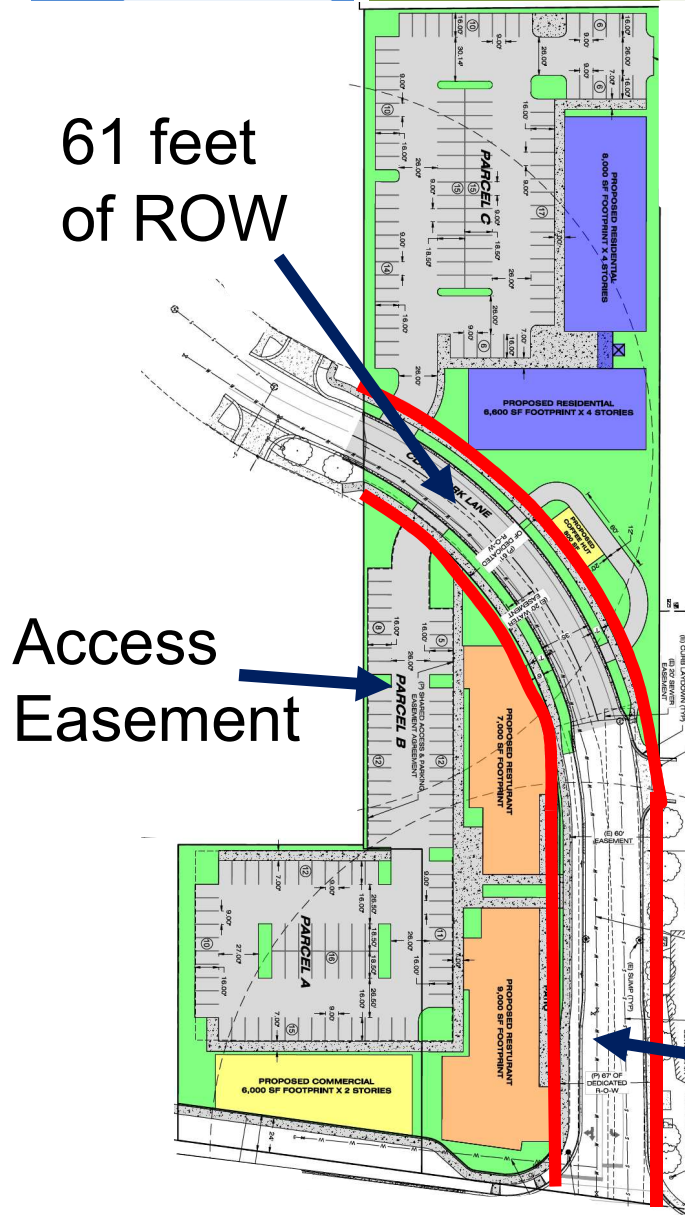
Northern Portion:

- Dedicate 61 ft of ROW
- Full street improvements

Easements:

- Access easement for 3770 Mullan Road (Tract 1 of Halling Farms)

67 feet of ROW



Amendment to Condition #2



The applicant shall dedicate 67 feet of right-of-way on the southern portion of Clark Fork Lane within sixty (60) days of approval of the annexation, and install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of the City Engineer. The applicant shall install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the west side of Clark Fork Lane shall include: curb and gutter, 7-foot boulevard, 5-foot sidewalk, and 6-foot bike lane on the west side of Clark Fork Lane.

Amendment to Condition #3



The applicant shall dedicate 61 feet of right-of-way on the northern portion of Clark Fork Lane within sixty (60) days of approval of the annexation, and install full street improvements for this portion of Clark Fork Lane, subject to review and approval of the City Engineer. The applicant shall install full street improvements for the northern portion of Clark Fork Lane, subject to review and approval of City Engineering, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements shall include: 35 feet back-of-curb to back-of-curb roadway, curb and gutter, drainage facilities, 11-foot travel lanes, 6-foot bike lanes, 7-foot boulevards and 5-foot sidewalks.

Amendment to Condition #4



The applicant shall provide an access easement filed with the County Clerk and Recorder from Clark Fork Lane across the tract of land described in Book 128 of Micro Records at Page 461 for the use and benefit of Tract 1 of Halling Farms, subject to review and approval of City Engineering, ~~prior to building permit approval on parcels south of Clark Fork Lane.~~ within sixty (60) days of approval of the annexation.

Conditions of Approval #5 & 6



Possible connection

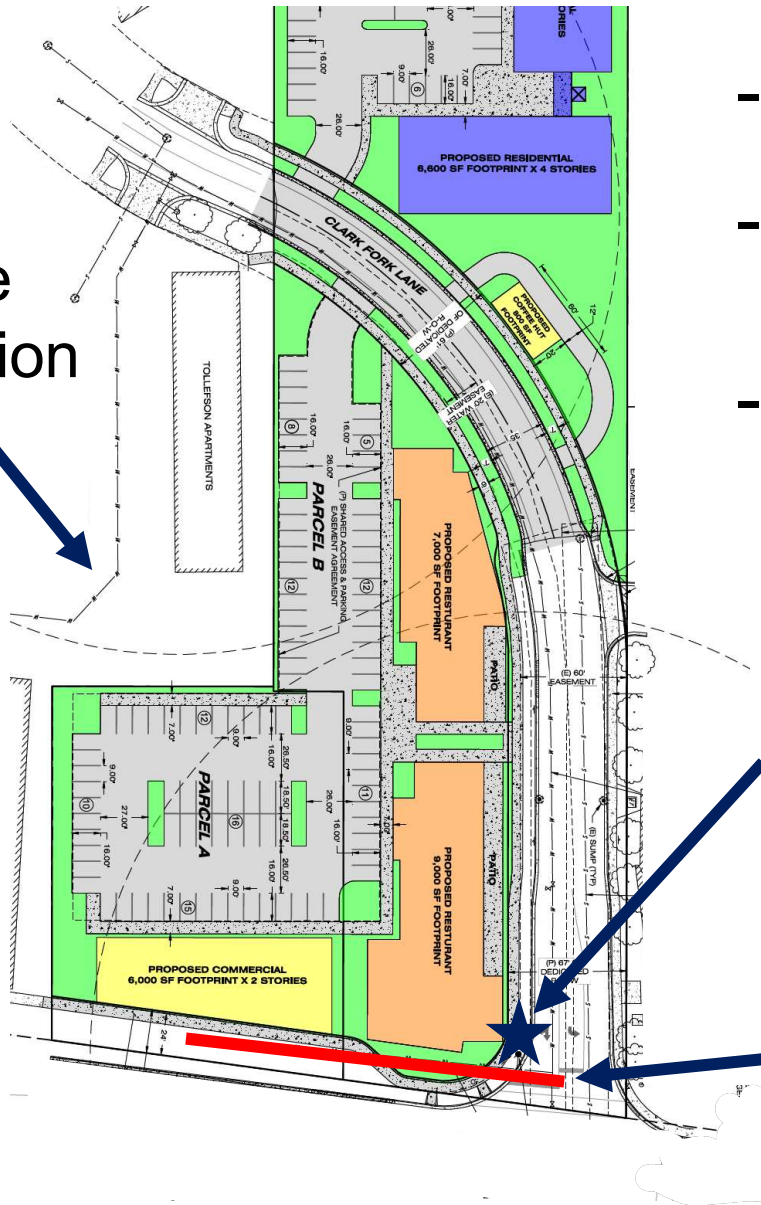


- New fire hydrant
- Water main extension in Mullan or;
- easement to connect to main to the west

Approved hydrant location



Main extension



Conditions of Approval #7 & 8



Boulevard Landscaping

The applicant shall prepare a boulevard landscaping and maintenance plan for Clark Fork Lane and the portion of Mullan Road adjacent to the subject property, subject to review and approval of City Parks and Recreation, prior to. . .

Transit

The applicant shall petition into the Missoula Urban Transportation District prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner, subject to review and approval by Development Services.

Title 20, Section 20.85.040(1)(2)



- a) authorize land uses comparable to the land uses authorized under the county zoning classification that applied to the property immediately before it was annexed into the city;
- b) authorize land uses that are consistent with the land uses approved by the Board of County Commissioners or the County Board of Adjustment; or
- c) be consistent with the land use and zoning recommendations for the subject areas, as set forth in the Growth Policy.

Recommended Motion



Adopt a resolution of intention to annex and incorporate within the boundaries of the City of Missoula two (2) certain parcels of land described as Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M., and zone the property C1-3 Neighborhood Commercial, subject to the recommended conditions of annexation approval, and set a public hearing for September 14, 2020.

Return to:	City Clerk
	City of Missoula
	435 Ryman Street
	Missoula MT 59802-4297

PETITION NO. 10023

BEFORE THE CITY
COUNCIL CITY OF
MISSOULA

PETITION FOR ANNEXATION TO CITY

SUID#: 1732459 & 2318906
GeoCode#: 04-2200-18-2-02-13-0000 & 04-2200-18-1-04-12-0000

Dated this 6th day of November, 2019.

COME NOW the undersigned and respectfully petitions the City Council of the City of Missoula requesting city annexation of the following real property into the City of Missoula.

The petitioner(s) requesting City of Missoula annexation of the property described herein hereby mutually agree with the City of Missoula that immediately upon annexation of the land all City of Missoula municipal services will be provided to the property described herein on substantially the same basis and in the same manner as such services are provided or made available within the rest of the municipality prior to annexation.

Petitioner(s) hereby agrees and submits the real property described herein to municipal taxation and assessments upon annexation, including but not limited to sanitary sewer utility assessments, in the same manner as other private property within the city is taxed and assessed for municipal tax, assessment and utility service purposes.

Petitioner(s) hereby states that there is no need to prepare a Municipal Annexation Service Plan for this annexation pursuant to Section 7-2-4610, MCA since the parties are in agreement as to the provision of municipal services to the property requested to be annexed.

LEGAL DESCRIPTION OF PROPERTY TO BE ANNEXED:

TRACT 1 OF HALLING FARMS, LOCATED IN SECTION 18, TOWNSHIP 13 NORTH, RANGE 19 WEST, MISSOULA COUNTY, MONTANA

TOGETHER WITH A TRACT OF LAND LOCATED IN THE SE1/4NE1/4 OF SECTION 18, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN, MONTANA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST BOUNDARY OF SAID SE1/4NE1/4 OF SECTION 18, WHICH POINT IS SOUTH 327.5 FEET FROM THE NORTHWEST CORNER OF SAID SE1/4NE1/4; THENCE N.89°32'30"E., 200.0 FEET; THENCE SOUTH 809.6 FEET TO THE NORTHERLY BOUNDARY OF A COUNTY ROAD; THENCE N.82°08'W. ALONG SAID NORTHERLY ROAD BOUNDARY 161.5 FEET; THENCE NORTH 219.3 FEET; THENCE WEST 40.0 FEET TO THE WEST BOUNDARY OF SAID SE1/4NE1/4; THENCE NORTH 568.1 FEET TO THE POINT OF BEGINNING.


RECORDING REFERENCE: BOOK 701 OF MICRO RECORDS AT PAGE 1199.

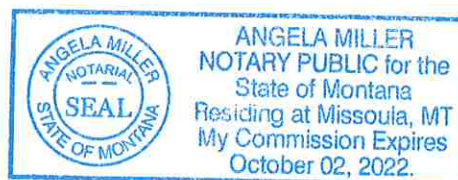
PROPERTY ADDRESS: 3770 & 3720 Mullan Road, Missoula, MT 59808


GEORGE JENSEN, GENERAL PARTNER

STATE OF MONTANA)
) ss
County of Missoula)

This instrument was acknowledged before me on this 6th day of November, 2019
by George Jensen, General Partner of George Jensen Family Limited Partnership.


Name: Angela Miller
Notary Public for the State of Montana



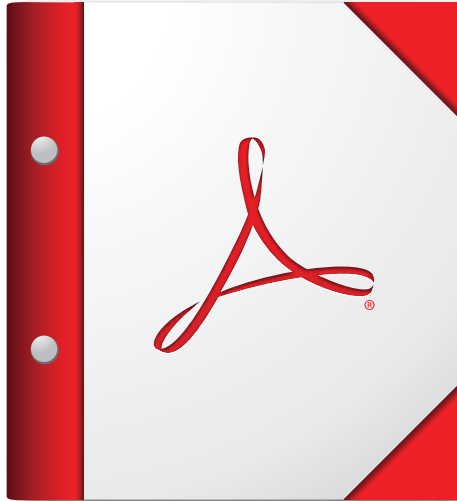
STATE OF MONTANA)
) ss.
County of Missoula)

On this DATE day of MONTH, YEAR, before me the undersigned, a Notary Public for the State of Montana, personally appeared NAME(S), known to me personally (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name/s is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal on the day, month, and year in this certificate first above written.

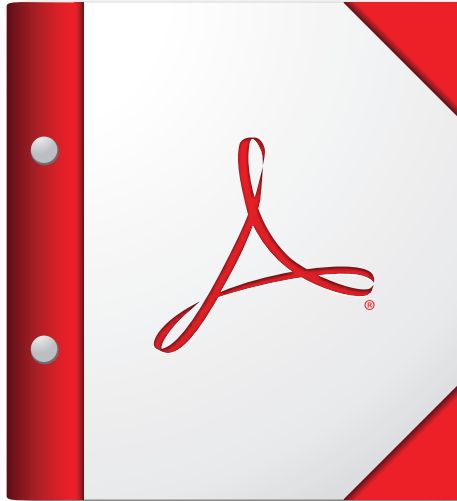
(Printed name required)
Notary Public for the State of Montana.

(SEAL) Residing at My Commission Expires: MM/DD/YY



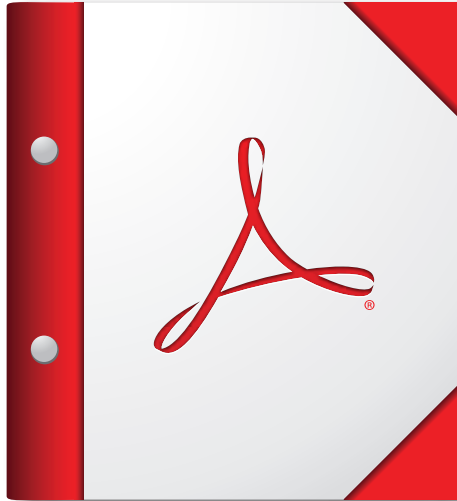
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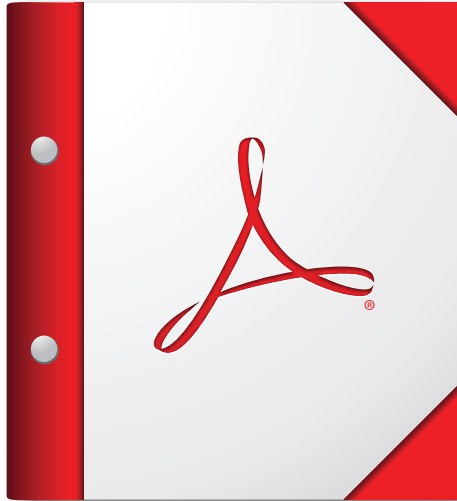
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MEMO No. 1

TO: City Council
DATE: September 9, 2020
FROM: Cassie Tripard, Development Services
RE: **3770 and 3720 Mullan Road Annexation**

After the staff report for the 3770 and 3720 Mullan Road annexation request was issued on August 13th, 2020, the applicant proposed modifications to the conditions. The representative, Jason Rice, requested that the conditions of approval requiring installation of right-of-way improvements be modified to include the option for the developer to provide a cost estimate, improvements agreement, and financial security in lieu of installation of the improvements. The ability to guarantee improvements with an improvements agreement would potentially give the applicant one (1) additional year to install improvements. An improvements agreement would also give the applicant the ability to begin building before constructing right-of-way improvements which prevents damage to the new infrastructure. Staff recommended that right-of-way for Mullan Road and Clark Fork Lane still be dedicated within sixty (60) days of approval. Staff determined this was a reasonable request and amended conditions #1, #2, and #3.

While reviewing the conditions to accommodate the applicant's request, City Engineering proposed an amendment to condition #4 regarding an access easement to Tract 1 of Halling Farms. City Engineering recommended the access easement be filed within sixty (60) days of annexation approval. Condition #4 was amended to accommodate City Engineering's recommendation.

At the Land Use and Planning Committee meeting on August 19th, 2020, Mr. Rice requested that the developer be given ninety (90) days after annexation approval to dedicate right-of-way for Mullan Road and Clark Fork Lane. Mr. Rice also requested that the developer be provided ninety (90) days to file the access easement from Clark Fork Lane to Tract 1 of Halling Farms. Both the Land Use and Planning Committee and staff determined this was a reasonable request that would not jeopardize the dedication of right-of-way or the filing of the access easement. Conditions #1, #2, #3, and #4 were amended again.

The following are revised conditions of annexation for City Council consideration:

Road Improvements

1. The applicant shall dedicate 25 feet of right-of-way measured from the southern property boundary of the two tracts of land, Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 shown on Exhibit A, within sixty (60) ninety (90) days of approval of the annexation and shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering. The applicant shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on either lot with frontage on Mullan Road or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the north side of Mullan Road shall include: curb and gutter, drainage facilities, 5-foot wide bike lane, 10-foot wide landscaped boulevard, 6-foot wide sidewalk, patch back to existing paving and pedestrian crossings at Clark Fork Lane and Mullan Road.
2. The applicant shall dedicate 67 feet of right-of-way on the southern portion of Clark Fork Lane within sixty (60) ninety (90) days of approval of the annexation, and install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of the City Engineer. The applicant shall install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building

permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the west side of Clark Fork Lane shall include: curb and gutter, 7-foot boulevard, 5-foot sidewalk, and 6-foot bike lane on the west side of Clark Fork Lane.

3. The applicant shall dedicate 61 feet of right-of-way on the northern portion of Clark Fork Lane within sixty (60) ninety (90) days of approval of the annexation, and install full street improvements for this portion of Clark Fork Lane, subject to review and approval of the City Engineer. The applicant shall install full street improvements for the northern portion of Clark Fork Lane, subject to review and approval of City Engineering, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements shall include: 35 feet back-of-curb to back-of-curb roadway, curb and gutter, drainage facilities, 11-foot travel lanes, 6-foot bike lanes, 7-foot boulevards and 5-foot sidewalks.
4. The applicant shall provide an access easement filed with the County Clerk and Recorder from Clark Fork Lane across the tract of land described in Book 128 of Micro Records at Page 461 for the use and benefit of Tract 1 of Halling Farms, subject to review and approval of City Engineering, prior to building permit approval on parcels south of Clark Fork Lane. within sixty (60) ninety (90) days of approval of the annexation.

Fire and Utilities

5. The applicant shall install a fire hydrant per the City Fire approved hydrant plan, subject to review and approval of City Fire, prior to combustible construction.
6. The applicant shall extend a 12-inch water main within the Mullan Road right-of-way from the existing main in Clark Fork Lane to serve Tract 1 of Halling Farms, subject to review and approval by City Public Works and City Engineering, prior to building permit approval of the first structure on Tract 1 of Halling Farms. Alternatively, the applicant could connect fire and domestic services to the water main in the adjacent property to the west if an easement is obtained and filed with the County Clerk and Recorder, subject to review and approval of City Public Works and City Engineering, prior to building permit approval of the first structure on Tract 1 of Halling Farms. Additional public utility infrastructure for water and sewer may be required at the time of building permit approval as determined by City Public Works and City Engineer.

Boulevard Landscaping

7. The applicant shall prepare a boulevard landscaping and maintenance plan for Clark Fork Lane and the portion of Mullan Road adjacent to the subject property, subject to review and approval of City Parks and Recreation, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The boulevard landscaping shall be installed and maintained per the approved boulevard landscaping and maintenance plan prior to certificate of occupancy for each building permit.

Transit

8. The applicant shall petition into the Missoula Urban Transportation District prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner, subject to review and approval by Development Services.

If City Council would like to adopt the conditions of approval as amended above, the motion for approval would be revised as follows:

Adopt a resolution to annex and incorporate within the boundaries of the City of Missoula two certain parcels of land described as Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M., and zone the property C1-3 Neighborhood Commercial, based on the findings of fact in the staff report, subject to the recommended conditions of approval as amended in Memo No. 1.

Return to: City Clerk
City of Missoula
435 Ryman Street
Missoula MT 59802-4297

RESOLUTION NUMBER _____

A resolution to annex and incorporate within the boundaries of the City of Missoula two certain parcels of land described as Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M., and zone the property C1-3 Neighborhood Commercial, based on the findings of fact in the staff report, subject to the recommended conditions of annexation approval as amended by City Council.

LEGAL DESCRIPTION: Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461, located in Section 18, Township 13 North, Range 19 West, Principal Meridian Montana (PMM) as shown on Exhibit A attached hereto and made a part hereof.

WHEREAS, The George Jensen Limited Family Partnership, owner of 100% of the property described herein as 3770 and 3720 Mullan Road has filed Petition No. 10023 with the City Clerk requesting annexation and waiving the need to prepare a service plan for the annexation; and

WHEREAS, it is the Missoula City Council's decision to consider this petition for annexation pursuant to the statutory annexation by petition method set forth in Title 7 Chapter 2 Part 46 Section 4601 (3)(a)(ii) Montana Code Annotated (MCA); and

WHEREAS, Section 7-2-4211 MCA requires municipalities to include the full width of any public street or road right-of-way that are adjacent to the property being annexed; and

WHEREAS, the Mullan Road right-of-way adjacent to the southern boundary of the parcel is already within the municipal boundary of the City of Missoula; and

WHEREAS, the herein described property is within the City of Missoula Utilities Service Area boundary, the City has current and future capacity to serve the property and development; and the owners/developers will pay all costs to extend the municipal sewer and water service to the property; and

WHEREAS, the City Council desires the annexation and zoning of the herein described property be conditioned upon annexation subject to the following conditions:

1. The applicant shall dedicate 25 feet of right-of-way measured from the southern property boundary of the two tracts of land, Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 shown on Exhibit A, within ninety (90) days of approval of the annexation, subject to review and approval of City Engineering. The applicant shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on either lot with

frontage on Mullan Road or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the north side of Mullan Road shall include: curb and gutter, drainage facilities, 5-foot wide bike lane, 10-foot wide landscaped boulevard, 6-foot wide sidewalk, patch back to existing paving and pedestrian crossings at Clark Fork Lane and Mullan Road.

2. The applicant shall dedicate 67 feet of right-of-way on the southern portion of Clark Fork Lane within ninety (90) days of approval of the annexation, subject to review and approval of the City Engineer. The applicant shall install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the west side of Clark Fork Lane shall include: curb and gutter, 7-foot boulevard, 5-foot sidewalk, and 6-foot bike lane on the west side of Clark Fork Lane.
3. The applicant shall dedicate 61 feet of right-of-way on the northern portion of Clark Fork Lane within ninety (90) days of approval of the annexation, subject to review and approval of the City Engineer. The applicant shall install full street improvements for the northern portion of Clark Fork Lane, subject to review and approval of City Engineering, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements shall include: 35 feet back-of-curb to back-of-curb roadway, curb and gutter, drainage facilities, 11-foot travel lanes, 6-foot bike lanes, 7-foot boulevards and 5-foot sidewalks.
4. The applicant shall provide an access easement filed with the County Clerk and Recorder from Clark Fork Lane across the tract of land described in Book 128 of Micro Records at Page 461 for the use and benefit of Tract 1 of Halling Farms, subject to review and approval of City Engineering, within ninety (90) days of approval of the annexation.
5. The applicant shall install a fire hydrant per the City Fire approved hydrant plan, subject to review and approval of City Fire, prior to combustible construction.
6. The applicant shall extend a 12-inch water main within the Mullan Road right-of-way from the existing main in Clark Fork Lane to serve Tract 1 of Halling Farms, subject to review and approval by City Public Works and City Engineering, prior to building permit approval of the first structure on Tract 1 of Halling Farms. Alternatively, the applicant could connect fire and domestic services to the water main in the adjacent property to the west if an easement is obtained and filed with the County Clerk and Recorder, subject to review and approval of City Public Works and City Engineering, prior to building permit approval of the first structure on Tract 1 of Halling Farms. Additional public utility infrastructure for water and sewer may be required at the time of building permit approval as determined by City Public Works and City Engineer.
7. The applicant shall prepare a boulevard landscaping and maintenance plan for Clark Fork Lane and the portion of Mullan Road adjacent to the subject property, subject to review and approval of City Parks and Recreation, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The boulevard landscaping shall be installed and maintained per the approved boulevard landscaping and maintenance plan prior to certificate of occupancy for each building permit.
8. The applicant shall petition into the Missoula Urban Transportation District prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner, subject to review and approval by Development Services.

WHEREAS, the parcels described herein are currently zoned C-C2 General Commercial and C-RR3 Residential in the County and the recommended zoning in the City is C1-3 Neighborhood Commercial in accordance with MCA 76-2-303 (3)(a) and Missoula Municipal Code criterion 20.85.040(l)(2c), it is the intention of the City of Missoula to annex this property with the recommended city zoning. FURTHER, the parcels are situated adjacent to City Council Ward Area No. 2 and the Captain John Mullan Neighborhood Council District, and it is the intention of the Council to add these parcels to said Ward and Neighborhood Council District; and

WHEREAS, there was duly and regularly passed and adopted by the Council of the City of Missoula and approved by the Mayor on 8/24/2020, Resolution Number 8447 stating the City's intention to consider extending the City limits to include the within described properties and Council set a public hearing for 9/14/2020 at its regularly scheduled City Council meeting to hear all matters pertaining to the annexation and zoning of said property; and

WHEREAS, the City Clerk published notice of such proposed extension of the city limits on 8/30/2020 and 9/6/2020 as provided by Section 76-2-303 and 7-1-4127 MCA; and

WHEREAS, in the judgment of the City Council of the City of Missoula, it is deemed to be in the best interest of the City of Missoula, the inhabitants thereof and the current and future inhabitants of the tracts and parcels of land described herein, which have petitioned for annexation and are within the urban growth boundary, that the boundaries of the City of Missoula shall be extended to include the same within the corporate limits.

NOW, THEREFORE BE IT RESOLVED that the corporate limits of the City of Missoula are hereby extended to incorporate and annex the property described herein; and

BE IT FURTHER RESOLVED that the parcel is hereby zoned C1-3 Neighborhood Commercial in the City. FURTHER, that the parcel is hereby assigned to City Council Ward Area No. 2 and the Captain John Mullan Neighborhood Council District; and

BE IT FURTHER RESOLVED that the minutes of City Council of the City of Missoula, Montana, incorporate this resolution; and

BE IT FURTHER RESOLVED that if the city annexation of any lot(s), parcel(s), block(s) or tract(s) of land annexed into the city pursuant to this city annexation resolution or any provision of this resolution is ever held to be invalid or unconstitutional, the City Council hereby declares that any such decision shall not affect the validity of the annexation of the remaining lot(s), parcel(s), block(s) or tract(s) of land annexed into the city or the remaining provisions of this resolution. The City Council hereby declares that it would have passed this resolution and annexed each lot(s), parcel(s), block(s) or tracts(s) of land into the city as well as each provision of this resolution irrespective of the fact that the annexation of any one or more lot(s), parcel(s), block(s) or tract(s) of land annexed into the city or provision of this resolution may have been declared invalid or unconstitutional, and if for any reason the annexation of any lot(s), parcel(s), block(s), tract(s) of land or any provision of this resolution should be declared invalid or unconstitutional, then the annexation of the remaining lot(s), parcel(s), block(s) or tracts(s) of land and resolution provisions are intended to be and shall be in full force and effect as enacted by the City Council.

PASSED AND ADOPTED this 14th day of September, 2020.

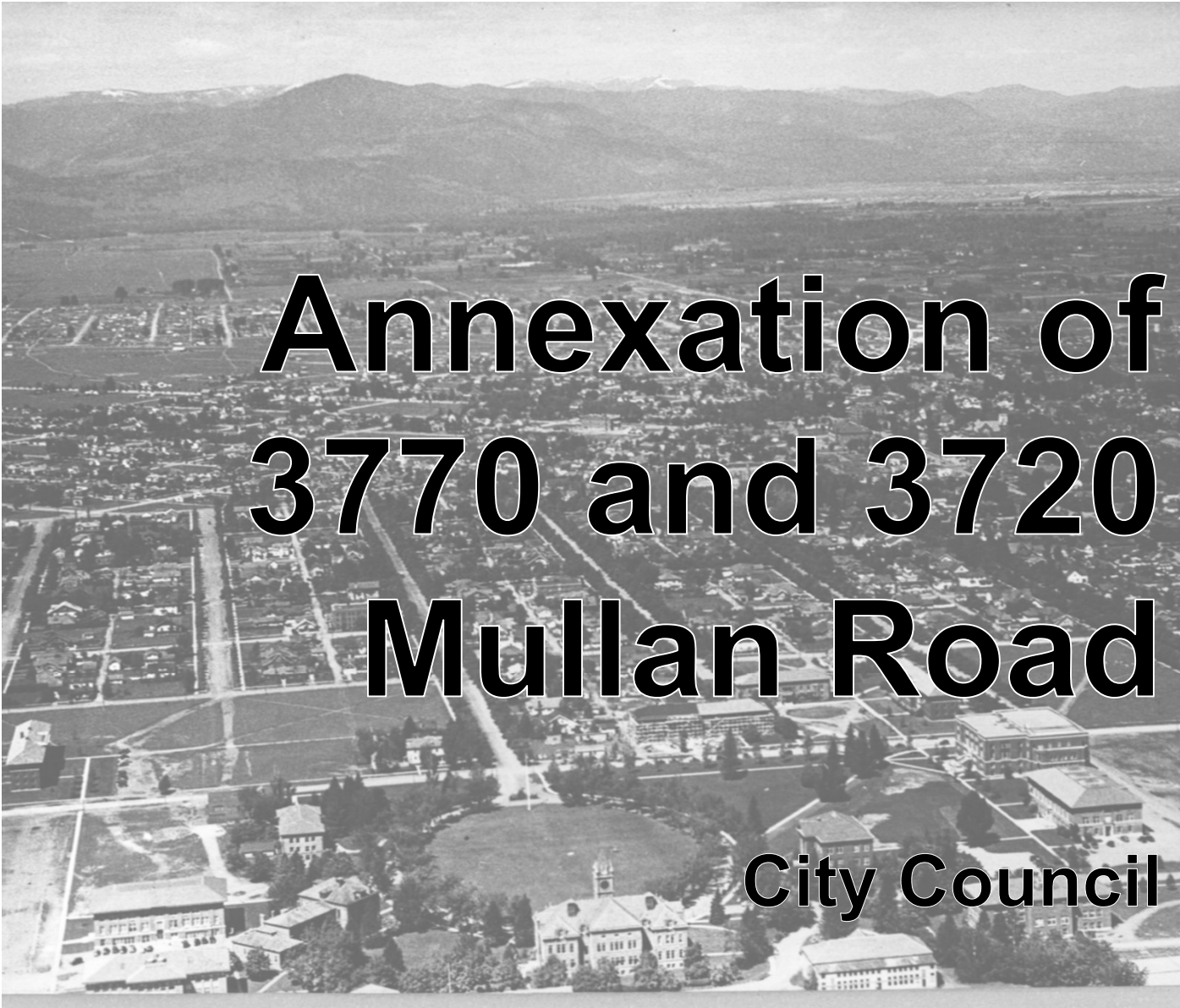
ATTEST:

APPROVED:

Martha L. Rehbein, CMC
City Clerk

John Engen
Mayor

(SEAL)



Annexation of 3770 and 3720 Mullan Road

City Council

Cassie Tripard
Development Services
September 14th, 2020



Location



City Limits










Aerial Photo of Site

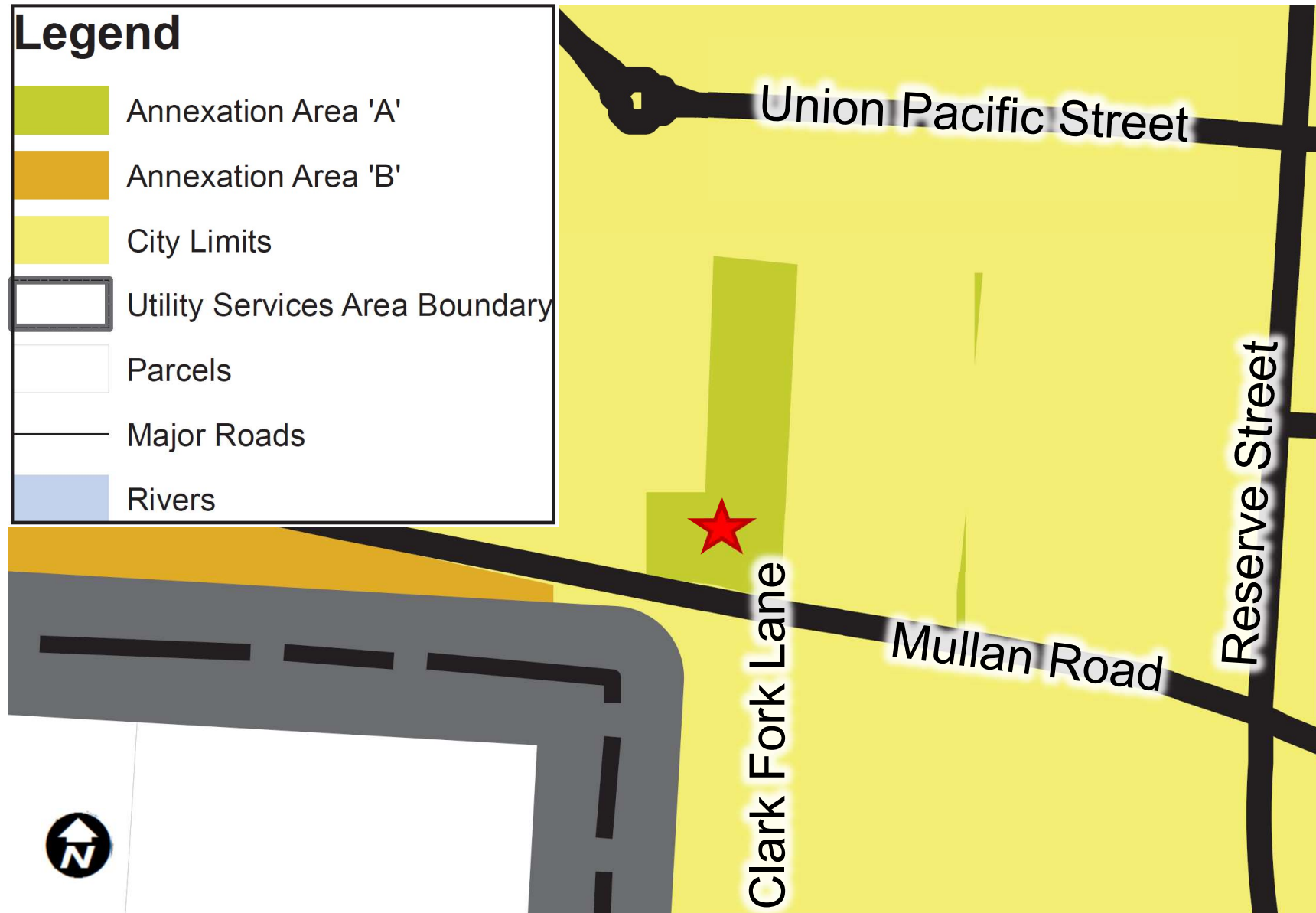


Annexation Policy Map



Legend

-  Annexation Area 'A'
-  Annexation Area 'B'
-  City Limits
-  Utility Services Area Boundary
-  Parcels
-  Major Roads
-  Rivers



Annexation Policy



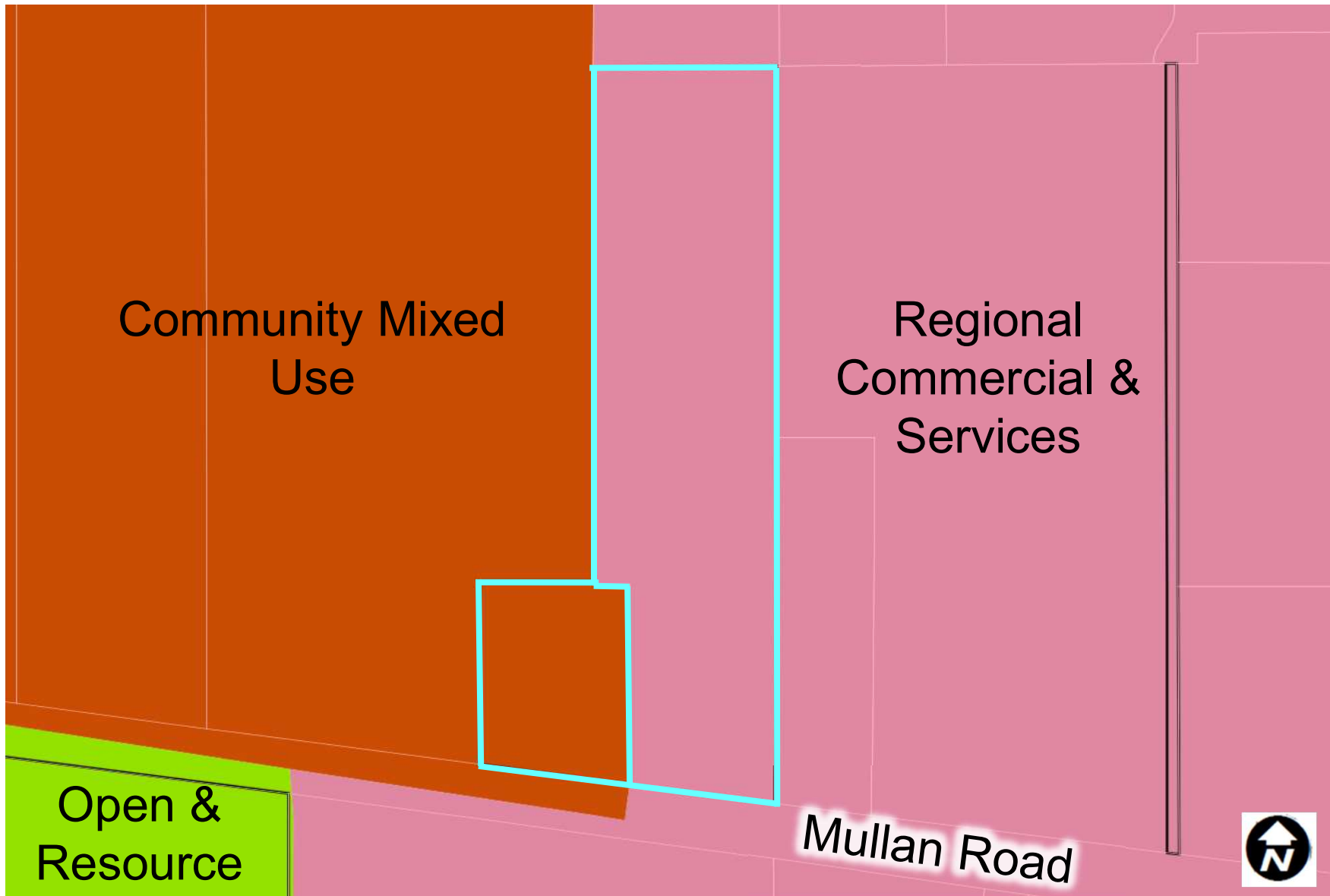
Purpose: Provide for orderly development including the efficient delivery of municipal services to developed and developing areas and to protect public health and safety.

Growth Policy: Comply with the Growth Policy recommendations.

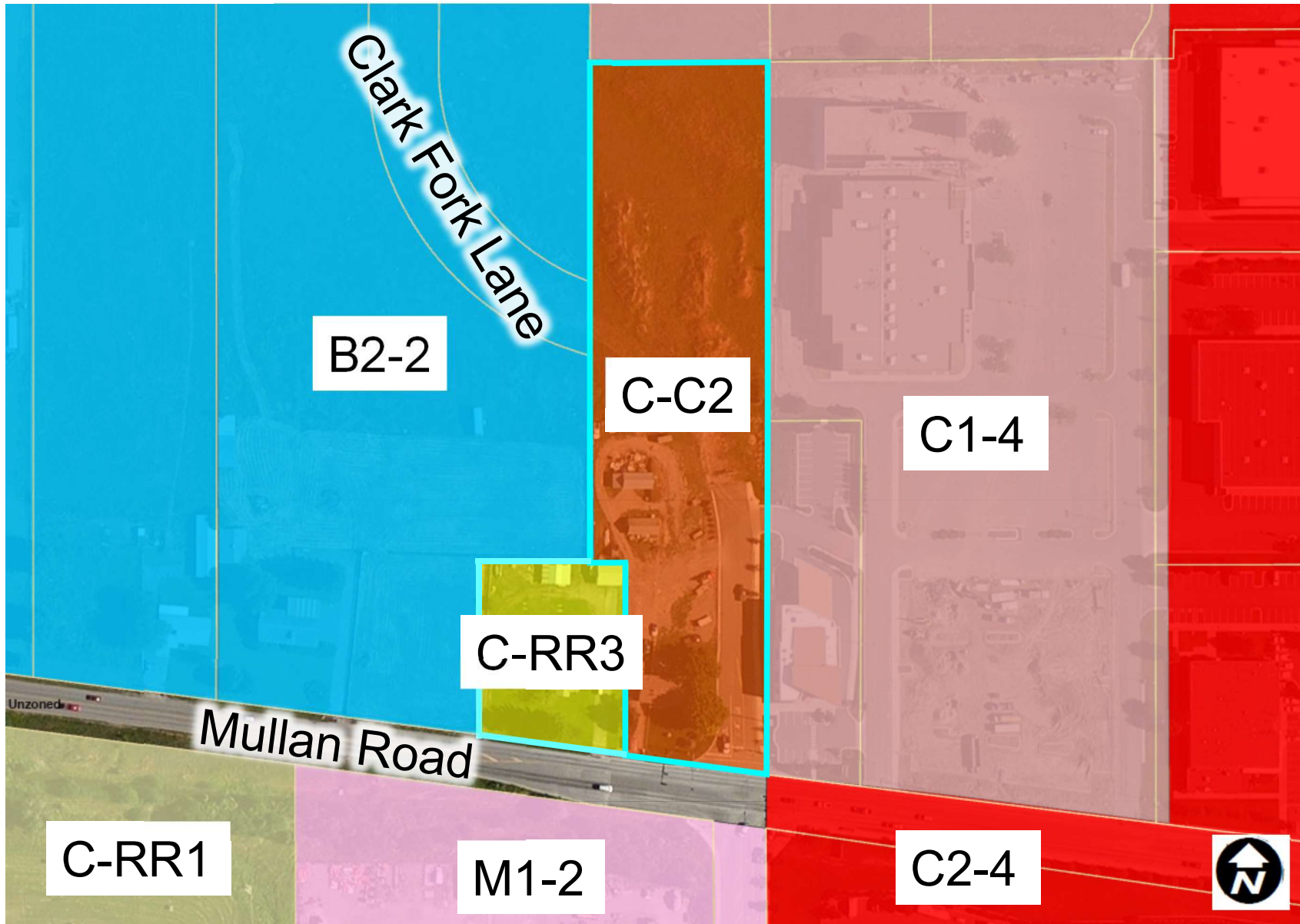
Public Improvements and Service:

- Provide the same levels of service and infrastructure as other parts of the municipality.
- Prioritize annexation of areas that meet current city standards, including but not limited to water, sewer and transportation infrastructure.

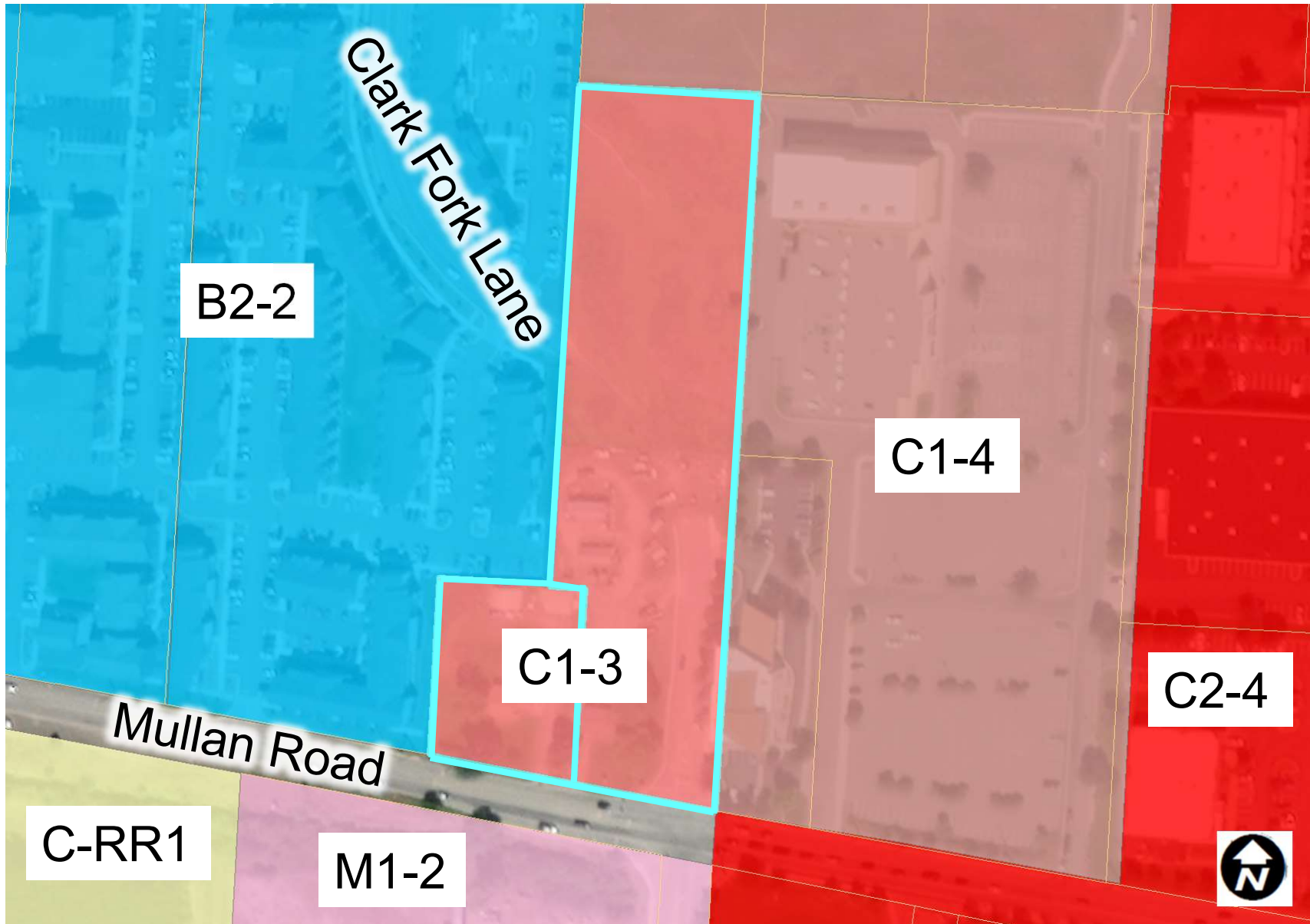
Our Missoula: City Growth Policy 2035



Current Zoning



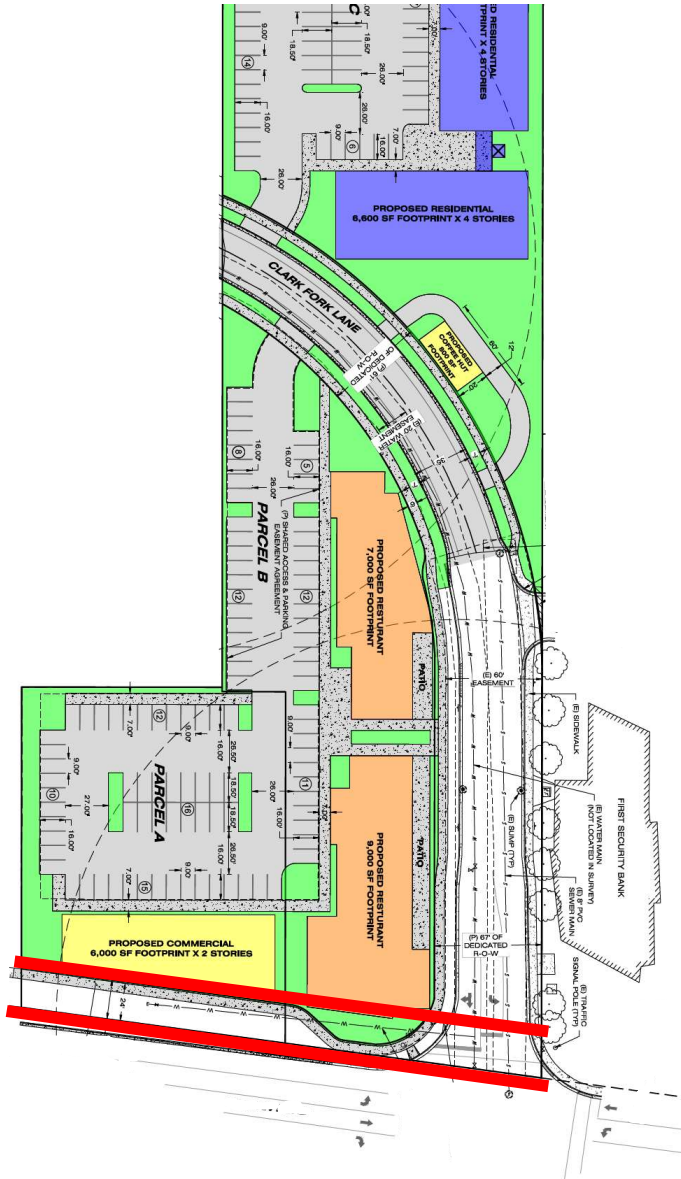
Recommended Zoning



Changes proposed by the representative

- Option to submit a cost estimate, improvements agreement, and financial security (conditions #1 – 3)
- Dedicate right-of-way within 90 days (conditions #1 – 3)
- File access easement within 90 days (condition #4)

Conditions of Approval #1



Mullan Road

- Minor Arterial
- Dedicate 25 ft of ROW
- Half Street Improvements

Amendment to Condition #1



The applicant shall dedicate 25 feet of right-of-way measured from the southern property boundary of the two tracts of land, Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 shown on Exhibit A, within sixty (60) ninety (90) days of approval of the annexation, and shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering. The applicant shall construct half street improvements meeting minor arterial standards for Mullan Road adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on either lot with frontage on Mullan Road or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the north side of Mullan Road shall include: curb and gutter, drainage facilities, 5-foot wide bike lane, 10-foot wide landscaped boulevard. 6-foot wide sidewalk, patch back to existing paving and pedestrian crossings at Clark Fork Lane and Mullan Road.

Conditions of Approval #2, 3, & 4



Clark Fork Lane

Southern Portion:

- Dedicate 67 ft of ROW
- Improvements to west side

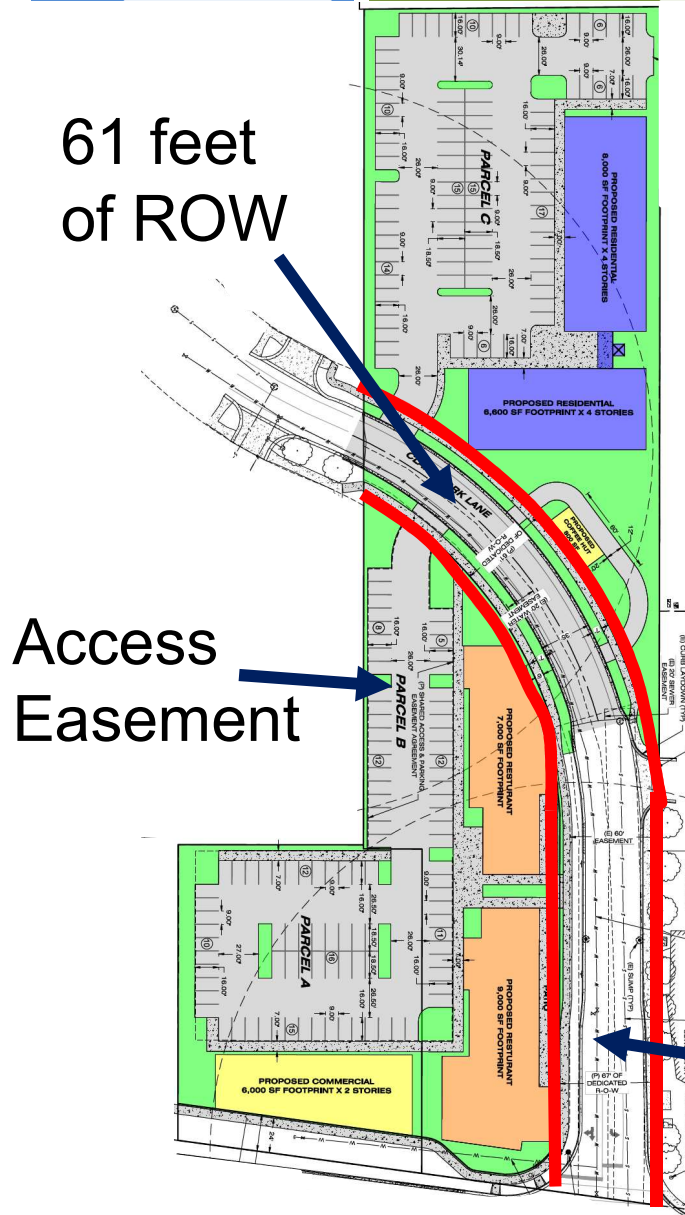
Northern Portion:

- Dedicate 61 ft of ROW
- Full street improvements

Easements:

- Access easement for 3770 Mullan Road (Tract 1 of Halling Farms)

67 feet of ROW



Amendment to Condition #2



The applicant shall dedicate 67 feet of right-of-way on the southern portion of Clark Fork Lane within sixty (60) ninety (90) days of approval of the annexation, and install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of the City Engineer. The applicant shall install improvements on the west side of Clark Fork Lane adjacent to the subject property, subject to review and approval of City Engineering, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements on the west side of Clark Fork Lane shall include: curb and gutter, 7-foot boulevard, 5-foot sidewalk, and 6-foot bike lane on the west side of Clark Fork Lane.

Amendment to Condition #3



The applicant shall dedicate 61 feet of right-of-way on the northern portion of Clark Fork Lane within sixty (60) ninety (90) days of approval of the annexation, and install full street improvements for this portion of Clark Fork Lane, subject to review and approval of the City Engineer. The applicant shall install full street improvements for the northern portion of Clark Fork Lane, subject to review and approval of City Engineering, prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner. The applicant may guarantee installation of improvements with a cost estimate, improvements agreement, and financial security approved by City Engineering. The improvements shall include: 35 feet back-of-curb to back-of-curb roadway, curb and gutter, drainage facilities, 11-foot travel lanes, 6-foot bike lanes, 7-foot boulevards and 5-foot sidewalks.

Amendment to Condition #4



The applicant shall provide an access easement filed with the County Clerk and Recorder from Clark Fork Lane across the tract of land described in Book 128 of Micro Records at Page 461 for the use and benefit of Tract 1 of Halling Farms, subject to review and approval of City Engineering, ~~prior to building permit approval on parcels south of Clark Fork Lane.~~ within sixty (60) ninety (90) days of approval of the annexation.

Conditions of Approval #5 & 6

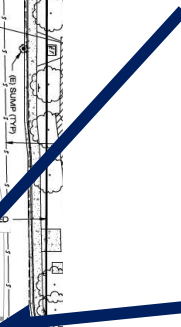


Possible connection

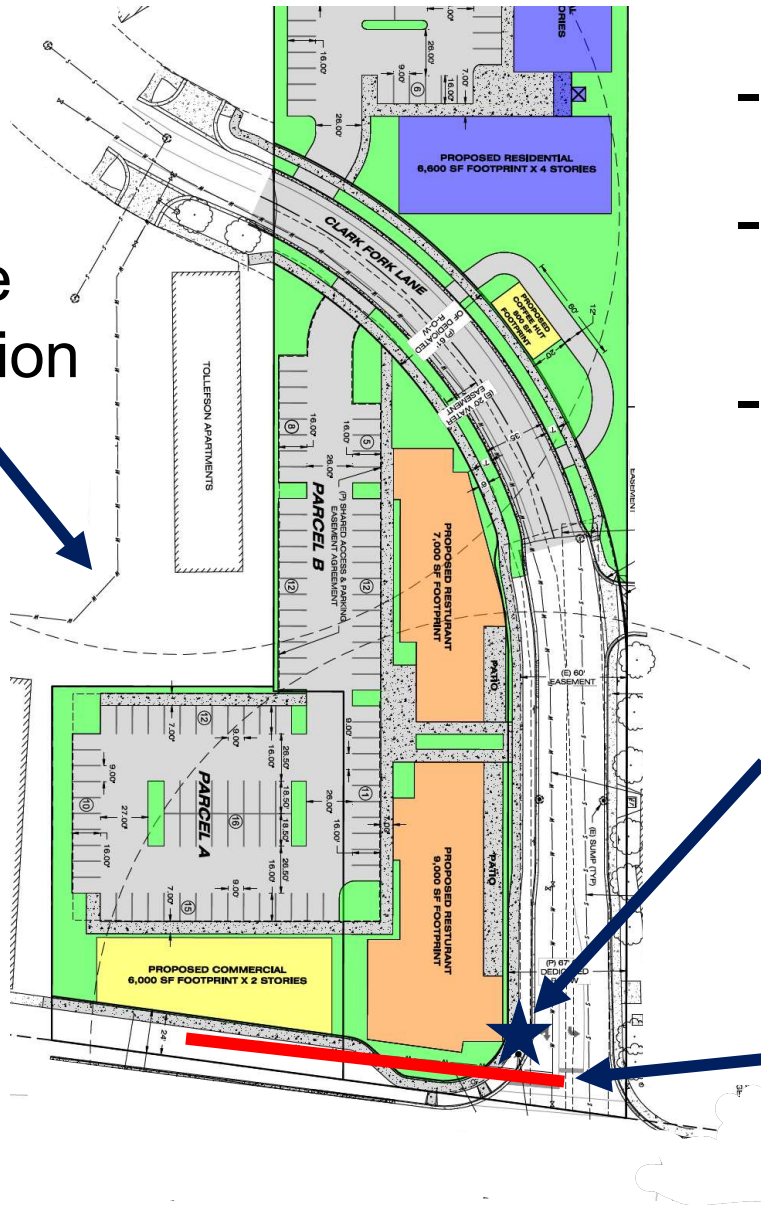


- New fire hydrant
- Water main extension in Mullan or;
- easement to connect to main to the west

Approved hydrant location



Main extension



Conditions of Approval #7 & 8



Boulevard Landscaping

The applicant shall prepare a boulevard landscaping and maintenance plan for Clark Fork Lane and the portion of Mullan Road adjacent to the subject property, subject to review and approval of City Parks and Recreation, prior to. . . Boulevard landscaping shall be installed and maintained per the approved boulevard landscaping and maintenance plan prior to certificate of occupancy for each building permit.

Transit

The applicant shall petition into the Missoula Urban Transportation District prior to the first building permit on the subject property or within two (2) years of annexation, whichever is sooner, subject to review and approval by Development Services.

Title 20, Section 20.85.040(1)(2)



- a) authorize land uses comparable to the land uses authorized under the county zoning classification that applied to the property immediately before it was annexed into the city;
- b) authorize land uses that are consistent with the land uses approved by the Board of County Commissioners or the County Board of Adjustment; or
- c) be consistent with the land use and zoning recommendations for the subject areas, as set forth in the Growth Policy.

Recommended Motion



Adopt a resolution to annex and incorporate within the boundaries of the City of Missoula two (2) certain parcels of land described as Tract 1 of Halling Farms and a tract of land described in Book 128 of Micro Records at Page 461 and shown on Exhibit A, located in Section 18, Township 13 North, Range 19 West, P.M.M., and zone the property C1-3 Neighborhood Commercial, based on the findings of fact in the staff report, subject to the recommended conditions of annexation approval as amended in Memo No. 1.

STAFF REPORT & REFERRAL

Agenda item: Rezone property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West from Special Di

Report Date(s): 8/11/2020

Case Planner: Kaitlin McCafferty, Associate Planner

Report Reviewed & Approved By: Mary McCrea, Permits and Land Use Manager

Public Meetings & Hearings:
Planning Board (PB) hearing:
 9/1/2020
City Council (CC) 1st reading:
 8/24/2020
Land Use & Planning (LUP) pre-hearing:
 9/9/2020
City Council hearing:
 9/14/2020

Applicant & Fee Owner: Dennis B. Wise, Trustee, Mary Conway Wise, Trustee, Wise Family Trust
 c/o Jim Lentine
 7652 East Acoma Drive
 Scottsdale AZ 85260



Location of request: The subject property is located at 601 W Broadway Street and the parcel directly east of 601 W Broadway in Heart of Missoula Neighborhood Council and Ward 1.

Legal description: Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West, P.M.M.

Legal ad: The legal ad was published in the *Missoulian* on August 16 & 23, 2020. The site was posted on August 14, 2020. Adjacent property owners and the physical addresses within 150 feet of the site were notified by first class mail on August 10, 2020.

Zoning: Special District SD/Riverfront Triangle, Sub-district D

Growth Policy: The applicable regional plan is Our Missoula: City Growth Policy 2035 which recommends a land use designation of Urban Center, intended to address the concentration of downtown uses including commercial office, retail, arts and entertainment, eating and drinking establishments, and residential. The applicable vicinity plans include the 2019 Missoula Downtown Master Plan, the 2019 North Riverside Parks and Trails Plan and the 2000 / 2006 Joint Northside / Westside Neighborhood plan.

STAFF RECOMMENDATION

Approve the adoption of an ordinance to Rezone property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West from Special Di, subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and

approved by City Council. The Development Agreement shall include construction of the Riverfront Trail along the north shore of the Clark Fork River from east to west, connecting to W Broadway on the west end and to the River Front Trail on property adjacent to the east without interruption or detour; the developer's responsibility for the cost of a minimum 10-foot wide trail with 1 foot shoulders on either side of the path; the City of Missoula's responsibility for the cost of upsizing the trail to a 14-foot wide concrete trail; the City of Missoula's responsibility for repair, maintenance and replacement of the trail once constructed; and a 20-foot wide public non-motorized access easement filed with the Development Agreement. Design of the Riverfront Trail and any variation from the standards, including easement width, surface width of the trail, lighting, provision for trash receptacles and benches, shall be specific to the site and approved by City Parks and Recreation.

RECOMMENDED MOTIONS

PB p/h: 9/1/20	APPROVE the adoption of an ordinance to Rezone property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West from Special Di subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council. The Development Agreement shall include construction of the Riverfront Trail along the north shore of the Clark Fork River from east to west, connecting to W Broadway on the west end and to the River Front Trail on property adjacent to the east without interruption or detour; the developer's responsibility for the cost of a minimum 10-foot wide trail with 1 foot shoulders on either side of the path; the City of Missoula's responsibility for the cost of upsizing the trail to a 14-foot wide concrete trail; the City of Missoula's responsibility for repair, maintenance and replacement of the trail once constructed; and a 20-foot wide public non-motorized access easement filed with the Development Agreement. Design of the Riverfront Trail and any variation from the standards, including easement width, surface width of the trail, lighting, provision for trash receptacles and benches, shall be specific to the site and approved by City Parks and Recreation.
CC first reading: 8/24/20	[First reading and preliminary adoption] Set a public hearing on September 14, 2020 and preliminarily adopt an ordinance rezoning the subject property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West from Special District SD/Riverfront Triangle, Sub-district D to CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay, subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council. The Development Agreement shall include construction of the Riverfront Trail along the north shore of the Clark Fork River from east to west, connecting to W Broadway on the west end and to the River Front Trail on property adjacent to the east without interruption or detour; the developer's responsibility for the cost of a minimum 10-foot wide trail with 1 foot shoulders on either side of the path; the City of Missoula's responsibility for the cost of upsizing the trail to a 14-foot wide concrete trail; the City of Missoula's responsibility for repair, maintenance and replacement of the trail once constructed; and a 20-foot wide public non-motorized access easement filed with the Development Agreement. Design of the Riverfront Trail and any variation from the standards, including easement width, surface width of the trail, lighting, provision for trash receptacles and benches, shall be specific to the site and approved by City Parks and Recreation and refer this item to the Land Use and Planning Committee for presentation on September 9, 2020.
LUP: 9/9/20	Discussion only – pre-public hearing
CC p/h: 9/14/20	[Second and final reading] (Adopt/Deny) an ordinance rezoning the subject property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West from Special District SD/Riverfront Triangle, Sub-district D to CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay, subject to the applicant

and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council. The Development Agreement shall include construction of the Riverfront Trail along the north shore of the Clark Fork River from east to west, connecting to W Broadway on the west end and to the River Front Trail on property adjacent to the east without interruption or detour; the developer's responsibility for the cost of a minimum 10-foot wide trail with 1 foot shoulders on either side of the path; the City of Missoula's responsibility for the cost of upsizing the trail to a 14-foot wide concrete trail; the City of Missoula's responsibility for repair, maintenance and replacement of the trail once constructed; and a 20-foot wide public non-motorized access easement filed with the Development Agreement. Design of the Riverfront Trail and any variation from the standards, including easement width, surface width of the trail, lighting, provision for trash receptacles and benches, shall be specific to the site and approved by City Parks and Recreation.

I. INTRODUCTION

Development Services has received a request from Nick Kaufman of WGM Group representing Dennis B. Wise, Mary Conway Wise and the Wise Family Trust to rezone the subject property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West, P.M.M. from Special District SD/Riverfront Triangle, Sub-district D to CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay. This rezone would result in a standard zoning district in Title 20 and may not be conditioned.

Staff has reviewed the applicant's rezoning submittal packet and bases the recommendation of approval on the following findings of fact:

II. Rezoning review criteria

Findings of fact:

General

1. The subject property has frontage on West Broadway Street, classified as a Principal Arterial and W Front Street, classified as a Major Collector.
2. The subject property is approximately 33,250 SF and is vacant.
3. The site was formally used as a site for the Limited Motor Vehicle Repair business, Tire-Rama. The building was demolished in 2008.
4. The subject property is inside the Urban Growth Area, the Wastewater Facilities Service Area, the Air Stagnation Zone, and can be served by City water and sewer.
5. The subject property is located within an established service area for Missoula hospitals and the City Fire and Police Departments.

Growth Policy:

6. The applicable regional plan is the Our Missoula: City Growth Policy 2035, which recommends a land use designation of Urban Center intended to address the concentration of downtown uses including office, retail, arts and entertainment, eating and drinking establishments, and residential.
7. Areas designated Urban Center are identified as areas of high intensity commercial, retail, arts and entertainment, and high density residential. The City Growth Policy indicates that the following districts are most closely aligned with this residential density: C1-4 Neighborhood Commercial, C2-4 Community Commercial, and CBD Central Business District. The C1-4, C2-4 and CBD zoning districts permit residential density up to 43 dwelling units per acre.
8. The applicant is requesting to rezone the subject property to CBD-4 Central Business District, which is consistent with the Growth Policy land use recommendation for the Urban Center Land Use designation.
9. On January 16, 2019, the City Council adopted the Design Excellence Overlay and applied the /DE-D Outer Core Design Excellence Downtown Overlay zoning to property surrounding the subject property. The Design Excellence Review includes a set of site and building design guidelines that are intended to shape development that is consistent with community character. The overlay was not applied to property with Special District zoning designations, such as the current subject property zoning of Special District SD/Riverfront Triangle, Sub-district D. Staff recommends that with the request to rezone to CBD-4, the /DE-D Outer Core Design Excellence Downtown Overlay zoning be applied to the subject property, consistent with adjacent property zoning.
10. The 2019 Missoula Downtown Master Plan is the applicable vicinity plan. The subject property is within the Riverfront Triangle & Medical District highlighted in the plan, described as an area to include retail, conference center, office, and family and professional housing. The housing is intended to serve the workforce, market-rate and senior rental housing as well as for sale condominiums.
11. The 2019 Missoula Downtown Master Plan describes the Clark Fork River in Missoula as a defining feature, and recommends that the river's edge be treated with care. The Plan states that where

development approaches the riverbank, it should be designed to limit negative impacts to the river and to provide public access between the river and buildings. The Plan recommends an extension of the river front trail along the north bank of the Clark Fork River and open space along the river.

12. The southeast edge of the 2000 Joint Northside/Westside Neighborhood Plan and the 2006 Update plan area covers the portion of the subject property between W Broadway Street and W Front Street. The 2000/2006 Northside/Westside Plan recommends a City Center land use designation for the portion of the subject property within the plan area.
13. The 2000/2006 Northside/Westside Plan encourages mixed use development on land designated as City Center, and supports extending the riverfront trail from N Orange Street to the California pedestrian bridge.
14. The North Riverside Parks and Trails Master Plan (pending adoption) shows an extension of the river front trail along the north bank of the Clark Fork River across the subject property with the trail connecting to W Broadway at the western edge of the subject property.

Zoning

Adjacent Zoning and Land Uses

15. The property to the north and west is zoned C1-4 Neighborhood Business / DE-D Outer Core Design Excellence Downtown Overlay and to the south and east the property is zoned CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay. Adjacent to the south is the Clark Fork River and property south of the river is zoned OP3 Public Lands and Institutional.
16. The subject parcel is the last remaining parcel in the SD/River Front Triangle zoning district. All other parcels in this district were rezoned to CBD-4 Central Business District in 2008 and the Design Excellence Overlay was applied in 2019.
17. Surrounding uses include medical office, hospital, retail, hotel/motel, restaurants, office, financial services, communication service establishment, sports and recreation participants and residential.

Surrounding Land Uses	Surrounding Zoning
North: Hospital	C1-4 Neighborhood Commercial / DE-D Outer Core Design Excellence Downtown Overlay
South: Clark Fork River, Parks and Open Lands	Unzoned, OP3 Public Lands and Institutional and CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay
East: Commercial	CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay
West: Commercial	C1-4 Neighborhood Commercial / DE-D Outer Core Design Excellence Downtown Overlay

Current Riverfront Triangle Special Zoning District (RTSZD)

18. On April 19, 2004 the City Council approved Ordinance #3245 establishing the Riverfront Triangle Special Zoning District (RTSZD). The RTSZD was applied to the Riverfront Triangle Area as a way to implement the Riverfront Triangle Redevelopment Master Plan (RTRMP).
19. The RTSZD was created to establish a mixed use area that functions as an introduction to the downtown area with a variety of uses, such as offices, residential, commercial and retail to serve the neighborhoods as well as the larger community.
20. In addition the RTSZD included building design standards intended to reinforce a pedestrian friendly experience on the streets; encourage development with primary entrances facing the street and public

areas; establish views from and through the site to the vistas both north and south; and expand the options for pedestrian movement throughout the site, including expansion of the Riverfront Trail corridor through the property.

21. The RTSZD includes General Development Standards related to parking, building design standards, riverfront and public access, riparian resources and street trees. The zoning district refers to the former Title 19 zoning ordinance for standards not specifically addressed in the RTSZD such as off-street parking requirements, signage standards, and Riparian Resource provisions.
22. The General Development Standards for parking refer to Title 19 for calculating the number of required parking spaces, which is considered both a minimum and a maximum requirement. Off-street parking spaces are not required to be located on the same parcel as the use they serve, and may be shared or in a communal parking garage as long as agreements are in place verifying the number of reserved spaces per use and details of the shared spaces. Parking structures and parking lots are not allowed to be located in areas with frontage on a right-of-way or public space except for entrances, exits and driveways.
23. The General Development Standards include building design standards requiring building entrances facing public streets, modulation of building facades, inclusion of building elements to reduce the bulk of buildings, and sixty percent (60%) glazing at street level with frontage and fifteen percent (15%) glazing at all other levels.
24. The General Development Standards include Riverfront and Public Access standards which include extension of the riverfront trail through the property across the entire riverfront frontage with accesses from W Broadway Street and W Front Street leading to the riverfront trail spaced every 200 feet. In addition the standards require open space in the form of ADA accessible public parks and/or plazas with several specific locations specified.
25. The RTSZD is divided into five sub-districts: A, B, C-north, C-south and D. Each sub-district includes standards for permitted uses, setbacks/build-to lines, maximum building height and supplemental regulations.
26. The RTSZD is very prescriptive in terms of the type of uses permitted on each street frontage throughout the zoning district. For each street and sub-district the RTSZD prescribes specific uses permitted at street level with frontage, street level without frontage, on the second level and on levels above the second level.
27. For example, within Sub-district D the only permitted uses on W Broadway Street and W Front Street or from a plaza or open area within the sub-district are as follows:
 - a. Street level with frontage on West Broadway or West Front Street: Retail and Service Businesses, Professional Office, or Residential
 - b. Street level without frontage on West Broadway or West Front Street: Residential, Professional Office, Retail and Service Businesses
 - c. Second level: Retail and Service Businesses, Professional Office, Residential
 - d. Other levels: Professional Office or Residential

Permitted uses facing the Clark Fork River are as follows:

- e. Ground level with frontage: Retail and Service Businesses, Residential
 - f. Ground level without frontage: Retail and Service Businesses, Residential
 - g. Second level: Professional Office Residential
 - h. Other levels: Professional Office, Residential
28. Setbacks vary in the RTSZD by sub-district and by street frontage. Sub-district D requires street facades to be built parallel to the principal frontage line along a minimum of 70% of its length with a setback of 0 feet. In the absence of a building along the remainder of the frontage line, a street wall shall be built coplanar with the façade. Also, minimum sidewalk width on West Broadway is ten (10) feet. Minimum sidewalk width on West Front Street is fifteen (15) feet. Also, no building shall be built within twenty (20) feet of the north bank of the Clark Fork River.

29. Maximum building height standards vary in the RTSZD by sub-district and by street frontage. Generally taller buildings are allowed along the north side of the site with a decrease in height for structures closer to the Clark Fork River. The maximum building height of this parcel under SD/Riverfront Triangle sub-district D is 52 feet along W Front Street and West Broadway. Buildings within 50 feet of the top of the Clark Fork River's north bank are restricted to two (2) stories and a maximum height of 30 feet from the top of the river bank.

Proposed Zoning: CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay

30. One of five commercial zoning districts in Title 20, the CBD-4 Central Business District permits commercial uses that are moderate to high in intensity. In addition, all the residential building types from detached house (single dwelling) through multi-dwelling residential are permitted in the CBD-4 zoning district.
31. The applicant states in the submittal packet that they propose a mixed use building that will include multi-dwelling residential housing, parking and office space.
32. In CBD-4 there are no minimum parcel area standards or parcel area per unit standards. Also, because the area is not adjacent to any residential zoning districts, the only zoning setback in CBD-4 prohibits the location of buildings within 50 feet of the 100 year floodplain boundary along the Clark Fork. Walkways, plazas, pedestrian-oriented facilities, and bike trails are permitted within the 50-foot setback area.
33. Maximum building height in CBD-4 is 125 feet.
34. Uses listed as permitted in the CBD-4 zoning district are approved in an administrative process through zoning compliance review as part of a building permit application or zoning compliance permit. Uses listed as conditional in the CBD-4 zoning district require a public hearing and approval by City Council. Conditional uses must comply with all applicable standards of the zoning ordinance and meet the review criteria listed in Section 20.85.070.H of Title 20.
35. Two of the common general standards of the Title 20 zoning ordinance, landscaping and off-street parking, do not apply in the CBD-4.
36. The Title 20, multi-dwelling building standards do not apply in the CBD district, to mixed use buildings or to vertical mixed use buildings.
37. The Design Excellence Overlay includes a set of site and building design standards and guidelines that are intended to shape development that is consistent with community character. The Design Excellence Downtown Outer Core design standards regulate site design, vertical scale, façade design - including glazing, entrance locations and materials - such that buildings contribute to the urban experience with facades located at the street edge and activated storefronts to ensure an engaging street experience.
38. In the Design Excellence Overlay, the Title 20, Commercial Building Design standards do not apply.
39. In the Design Excellence Overlay, the Title 20, Enterprise Commercial Uses are exempt from conditional use review and exempt from all the Enterprise Commercial Use standards except for the requirement for a Traffic Impact Analysis.
40. Full Design Excellence Review is required for all properties located within the Downtown Outer Core which requires compliance with the Design Excellence standards and compliance with the applicable standards in the Design Excellence Guidelines.

Comparison of RTSZD and CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay

41. The RTSZD lists uses as permitted and prohibited. Permitted uses are approved administratively by Development Services permit staff with application for a building permit or Zoning Compliance permit. Permitted uses in Sub-district D include:
- a. Retail Trade which includes restaurants in addition to retail sales;
 - b. Service Businesses which includes banks, health clubs, businesses for personal grooming, tailors and instructional businesses;

- c. Professional Office use which includes medical and general office uses, medical laboratory, Out-Patient Surgical Center and Research Laboratories; and
 - d. Residential use includes detached house, two-unit house, multi-dwelling, senior housing, skilled nursing facilities, residential hospice facilities and assisted living facilities.
42. In CBD-4 permitted uses are approved administratively by Development Services permit staff. Conditional uses require a public hearing and approval by City Council. The CBD-4 includes a wider variety of permitted uses than the RTSZD.
 43. RTSZD prohibits any use not specifically listed as permitted in addition to the following: adult bookstore/theater type uses, auto-related uses such as vehicle repair, sales and service, welding or metal shops and any business that is noxious or offensive, or imposes extraordinary hazard to life or property.
 44. CBD-4 prohibits construction sales and service, check cashing/loan service, funeral and interment service uses, truck stop and travel plaza service use, recreational vehicle park, recycling service uses, general warehousing/wholesaling/freight movement, residential storage warehouse use, and most vehicle related uses. All of these uses are not listed as permitted in the RTSZD, therefore they would also be prohibited.
 45. In the CBD-4 and RTSZD there are no minimum parcel area or minimum parcel area per unit standards. Density is limited in the RTSZD by the maximum height allowed in each sub-district and by the amount of land occupied by parking to meet the minimum parking required for all the uses. In the CBD-4 off-street parking requirements do not apply. Density is limited in the CBD-4 by the maximum building height and unit size.
 46. Except for a floodplain setback, there are no setbacks required in the CBD-4 zoning district unless the property abuts an R-zoned district. The subject property does not abut an R-zone. The floodplain setback in the CBD-4 prohibits buildings within fifty (50) feet of the 100 year floodplain.
 47. In the RTSZD along all street frontages, buildings are required to be built at the property line, with zero (0) setback, for at least 70% of the frontage length. The /DE-D Outer Core Design Excellence Downtown Overlay requires structures to be built between 0 – 5 feet from W Broadway for at least 80% of the street frontage.
 48. In CBD-4 the maximum structure height is 125 feet. The /DE-D Outer Core Design Excellence Downtown Overlay restricts the street wall height to 85 feet (6 stories) and then the street wall must step back 10 feet above 85 feet to the maximum height of 125 feet in CBD-4.
 49. The maximum building height of this parcel under RTSZD, Sub-district D is 52 feet along W Front Street and West Broadway. Buildings within 50 feet of the top of the Clark Fork River's north bank are restricted to two (2) stories and a maximum height of 30 feet from the top of the river bank.
 50. For Special Districts created under the Title 19 zoning ordinance, any standards not addressed in the Special District would refer back to the Title 19 standards. The RTSZD refers to Title 19 for calculating the number of required parking spaces, which is considered both a minimum and a maximum requirement. The RTSZD anticipates that off-street parking will be shared between uses and at least a portion will be provided in one or more communal parking garages, with parking agreements in place. In CBD-4 the general parking and landscaping standards in Title 20 do not apply. No off-street parking is required for uses in the CBD-4 zoning district.
 51. Both the RTSZD General Standards and the /DE-D Outer Core Design Excellence Downtown Overlay include building design standards such as location for entrances, façade modulation, façade articulation to create visual variety and reduce the apparent bulk of buildings, a minimum amount of glazing (glass doors and windows) and restrict the location of parking areas related to street frontage. Design Excellence review also regulates the use of certain materials in order to ensure that a building's façade design reflects Missoula's location and character.
 52. The RTSZD includes Riverfront and Public Access standards, with a primary requirement to extend the riverfront trail along the entire riverfront frontage of the subject property. In addition the RTSZD requires

accesses from W Front Street and W Broadway leading to the riverfront trail spaced every 200 feet. Several locations are listed as preferred for ADA accessible public parks and plazas.

53. The CBD-4 zoning district does not require extension of the Riverfront Trail and does not include requirements for public plazas. The Title 20 landscaping standards do not apply in the CBD-4 zoning district.
54. The Design Excellence Downtown Guidelines include standards for landscape design. Standard SD29 requires a landscape buffer between the building and the Clark Fork River to maintain the natural aesthetic of the river edge.
55. In general the CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay zoning offers the following compared to the RTSZD:
 - a. A wider variety of commercial uses without the prescriptive requirements of the RTSZD;
 - b. A mix of permitted residential and non-residential uses similar to the RTSZD
 - c. An increase in height to 125 feet, with a step back of 10 feet above 85 feet at the street edge compared to a maximum building height of 52 feet in RTSZD;
 - d. A 50 foot setback from the 100 year floodplain in the CBD-4, however no requirement to extend the Riverfront Trail within this setback area, whereas the RTSZD requires a 50 foot setback from the top of the river bank and extension of the Riverfront Trail within this setback area; and
 - e. No off-street parking in the CBD-4 compared to the RTSZD requirements for parking per Title 19.
56. Any new development on the subject property will be required to meet all applicable portions of Title 12 & Title 20, as required by the Missoula Municipal Code.

Riverfront Trail

57. The rezone application includes a proposal by the developer to grant a 15-foot wide riverfront trail and utility easement, east to west across the subject property and extending north along the west property boundary. From the easement exhibit in the rezone application it is not clear where the top of bank for the north bank of the Clark Fork River is located. The easement appears to extend into areas of increased slope along the riverbank at the eastern property boundary and extend away from areas of increased slope along the riverbank toward the western property boundary.
58. City Parks commented that they could support the rezoning, but the riverfront trail would require a minimum 20-foot wide non-motorized access easement, east to west across the subject property and along the western boundary of the property to connect the trail to W Broadway. The 20-foot easement width is required in order to ensure the easement will accommodate public safety for the volume of users of the shared use path, accommodate trail lighting and seating, and provide sufficient width for short / long term maintenance of the trail.
59. City Parks noted that the Missoula Downtown Master Plan recommends extension of the riverfront trail along the north bank of the Clark Fork River. The Plan proposes a design for the Ron's River Trail (located east of Orange Street along the river) as a Promenade that includes a 14-foot wide trail with 2-foot shoulders each side with seating and lighting located along the trail.
60. City Parks noted that the North Riverside Parks and Trails Master Plan (pending adoption) recommends a 16 – 20-foot width for a Promenade and that the proposed 2020 AASHTO Guide for the Development of Bicycle Facilities also calls for wider minimum widths for shared-use paths due to the volume of use.
61. With the rezone of the Sub-districts A, B and C of RTSZD to CBD-4 Central Business District in 2017, the City applied standards with a Land Use and Development Agreement that required a minimum 20-foot wide riverfront trail easement measured from the top of bank of the north bank of the Clark Fork River. In addition, the Land Use and Development Agreement required buildings to be setback 25 feet from the top of the north bank of the Clark Fork River.
62. In addition, completion of the north bank riverfront trail is identified as a project in Activate Missoula 2045, Missoula's Long Range Transportation Plan.

63. The recommended motion includes approval of the rezone subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance, which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council.

Transportation

64. Per the Road Functional Classification Map from the MPO 2012 Transportation Plan, roads adjacent to or within the subject property have the following classifications:
 - a. W Broadway Street is classified as Principal Arterial
 - b. W Front Street is classified as a Major Collector
65. The W Broadway Street frontage of the subject property includes curbside sidewalks south of the Owen Street intersection.
66. The W Front Street frontage of the subject property includes curbside sidewalks on the north side of the street.
67. The Riverfront Trail extends along the Clark Fork River from under the N Orange Street bridge to the Owen Street right-of-way.
68. The subject property is within the Missoula Urban Transportation District. The subject property is within a quarter mile of the Downtown Transfer Station providing access to all the bus routes. Bus stops for Routes 11 and 14 are adjacent on W Broadway Street. Bus routes 7 and 9 run on N Orange Street adjacent to the subject property.

Conclusions of Law:

1. Whether the zoning is made in accordance with a growth policy;

1. The 2035 Our Missoula City Growth Policy incorporates previously approved regional, vicinity and issue plans. The 2035 Our Missoula City Growth Policy is the applicable regional plan and recommends an Urban Center land use designation for the subject property. The Urban Center land use designation is recommended for areas where there is a concentration of downtown uses including high intensity commercial, office, retail, arts and entertainment, eating and drinking establishments and high density residential.
2. The rezoning of the subject property to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay complies with the Urban Center land use designation because the 2035 Growth Policy recommends CBD-4, C1-4 and C2-4 as the relatable zoning districts for lands with the Urban Center land use designation.
3. The 2019 Missoula Downtown Master Plan is the applicable vicinity plan. The subject property is within the Riverfront Triangle & Medical District highlighted in the plan, described as an area to include retail, conference center, office, and family and professional housing. The housing is intended to serve the workforce, market-rate and senior rental housing as well as for sale condominiums.
4. The rezoning of the subject property to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay complies with the 2019 Missoula Downtown Master Plan because the CBD-4 zoning permits all the uses recommended in the Plan.
5. The 2019 Missoula Downtown Master Plan describes the Clark Fork River in Missoula as a defining feature, and recommends that the river's edge be treated with care. The Plan states that where development approaches the riverbank, it should be designed to limit negative impacts to the river and to provide public access between the river and buildings. The Plan recommends an extension of the river front trail along the north bank of the Clark Fork River and open space along the river.

6. The rezone to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay does not implement the 2019 Missoula Downtown Master Plan recommendation for extension of the river front trail along the north bank of the Clark Fork River.
7. The applicant has included a document illustrating a 15-foot wide easement proposal extending east to west along subject property, however the easement has not been filed with the County Clerk and Recorder.
8. The Downtown Master Plan recommends the trail east of Orange Street be designated a Promenade trail that includes a 14-foot wide trail with 2-foot shoulders each side with seating and lighting located along the trail. A minimum 20-foot wide easement is required for a Promenade trail.
9. In order for the rezoning to comply with and implement the recommendations of the 2019 Missoula Downtown Master Plan, the applicable vicinity plan for the subject property, staff recommends the motion for approval be subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council.

2a. Whether the zoning is designed to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements; 2b. Whether the zoning considers the effect on motorized and non-motorized transportation systems;

1. The rezoning facilitates the adequate provision of public services, including transportation, water, sewerage, schools, parks, and other public requirements, because the area is inside the Waste Water Service Area, and is served by public infrastructure.
2. The current Riverfront Triangle Special Zoning District, Sub-district D zoning provides for an extension of the riverfront trail. The rezone to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay does not require an extension of the riverfront trail.
3. The applicant has included a document illustrating a 15-foot wide easement proposal extending east to west along subject property, however the easement has not been filed with the County Clerk and Recorder.
4. The Downtown Master Plan recommends the trail east of Orange Street be designated a Promenade trail that includes a 14-foot wide trail with 2-foot shoulders each side with seating and lighting located along the trail. A minimum 20-foot wide easement is required for a Promenade trail.
5. In order for the rezoning to comply with and implement the recommendations of the 2019 Missoula Downtown Master Plan, the applicable vicinity plan for the subject property, staff recommends the motion for approval be subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council.
6. The rezoning gives reasonable consideration to the effect on motorized and non-motorized transportation systems because the property is within the Missoula Urban Transportation District and the property is served by existing public sidewalks, public transit facilities, and bicycle lanes.
7. The rezoning will benefit the City as a whole if City Council approves the recommended motion providing for extension of the Riverfront Trail across the property connecting to W Broadway and by providing the appropriate width of trail and amenities that provide safe and effective non-motorized facilities while implementing key goals and objectives from the 2019 Missoula Downtown Master Plan.

3. Whether the zoning considers the promotion of compatible urban growth

1. The rezoning promotes compatible urban growth because it is inside the Waste Water Service Area and served by public infrastructure and services, including motorized and non-motorized transportation, water, sewer, schools, parks, and public utilities and services.

2. The rezone promotes compatible urban growth because it will facilitate mixed-use development on a site served by a Principal Arterial roadway and a Major Collector road.
3. In order for the rezoning to comply with and implement the recommendations of the 2019 Missoula Downtown Master Plan, the applicable vicinity plan for the subject property, staff recommends the motion for approval be subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council.
4. The rezoning of the subject property to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay complies with the Urban Center land use designation because the 2035 Growth Policy recommends CBD-4, C1-4 and C2-4 as the relatable zoning districts for lands with the Urban Center land use designation.

4a. Whether the zoning is designed to promote public health, public safety, and the general welfare; 4b. Whether the zoning is designed to secure safety from fire and other dangers; 4c. Whether the zoning considers the reasonable provision of adequate light and air; 4d. Whether the zoning conserves the value of buildings and encourages the most appropriate use of land throughout the jurisdictional area;

1. The rezoning of the subject property to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay will promote public health, public safety, and the general welfare by accommodating mixed-use development that is also supported in the 2019 Missoula Downtown Master Plan.
2. The rezoning will promote public health, public safety, and the general welfare and secure safety from dangers such flooding because the CBD-4 zoning district requires a 50 foot setback for all structures from the 100 year floodplain.
3. Emergency services are available to the site. Law enforcement personnel and procedures are available to address potential problems of noise, property damage, or personal injury. Fire protection is also available to the site.
4. This rezoning encourages an appropriate use of the land because it is located in an area the 2035 Growth Policy recommends that CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay zoning be applied due to the Urban Center land use design.
5. In addition the rezone to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay is appropriate because the area has access to sewer, public water, emergency services, streets, and other urban services. The recommended motion to require dedication of an easement to support extension of the riverfront trail will enhance non-motorized facilities.

5. Whether the zoning considers the character of the district and its peculiar suitability for particular uses;

1. The rezoning to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay is suitable for the subject property and gives reasonable consideration to the character of the district by providing a mix of residential and commercial uses at an intensity that is context-appropriate.
2. The rezoning considers the location and character of the property, which has easy access to urban infrastructure and services in Missoula.

6a. Whether the proposed zoning amendment corrects an error or inconsistency in the zoning ordinance or meets the challenge of a changing condition; 6b. Whether the proposed zoning amendment is in the best interests of the city as a whole.

1. The zoning amendment is a map amendment and not a text amendment, therefore there is no change to the Title 20 zoning ordinance with the map amendment to rezone the subject property from Riverfront Triangle Special Zoning District, Sub-district D to CBD-4 Central Business District /DE-D Outer Core Design Excellence Downtown Overlay.

2. The rezoning is in the best interest of the city as a whole because the rezoning implements the recommendations of the 2035 Our Missoula City Growth Policy for areas designated Urban Center. The CBD-4 zoning designation is listed in the Growth Policy as currently relatable to lands with the Urban Center land use designation.
3. Application of the /DE-D Outer Core Design Excellence Downtown Overlay with this zoning map amendment is consistent with the zoning applied to adjacent properties. The rezoning will provide a mix of residential and commercial at an intensity that is context appropriate.
4. The rezoning promotes compatible urban growth because it is inside the Waste Water Service Area and served by public infrastructure and services, including motorized and non-motorized transportation, water, sewer, schools, parks, and public utilities and services.
5. The rezoning will benefit the City as a whole if City Council approves the recommended motion providing for extension of the Riverfront Trail across the property connecting to W Broadway and by providing the appropriate width of trail and amenities that provide safe and effective non-motorized facilities while implementing key goals and objectives from the 2019 Missoula Downtown Master Plan.

III. AGENCY COMMENT

Missoula Valley Water Quality District: No comment provided

Health Department - Air Quality Division: The Air Program at the Missoula City-County Health Department has no comments on the proposed rezone request for 601 W Broadway – Ben Schmidt

Health Department – Environmental Health: The District supports the trail easement and 50 ft buffer that's proposed. It would be nice to see some of the concrete debris removed on the bank. Also, not sure that zoning is a tool to memorialize the riparian buffer and trail easement but the District would be supportive of this. Thanks. Travis Ross

Missoula County – Emergency Management: Emergency Management has no Comment- Adriane Beck

Missoula Urban Transportation District: Missoula Urban Transportation District does not have any concerns about the rezoning of 601 W Broadway to CBD-4/DE-D Outer Core. – Dan Stone

City Parks & Recreation: Thank you for allowing the Parks Department the opportunity to review this rezone.

The existing SD/Riverfront Triangle zoning for this parcel has a number of requirements in regards to:

- expanding the non-motorized system,
- continuing the Riverfront Trail corridor, which is the primary east/west commuter on the north side of the riverfront,
- considering views from and through the site,
- preservation and enhancement of open space area, and
- encourage land uses which will promote the natural, recreational, and historical character, as well as land uses that will allow public enjoyment of the area.

Specific to this parcel, the SD/Riverfront Triangle Subdistrict 4 requires:

- a public riverfront trail that will connect to the Ron's River Trail to the east
- building setbacks of 20' from top of bank, with buildings within 50' of top of bank to be no higher than 30', with either retail, service business or residential on the ground level.
- Minimum sidewalk widths of 10' on West Broadway and 15' on West Front Street

The recent update of Missoula's Downtown Master Plan proposed to design Ron's River trail as a Promenade with a 14' minimum width (w/2'shoulders), with lighting and seating. Completing the north bank riverfront trail is also an identified project in Activate Missoula 2045, Missoula's Long Range Transportation plan. The North Riverside Parks and Trails

Masterplan (pending adoption) recommends for a 16-20' width promenade, and the proposed 2020 AASHTO Guide for the Development of Bicycle Facilities also calls for wider minimum shared-use path widths due to volume of use.

The Parks Department could support this rezoning, but we would need a minimum of a 20' wide non-motorized access easement (25' width preferred) through this parcel to ensure we can accommodate trail lighting, provide both short/long term maintenance, future trail expansion, seating, and public safety. The current application only provides for a 15' easement.

The Parks department acknowledges that this is a narrow parcel with many constraints. We are willing to work with the applicant on meeting the intent of the original zoning, as well as implementing the City's adopted plans. - Neil Miner

Office Of Housing & Community Development: No comment provided

City Attorney: No comment provided

Missoula Redevelopment Agency: Thanks for the opportunity to comment.

This parcel currently carries the remnant of a special zoning district created in the mid-2000s that once extended eastward to Orange Street south of West Broadway. 601 West Broadway is now an isolated zoning island and should be considered part of the overall developable area in the Riverfront Triangle along the River it coincides and can be developed in concert with parcels to the east of it. The CBD-4 designation was applied to the parcels between the subject lot and Orange Street in 2019. At that time, the then owner of 601 West Broadway was not interested in changing to CBD-4.

The old special zoning for the property speaks specifically to height and setback restrictions and may include allowance for a public riverfront trail along the south and west sides of the property, which are important to the best development of that part of downtown Missoula. The CBD-4 zoning to the east was adopted pursuant to a Land Use Agreement (attached) which speaks to trail easements and design requirements that are very important to future development of the City's riverfront trail system, views from West Broadway, and promotion of proper urban form and architectural design. (The design requirements are superseded by the Design Excellence Standards). MRA supports the rezoning to CBD-4 pursuant to the owner providing written assurances that the riverfront trail on the south and west sides of the parcel remains viable though easements or allowance of the trail to be placed in south and west building setbacks. – Chris Behan

City Police: No issues from Police Department – Chris Odlin

City Fire: Thank you for the opportunity to comment. Specific requirements for providing the necessary tools for community fire protection, i.e., fire department access roads and fire protection water supplies, shall be reviewed at the time of construction permit submittal by the fire code official. Fire has no present concerns/comments with the proposed rezone request. – Adam Sebastian

Montana Department of Transportation: I do not have any concerns or comments with the proposed Rezone Request. – Glen Cameron

City Stormwater Division: No comment provided

City Wastewater Division: No comment provided

City Water Division: No comment provided

Neighborhood Council (NC): No comment provided

V. EXHIBITS:

Return to: Missoula City Clerk
435 Ryman
Missoula, MT 59802

FOX TRIANGLE LAND USE AND DEVELOPMENT REQUIREMENTS AGREEMENT
May 8, 2017

This Land Use and Development Requirements Agreement, hereinafter referred to as "Agreement" is made this 7 day of June, 2017 between the Developer, which includes Hotel Fox Partners, LLC, and Riverfront Triangle Partners, LLC, a Montana Limited Liability Corporations, hereinafter referred to as the "Developer" and the City of Missoula, 435 Ryman Street, Missoula, MT 59802, hereinafter referred to as "City".

The Developer states that they are obligated and have the right to obligate any associated entity purchasing parcels of the Real Property described in Exhibit #1, hereinafter referred to as "Real Property", to the requirements, standards, and restrictions in this Agreement.

The Developer owns or proposes to own all the Real Property. The Developer and the City agree and declare that all the Real Property shall be subject to the following standards and restrictions and this Agreement shall be binding upon all parties having or acquiring any right, title or interest in the Real Property and shall be binding upon each successor in interest of all portions of the Real Property.

STANDARDS AND RESTRICTIONS

1. **Permitted Uses:** The Real Property may be developed with uses listed as permitted and conditional in the CBD-4 Central Business District per Title 20, City Zoning Ordinance, however development must include the following uses: Residential, Conference Center (Entertainment and Spectator Sport – Large Venue), Hotel, Office, Retail, and Restaurant.
 - a. A separate agreement shall be required addressing the appropriate mix of multi-income housing, including low to moderate income housing, that will be provided in the residential portion of the development. This agreement shall be approved by the Developer and City Council prior to the residential design phase of the Fox Triangle development. The purpose

FOX TRIANGLE LAND USE AND DEVELOPMENT REQUIREMENTS AGREEMENT
Approved at City Council May 8, 2017 Page 1 of 9

of this agreement is to describe what component of the housing will serve households meeting the HUD definition of affordable housing and the timeframe or duration that these housing units will be priced to serve households meeting the HUD definition. Further the intent of this agreement is to involve the City of Missoula, Developer, a non-profit housing developer, and any other possible entities that can constructively and financially participate in creating this affordable housing component of the Fox Triangle Development, to have input into and participate in creating a development formula that will effectuate the purpose of the agreement, as listed above.

2. **Setbacks:** Title 20, Section 20.10.040B "Floodplain Setbacks for CBD District" applies to the Fox Site Development. If a variance to this setback standard is approved, buildings shall be setback a minimum of 25 feet from the top of the north bank of the Clark Fork River. The setback area may not contain parking areas, driveways or other vehicular uses. The setback area may contain active transportation facilities such as the Riverfront Trail.
3. **Building Design Standards:** Title 20, Section 20.40.170 of the Missoula Municipal Code, providing Use and Building Specific Design Standards for Commercial Buildings, shall apply to all mixed-use and non-residential use buildings constructed within the Real Property, regardless of size. A primary façade shall include sides of a building that face a public or private street and any public space, such as the Riverfront Trail, a public park, a plaza or public access easement. Any future amendments to the design standards in Title 20 approved by City Council shall apply to the Real Property.
 - a. **Single Purpose Residential Buildings:** All single-purpose residential use buildings shall meet the Multi-dwelling standards in Title 20 of the Missoula Municipal Code, except for Section 20.40.090F Landscaping. Multi-dwelling units in single purpose residential buildings shall be provided storage rooms meeting Section 20.40.090E3 Storage except that the storage room may be located attached to or within an individual dwelling unit, or in another location within the building.
 - b. **Mixed Use buildings:** In addition to meeting the Commercial Building Design Standards in Title 20, multi-dwelling units in Mixed Use buildings shall be provided storage rooms meeting Section 20.40.090E3 Storage except that the storage room may be located attached to or within an individual dwelling unit, or in another location within the building.
4. **Building Design Standards – Glazing:** In addition to the standards required in Title 20, Section 20.40.170 of the Missoula Municipal Code, development of the Real Property shall include the following glazing requirements for facades of buildings facing a primary façade as defined in #3 above:
 - a. Incorporate windows, doors and other transparencies to encompass at least 25% of the first story of the building façade between finished grade and 12 feet above grade.
 - b. Incorporate windows, doors and other transparencies to encompass at least 15% for the portion of a building façade above the first story.
 - c. Darkly tinted, mirrored or highly reflective glazing or doors with less than 50% glass may not be counted toward minimum glazed area requirements.

5. **Views:** Development of the Real Property shall maintain unobstructed views through the site along the Riverfront Trail, along W Front Street and Owen Street including the full width of the public access easements located within the vacated portions of the right-of-way.
6. **Parking:** Development of the Real Property shall include the requirement for off-street parking meeting Title 20, Chapter 20.60 of the Missoula Municipal Code, except as follows:
 - a. The amount of off-street parking required shall be equal to 0.75 times the amount of parking required in Title 20, Section 20.60.020(C) Off-street Parking Schedule of the Missoula Municipal Code;
 - b. Off-street parking shall be provided in structured parking garages, either above or below grade. Structured parking garages shall not be located at street level fronting W Broadway, N Orange Street or along the south side of W Front Street. Where allowed at street level with frontage on a public or private street, Riverfront Trail, or public access easement, structured parking garages shall be screened from view by a solid wall, landscaping, green wall or any combination of the three.
 - c. Surface parking lots may be utilized to provide off-street parking, temporarily, prior to build-out of the real property. However as development occurs temporary surface parking lots shall be replaced with development meeting Title 20, Section 20.40.170 Use and Building Specific Design Standards for Commercial Buildings of the Missoula Municipal Code. Permanent surface parking lots are prohibited;
 - d. Off-street parking spaces, except required ADA spaces, may be provided off site subject to parking agreements filed prior to building permit approval; and
 - e. Short Term and Long Term bicycle parking spaces shall meet standards in Title 20, Section 20.60.090 of the Missoula Municipal Code.
7. **Public Parking:** The Developer will schedule a meeting with Parks and Recreation, MRA and the Parking Commission to brief Parks and Recreation on the plan for public parking on the site.
8. **Riverfront Trail:** Development of the Real Property shall include construction of the Riverfront Trail along the north shore of the Clark Fork River beginning at the existing Riverfront Trail under the Orange Street Bridge and extending to the western edge of the Real Property connecting to W Broadway without interruption or detour. The minimum trail width shall be 10 feet with 1 foot shoulders on either side of the path, ideally within a 20 foot wide easement measured from the top of the riverbank. Design of the Riverfront Trail and any variation from the standards, including easement width, surface width of the trail, lighting, provision for trash receptacles and benches, shall be specific to the site and approved by City Parks and Recreation. Development shall include a bicycle commuter connection from the Riverfront Trail to W Broadway or W Front Street either through the site in the general area of the vacated Owen Street right-of-way or through a north/south public access easement on the western edge of the Real Property.
9. **Greenway – W Front Street vacated ROW:** Development of the Real Property shall include construction of active transportation facilities within the 30 foot wide public access easement

located within the general area of the vacated portion of W Front Street connecting active transportation facilities on W Broadway at the western edge of the Real Property to active transportation facilities at the proposed round-about at the intersection of W Front Street and Owen Street. The design of the active transportation facilities shall accommodate all modes of active transportation and shall be approved by the City Engineer and City Parks.

10. **Plaza – Owen Street vacated ROW:** Development of the Real Property shall include construction of a Plaza and active transportation facilities within a public access easement that is no less than 60 feet in width and up to 90 feet in width as necessary to contain the "Plaza" and active transportation facilities, to be located within the general area of the vacated portion of Owen Street connecting the Riverfront Trail to the active transportation facilities at the proposed round-about at the intersection of W Front Street and Owen Street. Unobstructed views from properties north of W Broadway to the River shall be maintained for the full width of the Plaza. The design of the Plaza shall accommodate all modes of active transportation.
11. **Greenway and Plaza Design:** The Developer will meet with Missoula Redevelopment Agency (MRA) and with Parks and Recreation to review the design for the Greenway within the West Front Street vacated right-of-way and Plaza within the Owen Street vacated right-of-way at the pre-design phase, and at 30% and 100% Schematic Design, and at 30% and 60% Design Development points.
12. **Design Standards:** Development of the Real Property shall meet all applicable Missoula Parks and Recreation standards including, but not limited to, Public Landscape and Recreation Facilities Design Manual, Urban Forest Management Plan, and shall comply with AASHTO and NACTO standards and standards for Crime Prevention through Environmental Design (CPTED).
13. **Access Easements:** The Developer will grant to the City administrative access easements to allow the City motorized, administrative access to any publically-managed portion of the site for maintenance and repairs. The motorized, administrative access easements will include a temporary construction easement, which is a minimum of 20' and allows for heavy equipment access to the Riverfront Trail and a perpetual non-motorized access easement, with motorized access for administrative and maintenance purposes, for any non-motorized trails managed by the City, including but not limited to the Riverfront Trail. The specific width and location of the easement will be mutually agreed-upon by the Developer and the City, and any such easement may be relocated to a different location or amended to alter the width or other specifications upon mutual written agreement by both the City and the Developer.
14. **Construction Closures and Detours:** The Developer will submit a plan to the Missoula Parks & Recreation and City's Bicycle and Pedestrian Office for approval addressing detours and advanced notification signage for bicyclists and pedestrians for any public pedestrian trail through the Real Property at least 30 days in advance of any closures, temporary or otherwise occurring on the site.
15. **Riverfront Park:** The Developer will engage Parks and Recreation in the design of the remainder of the City-owned parcel of land that will be a riverfront park. The Developer will

schedule design review meetings with Parks and Recreation at the following points in the design process: Pre-design, 30% Schematic Design, 100% Schematic Design (approval by Department of Parks and Recreation required,) 30% Design Development, 60% Design Development, 100% Design Development (approval by Department of Parks and Recreation required,) 75% Construction Documents (final redline by City). Storm drainage structures are acceptable in the City Riverfront Park land but must be sub-surface infrastructure that does not limit the park, trail or green space values. Storm water drainage plans shall be reviewed and approved by Missoula City Public Works and Department of Environmental Health.

16. **Maintenance and Management Agreements:** The Developer and the City shall enter into maintenance agreements to delineate each party's obligations for maintenance and management of the various public spaces on the site, including but not limited to the Greenway within the West Front Street vacated right-of-way, the Plaza within the Owen Street vacated right-of-way, the Riverfront Park, and the Riverfront Trail.
17. **Street Tree Design:** Prior to beginning development of the Real Property, the Developer will meet with Parks and Recreation to review and approve the design and selection of street trees.
18. **Future Pedestrian Bridge:** The Developer shall meet with Parks and Recreation to determine the best location for a potential future pedestrian bridge across the Clark Fork River from City-owned park land at McCormick Park on the south side of the river to the Real Property on the north side of the River. The Developer will document and define this location in its plans and will facilitate future design and construction of this bridge by placing any necessary infrastructure within the Real Property to accommodate a future bridge and that could not be placed after development of the Real Property.
19. **River Access:** The Developer will include the conceptual design, or at least note on plans, the potential for a hardened river access under the Orange Street Bridge in Developer's design of the Riverfront Trail and Park.
20. **Riverbank Stabilization and Vegetation:**
 - a. **For Areas Disturbed by Developer Activities:** In any area where the riverbank is disturbed by the Developer's activities, the Developer will repair and stabilize any damage and will plant native riparian shrubs along the riverbank in the disturbed area to stabilize against erosion and enhance the natural environment along the river. The Developer will work with Parks and Recreation to select the specific type of vegetation, but will select drought tolerant plants with characteristics that discourage people from accessing the bank in locations other than the hardened river access point described in #18 above. Additionally, along the riverbank and Riverfront Trail, the Developer shall work with Parks and Recreation to determine if physical barriers (eg. fencing, boulders, signage etc.) along the edge of the stream bank is required to prevent erosion, to direct users to sustainable river access points and/or prevent undesired access to the river, and shall install such physical barriers if deemed necessary.

- b. **For Existing Areas Not Disturbed by Developer Activities:** The Developer will pay an allowance of \$2,500.00 to City Parks and Recreation to cover the cost of purchasing and installing native plants and restoration/stabilization materials to repair existing erosion and stabilize the riverbank in the area between the river and the top of bank. City Parks and Recreation is responsible for procuring plant materials and carrying out or supervising planting in this area.

21. **Amendments:** No part of this Agreement may be amended or deleted without prior written consent of the Missoula City Council and the Developer, or their successors and assigns.


IN WITNESS WHEREOF, the parties hereto have executed this Agreement this 7 day of June, 2017.

By (signature): James P. Corrick
Name (printed): JAMES P. CORRICK
Title: AUTHORIZED REPRESENTATIVE

On this 7th day of June, 2017, before me the undersigned,
a Notary Public for the State of Montana, personally appeared
James P. Cornick, known to me personally (or proved to me on
the basis of satisfactory evidence) to be the person whose name is subscribed to the within
instrument and acknowledged to me that he/she executed the same, as the authorized
representative for Hotel Fox Partners, LLC.

Seal, the day and year first above written.

(Signature)

 JILAYNE R DUNN
NOTARY PUBLIC for the
State of Montana
Residing at Missoula, MT
My Commission Expires
September 08, 2017.

Notary Public for the State of Montana
Residing at Missoula, Montana
My commission expires Sept 8, 2017

By (signature): James P. Corrick
Name (printed): JAMES P. CORRICK
Title: MANAGING MEMBER

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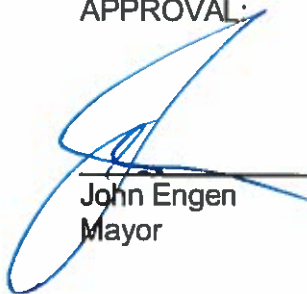
CITY OF MISSOULA

ATTEST:

APPROVAL:



Martha L. Rehbein
City Clerk



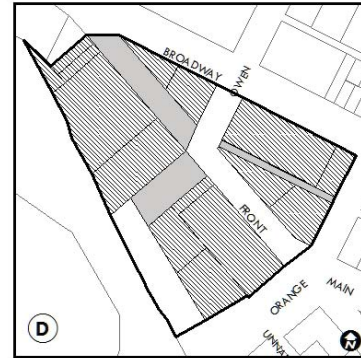
John Engen
Mayor

(SEAL)



ORDINANCE NUMBER 3590

AN ORDINANCE TO REZONE PROPERTY LEGALLY DESCRIBED AS PORTIONS OF LOTS 19 & 20, ALL OF LOTS 1 THROUGH 18 AND 21 THROUGH 23 IN BLOCK 24; FRACTION OF LOTS 1 THROUGH 8 IN BLOCK 25; LOTS 23 THROUGH 29 & CERTIFICATE OF SURVEY #4171 TRACT A & AREA SOUTH OF LOTS 46 THROUGH 48 IN BLOCK 56; PARCEL 1 (19,895 SQUARE FEET) IN BLOCK 56; PARCEL 2 (14,580 SQUARE FEET) IN BLOCK 56; LOT 30, LOTS 34 THROUGH 37 & ADJACENT PORTION SOUTH TO HIGH WATER LINE OF RIVER, LOTS 38 THROUGH 45 & ADJACENT PORTION SOUTH TO HIGH WATER LINE OF RIVER, AND LOTS 46 & 47 IN BLOCK 56; ALL WITHIN WJ MCCORMICK ADDITION, A PLATTED SUBDIVISION IN THE CITY OF MISSOULA, MISSOULA COUNTY, MONTANA, LOCATED IN SECTION 21 OF TOWNSHIP 13 NORTH, RANGE 19 WEST, P.M.M.; OWEN STREET RIGHT-OF-WAY SOUTH OF THE INTERSECTION WITH W FRONT STREET; W FRONT STREET RIGHT-OF-WAY FROM WEST OF THE INTERSECTION WITH OWEN STREET THROUGH LOT 47 IN BLOCK 56; AND THE ALLEY RIGHT-OF-WAY EXTENDING FROM N ORANGE STREET TO OWEN STREET IN BLOCK 24 FROM RIVERFRONT TRIANGLE SPECIAL ZONING DISTRICT TO CBD-4 CENTRAL BUSINESS DISTRICT.



BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MISSOULA:

THAT THE ABOVE DESCRIBED PROPERTY IS HEREBY WITHDRAWN FROM THE ZONE CLASSIFICATION OF RIVERFRONT TRIANGLE SPECIAL ZONING DISTRICT AND REPLACED WITH THE CLASSIFICATION OF CBD-4 CENTRAL BUSINESS DISTRICT.

Severability. If any section, subsection, sentence, clause, phrase or word of this ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance. The council hereby declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase and words thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or words have been declared invalid or unconstitutional, and if for any reason this ordinance should be declared invalid or unconstitutional, then the remaining ordinance provisions will be in full force and effect.

PASSED by a vote of:

First reading and preliminary adoption: 10 ayes, Emily Bentley, Michelle Cares, John DiBari, Annelise Hedahl, Jordan Hess, Gwen Jones, Marilyn Marler, Bryan von Lossberg, Heidi West, Jon Wilkins; 0 nays; 0 abstain; and 2 absent, Julie Armstrong, Ruth Ann Swaney.

Second and final reading: 10 ayes, Julie Armstrong, Emily Bentley, Michelle Cares, John DiBari, Annelise Hedahl, Gwen Jones, Marilyn Marler, Ruth Ann Swaney, Bryan von Lossberg, Jon Wilkins; 0 nays; 0 abstain; 2 absent, Jordan Hess, Heidi West.

APPROVED by the Mayor this 8th of May, 2017.

ATTEST:

/s/ Martha Rehbein

Martha Rehbein
Legislative Services Director/City Clerk

(S E A L)

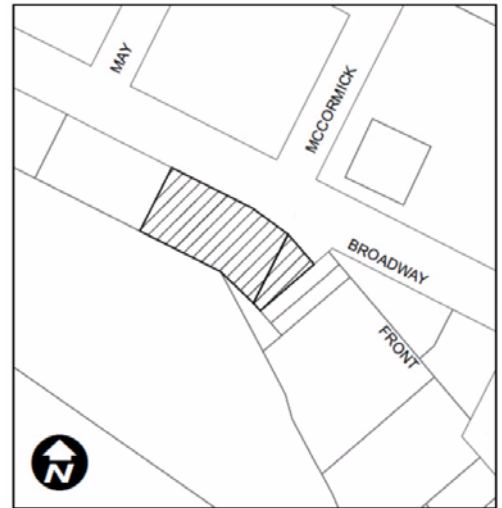
APPROVED:

/s/ John Engen

John Engen
Mayor

ORDINANCE NUMBER _____

AN ORDINANCE TO REZONE LOTS A, B, 1, 2, 3, 4, 5, AND THE EAST HALF OF LOT 6 IN BLOCK 51 AND LOTS 48 AND 49 IN BLOCK 56 OF W.J. MCCORMICK'S ADDITION IN SECTION 21, TOWNSHIP 12 NORTH, RANGE 19 WEST, A PLATTED SUBDIVISION IN MISSOULA COUNTY, MONTANA, ACCORDING TO THE OFFICIAL RECORDED PLAT THEREOF, LOCATED AT 601 W BROADWAY FROM SPECIAL DISTRICT SD/RIVERFRONT TRIANGLE, SUB-DISTRICT D TO CBD-4 CENTRAL BUSINESS DISTRICT / DE-D DESIGN EXCELLENCE DOWNTOWN - OUTER CORE OVERLAY.



BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MISSOULA:

THAT THE ABOVE DESCRIBED PROPERTY IS HEREBY WITHDRAWN FROM THE SPECIAL DISTRICT SD/RIVERFRONT TRIANGLE, SUB-DISTRICT D ZONING CLASSIFICATION AND REPLACED WITH THE CLASSIFICATION OF CBD-4 CENTRAL BUSINESS DISTRICT / DE-D DESIGN EXCELLENCE DOWNTOWN OUTER CORE - OVERLAY.

Severability. If any section, subsection, sentence, clause, phrase or word of this ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance. The council hereby declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase and words thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or words have been declared invalid or unconstitutional, and if for any reason this ordinance should be declared invalid or unconstitutional, then the remaining ordinance provisions will be in full force and effect.

PASSED by a _____ vote and

APPROVED by the Mayor this _____ of _____, 2020.

ATTEST:

APPROVED:

Martha Rehbein
City Clerk

John Engen
Mayor

(SEAL)



DEVELOPMENT SERVICES


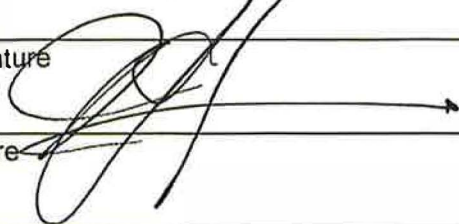

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

CITY REZONE APPLICATION

A. GENERAL INFORMATION

1. One submittal packet is required for Completeness/Sufficiency Review.
2. Once the application is deemed complete by Development Services (DS), the application fee and 27 submittal packets shall be submitted or 15 submittal packets for Planning Board and staff if an electronic submittal packet is also submitted meeting the electronic packet submittal guidelines. The packets submitted for governing body review must be exactly the same as the packet that was deemed complete.
3. Name of proposed Rezone: **Rezone site from SD/Riverfront Triangle to CBD-4**
4. Name(s) of Applicant: **Nick Kaufman - WGM Group, Inc.**
Mailing Address: **1111 E Broadway Missoula MT 59802**
Telephone Number: **406-728-4611**
Email Address: **nkaufman@wgmggroup.com**
5. Name(s) of Owner of Record: **Wise Dennis B Trustee, Wise Mary Conway Trustee, Wise Family Trust**
Mailing Address: **Jim Lentine 7652 East Acoma Drive Scottsdale AZ 85260**
Telephone Number: **602-625-5000**
Email Address: **jim@wiseenterprisegroup.com**
6. Name and Company of Representative: **WGM Group, Inc. - Nick Kaufman**
Mailing Address: **1111 E Broadway Missoula MT 59802**
Telephone Number: **406-728-4611**
Email Address: **nkaufman@wgmggroup.com**
7. Does the applicant(s) whose signature(s) are included below own at least 35% of the area or number of the parcels included within the area proposed to be rezoned? (Requirement of Title 20, 85.050(A))
Yes
8. If the applicant is someone other than the property owner, the owner must also sign the application in the space provided below.

Certification: I hereby certify that the foregoing information contained or accompanied in this application is true and correct to the best of my knowledge.

	9/20/2019
Applicant's Signature	Date
	9/13/19
Owner's Signature	Date
	9/20/2019
Representative's Signature	Date

B. SUBJECT PROPERTY INFORMATION

General location of subject property and address (if address has been assigned): **601 W Broadway Missoula MT 59802; 541 W Front St. Missoula MT 59802**

Legal Description - complete and unabbreviated:

Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition to the town of Missoula, a recorded subdivision in Missoula County, Montana.

Bearings & Distances Descriptions (if boundaries of proposed rezone are not exactly the same as the boundaries of the property legally described above): **N/A**

Geocode: **04-2200-21-1-13-11-0000; 04-2200-21-1-13-10-0000**

C. ZONING AND GROWTH POLICY INFORMATION

1. Complete the following table (where applicable indicate Unzoned)

	Zoning	Current Land Use
Adjacent (North)	C1-4 (Neighborhood Commercial)	Street (W. Broadway)
Adjacent (South)	Unzoned/CBD-4 (Central Business District)	Parks and Open Lands
Adjacent (East)	CBD-4 (Central Business District)	Commercial
Adjacent (West)	C1-4 (Neighborhood Commercial)/Unzoned	Commercial

2. What is the current zoning of the property (including intensity designator)? **SD/Riverfront Triangle (Special Zoning District)**

3. What is the requested zoning for the property (including intensity designator)? **CBD-4 (Central Business District)**

4. What is the applicable comprehensive plan and land use designation for the property? **Urban Center**

5. What is the intended use for the property? **The tentative intended use is for workforce housing, parking, and office space.**

D. RESPONSES TO REVIEW CRITERIA REQUIRED BY STATE LAW & THE CITY OF MISSOULA TITLE 20 ZONING ORDINANCE

Review Criteria. Provide a response to the following review criteria for rezone requests.

1. Whether the zoning is made in accordance with a growth policy;

Yes, according to Our Missoula Growth Policy 2035 CBD-4 (Central Business District) is within the growth policy for Urban Center.

2a. Whether the zoning is designed to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements

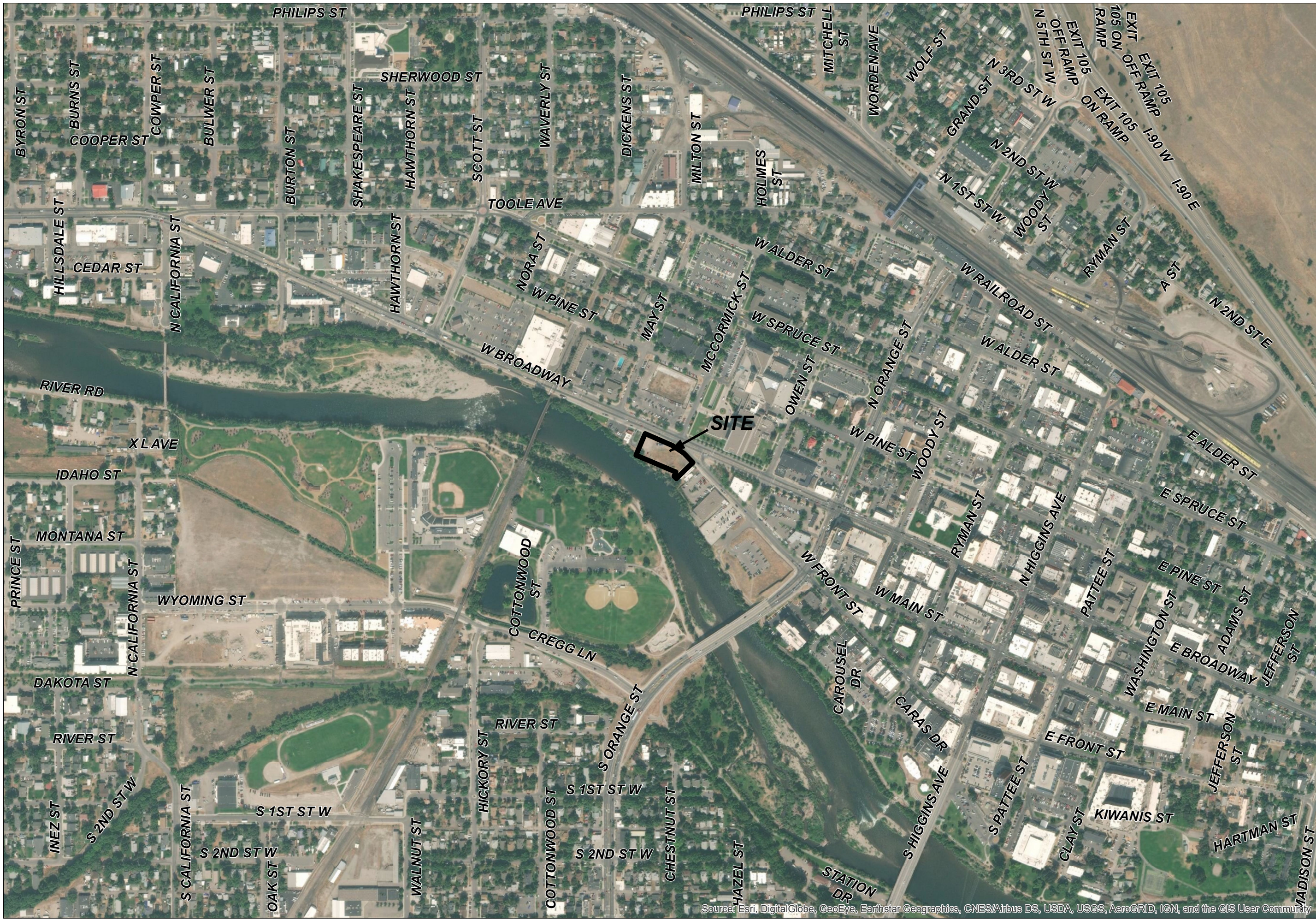
The zoning takes into account adequate provision of transportation and is within the Urban Transportation District and near a Mountain Line bus route. Water is adequate for domestic use and fire protection and is provided by Missoula Water. Sewer is provided by the City of Missoula and has adequate capacity to serve the development

- 2b. Whether the zoning considers the effect on motorized and non-motorized transportation systems;
The zoning will allow for higher density in the area which supports non-motorized transportation systems and better utilizes motorized transportation systems.
- 3. Whether the zoning considers the promotion of compatible urban growth;
The zoning supports compatible urban growth because it conforms to the Missoula 2035 Growth Policy.
- 4a. Whether the zoning is designed to promote public health, public safety, and the general welfare;
The zoning conforms to the Missoula 2035 Growth Policy and is congruent with city capital facilities planning.
- 4b. Whether the zoning is designed to secure safety from fire and other dangers;
The zoning is in conformance with the Missoula 2035 Growth Policy and all buildings will be built in compliance with the City of Missoula Building Codes for fire safety and other dangers.
- 4c. Whether the zoning considers the reasonable provision of adequate light and air;
The zoning provides for reasonable provision of light and air through setback requirements.
- 4d. Whether the zoning conserves the value of buildings and encourages the most appropriate use of land throughout the jurisdictional area;
The zoning encourages the most appropriate use and is congruent with the land designation of Urban Center in the Growth Policy.
- 5. Whether the zoning considers the character of the district and its peculiar suitability for particular uses;
The site is proximate to other commercial sites such as Taco Johns and Providence St. Patrick's Hospital. The site borders downtown and considers the character and zoning of the district.

E. ATTACHMENTS

As separate attachments (8.5" x 11" or 11" x 17"), provide the following materials with the site clearly identified. Where appropriate, required information may be combined as long as the information is clearly presented. Please check the box if the material is included in the packet. If the material is not included in the submittal packet, please note "N/A".

- ☒ **A vicinity map** showing the subject property and the area within 300 feet of the subject property.
- ☒ **A Zoning map** of the subject property and vicinity (showing the existing zoning district), extending at least 300 feet from the property boundaries.
- ☒ **An aerial photo** of the subject property and vicinity extending at least 300 feet from the property boundaries.
- ☒ **A Growth Policy/Comprehensive Plan map** of the subject property and vicinity extending at least 300 feet from the property boundaries for the applicable comprehensive plan, clearly showing the land use designation of the subject property and surrounding properties.
- ☒ **The current plat** of the subject property.



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



WGM GROUP
WWW.WMGROUP.COM



0 250 500
1 inch = 500 feet

VICINITY EXHIBIT

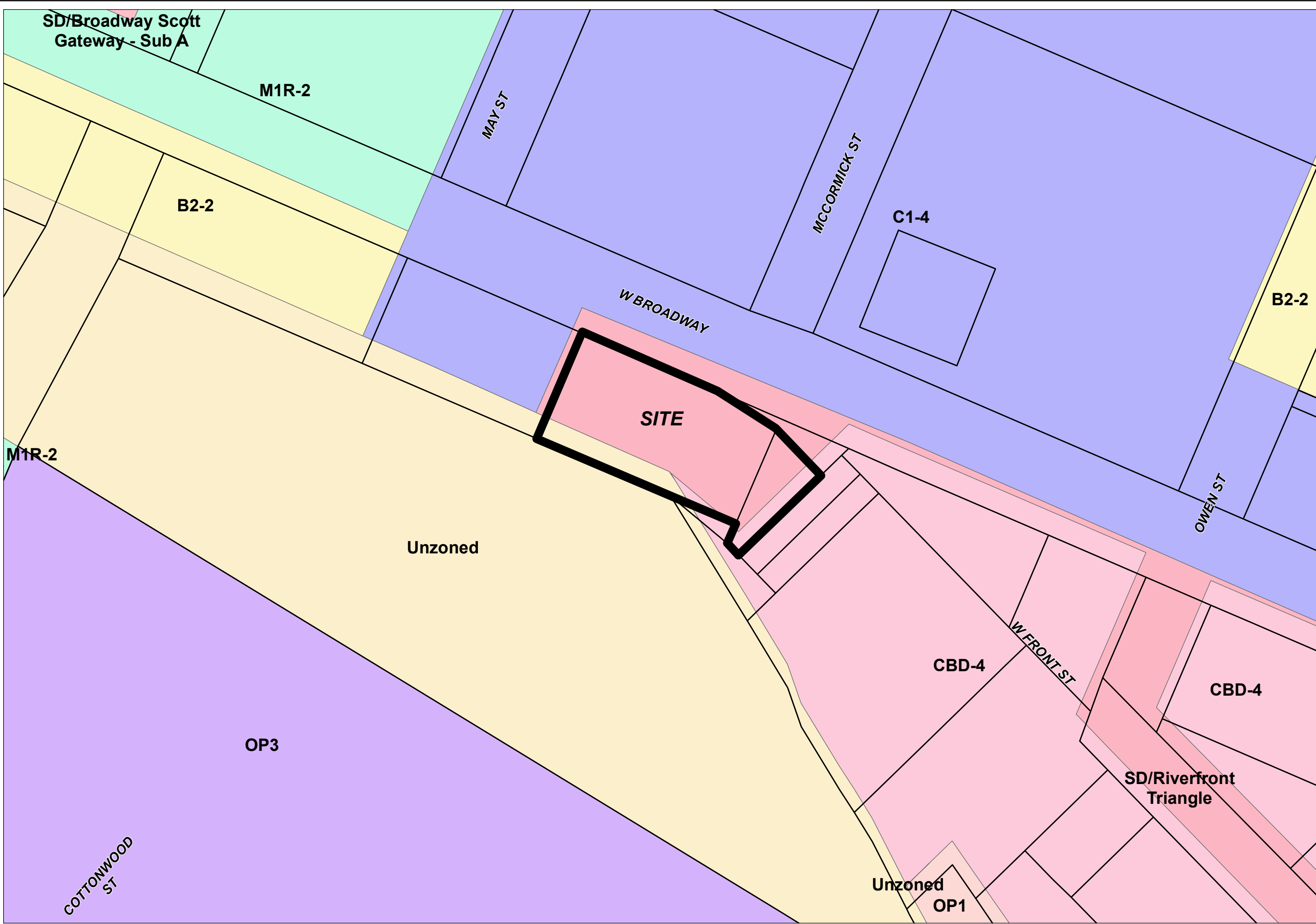
601 W BROADWAY ST

MISSOULA, MONTANA

Disclaimer: This map is neither a legally recorded map nor a survey and is not intended to be used as such. WGM Group does not guarantee the accuracy, current status, or completeness of the material contained herein and is not responsible for any misuse or misrepresentation of this information or its derivatives. This map is a graphic representation and is to be used for general planning purposes only.

PROJECT: 19-04-07
FILE NO: 190407_VICINITY.mxd
FILE PATH: W:\PROJECTS\190407\GIS\MXD
DRAFT: SAM
APPROVE: KD
DATE: JULY 2019

JULY 2019



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WWW.WGMGROUP.COM



0 50 100
1 inch = 100 feet

ZONING EXHIBIT
601 W BROADWAY ST
MISSOULA, MONTANA

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PROJECT: 19-04-07
FILE NO: 190407_ZONING.mxd
FILE PATH:
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DRAFT: SAM
APPROVE: KD
DATE: JULY 2019

JULY 2019



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0 50 100
1 inch = 100 feet

**2015 MISSOULA URBAN AREA
FUTURE LAND USE DESIGNATION EXHIBIT
601 W BROADWAY ST
MISSOULA, MONTANA**

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PROJECT: 19-04-07
FILE NO: 190407_LAND USE.mxd
FILE PATH:
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DRAFT: SAM
APPROVE: KD
DATE: JULY 2019

JULY 2019



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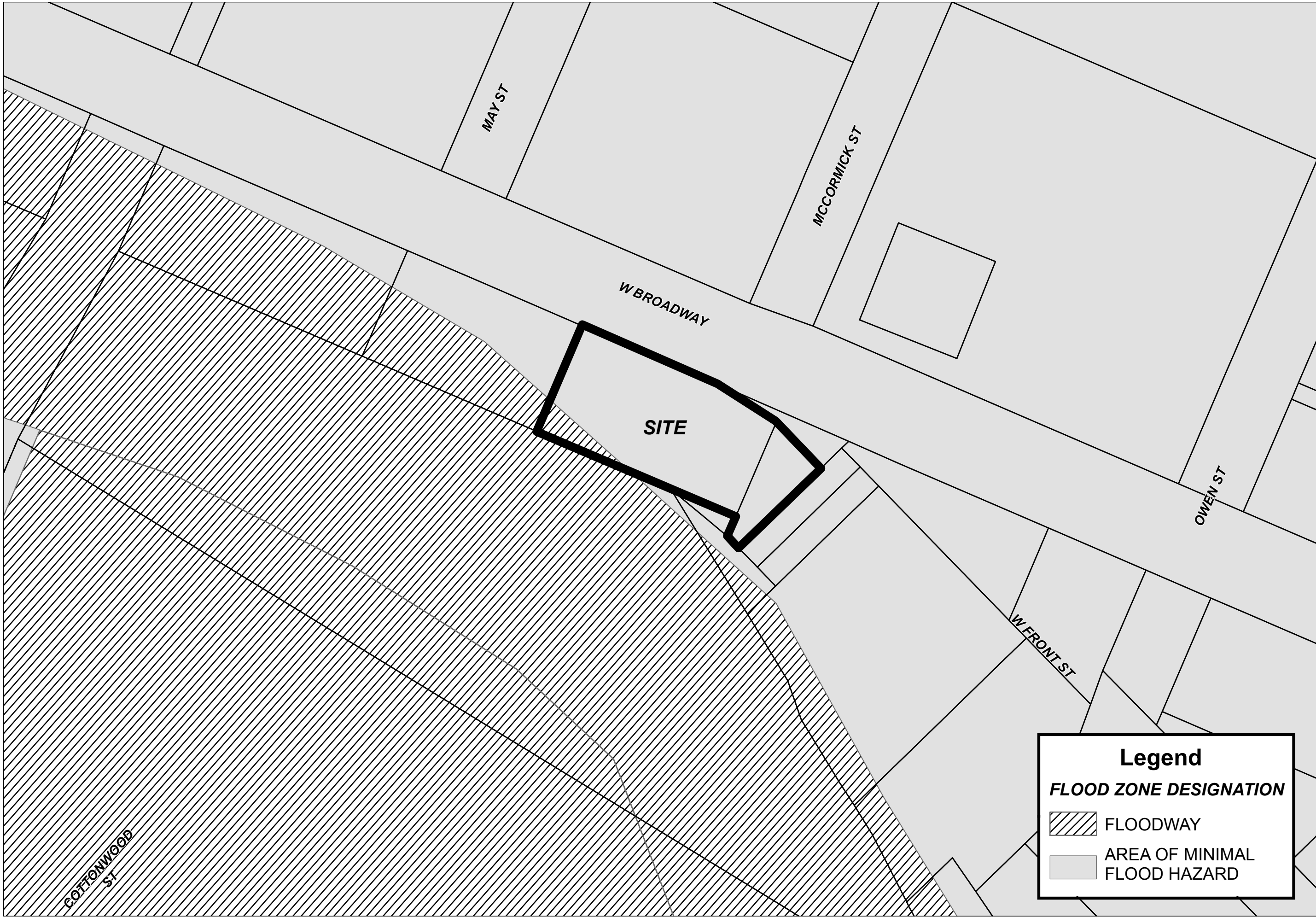
0 50 100
1 inch = 100 feet

**FLOODPLAIN EXHIBIT
601 W BROADWAY ST
MISSOULA, MONTANA**

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DRAFT: SAM
APPROVE: KD
DATE: JULY 2019

JULY 2019



Legend

FLOOD ZONE DESIGNATION

 FLOODWAY

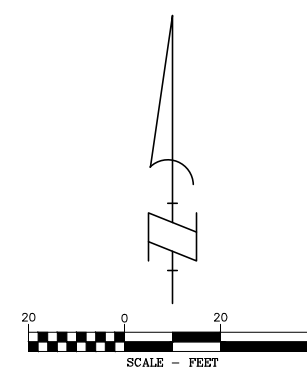
 AREA OF MINIMAL
FLOOD HAZARD



MISSOULA, MONTANA

JULY 2019

SHEET 1 OF 1
Page 547 of 76





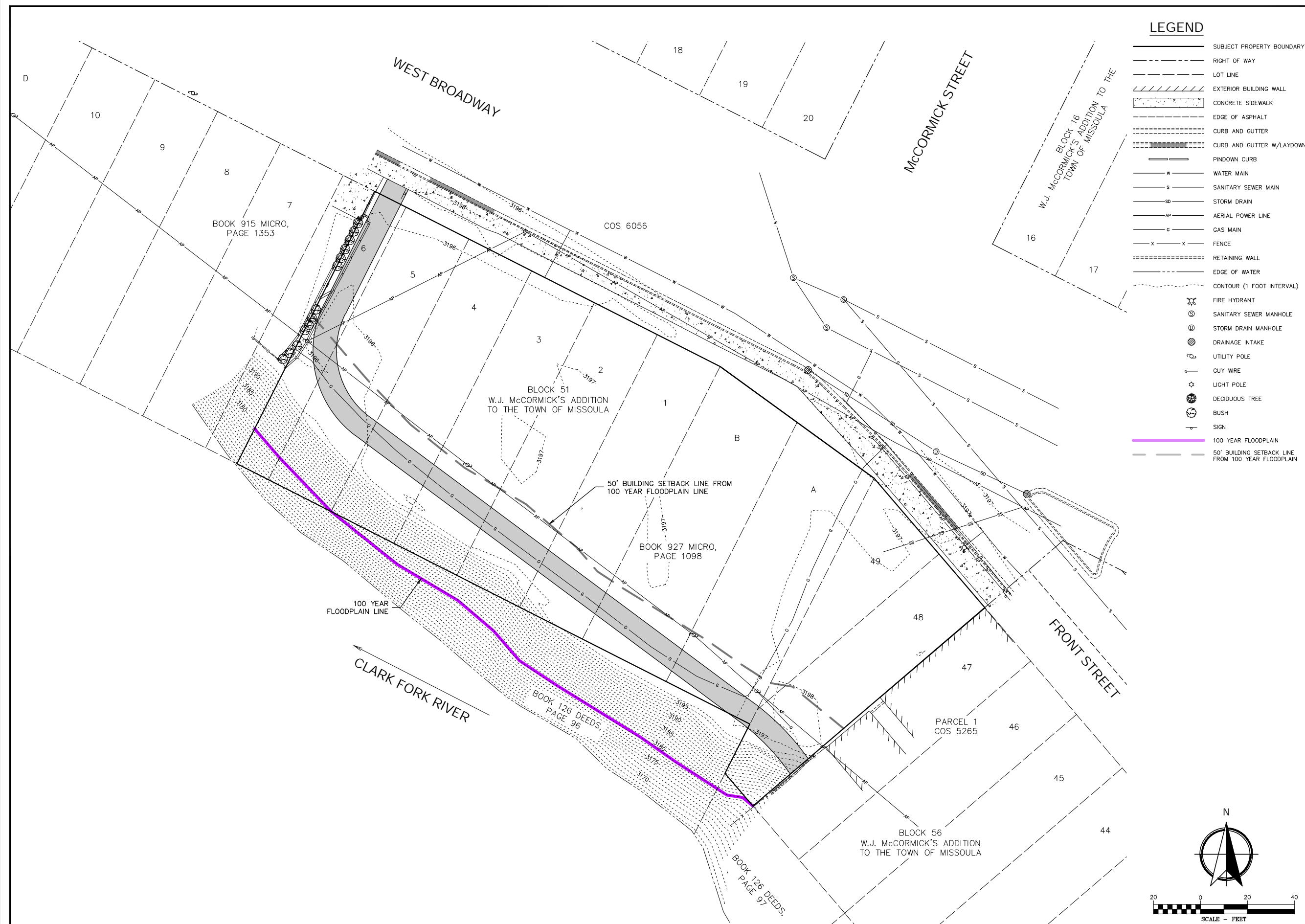
PLOTTED: 6/5/20
SAVED: 6/5/20

BUILDING SETBACK EXHIBIT
601 WEST BROADWAY
MISSOULA, MONTANA

PROJECT: 19-08-11
LAYOUT: BUILDING SETBACKS
SURVEYED: JLN
DESIGN: RJS
DRAFT: EDI
APPROVE: RJS
DATE:

JUNE 2020

SHEET 1 OF 1
Page 548 of 767





WGM GROUP
WWW.WGMGROUP.COM

PRELIMINARY

PLOTTED: 6/5/20
SAVED: 6/5/20

PROPOSED EASEMENT EXHIBIT
601 WEST BROADWAY
MISSOULA, MONTANA

REVISIONS:
NO. DESCRIPTION DATE

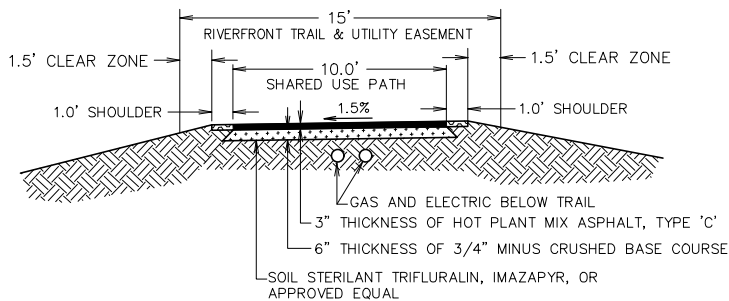
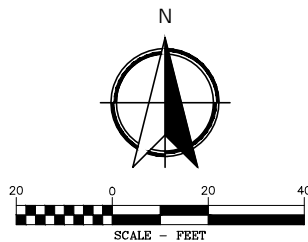
PROJECT: 19-08-11
LAYOUT: EASEMENT EXHIBIT
SURVEYED: JLN
DESIGN: SAM
DRAFT: SAM/EDI
APPROVE: RJS
DATE:

JUNE 2020

SHEET 1 OF 1
Page 549 of 761

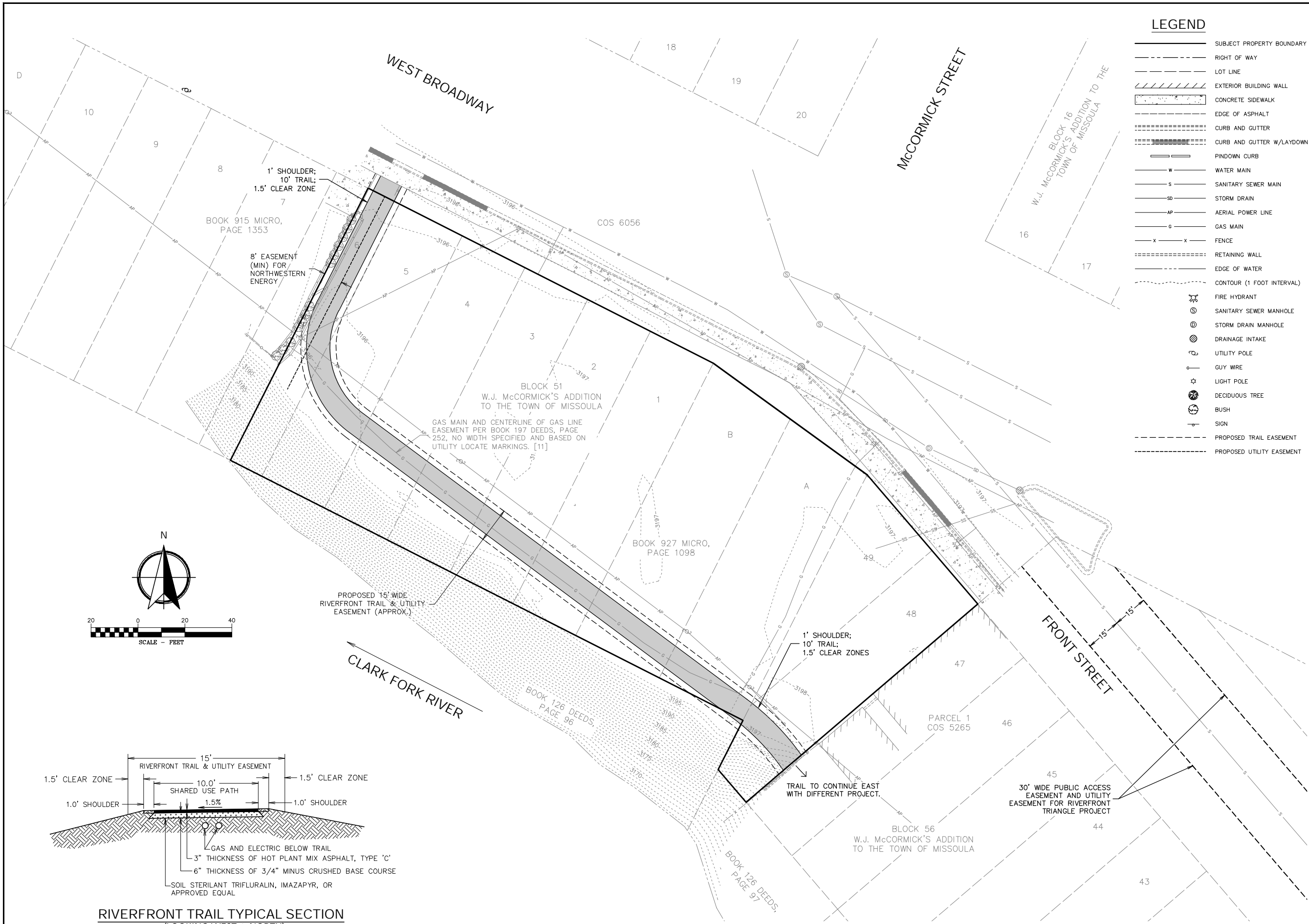
LEGEND

- SUBJECT PROPERTY BOUNDARY
- RIGHT OF WAY
- LOT LINE
- EXTERIOR BUILDING WALL
- CONCRETE SIDEWALK
- EDGE OF ASPHALT
- CURB AND GUTTER
- CURB AND GUTTER W/LAYDOWN
- PINDOWN CURB
- WATER MAIN
- SANITARY SEWER MAIN
- STORM DRAIN
- AERIAL POWER LINE
- GAS MAIN
- FENCE
- RETAINING WALL
- EDGE OF WATER
- CONTOUR (1 FOOT INTERVAL)
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- DRAINAGE INTAKE
- UTILITY POLE
- GUY WIRE
- LIGHT POLE
- DECIDUOUS TREE
- BUSH
- SIGN
- PROPOSED TRAIL EASEMENT
- PROPOSED UTILITY EASEMENT

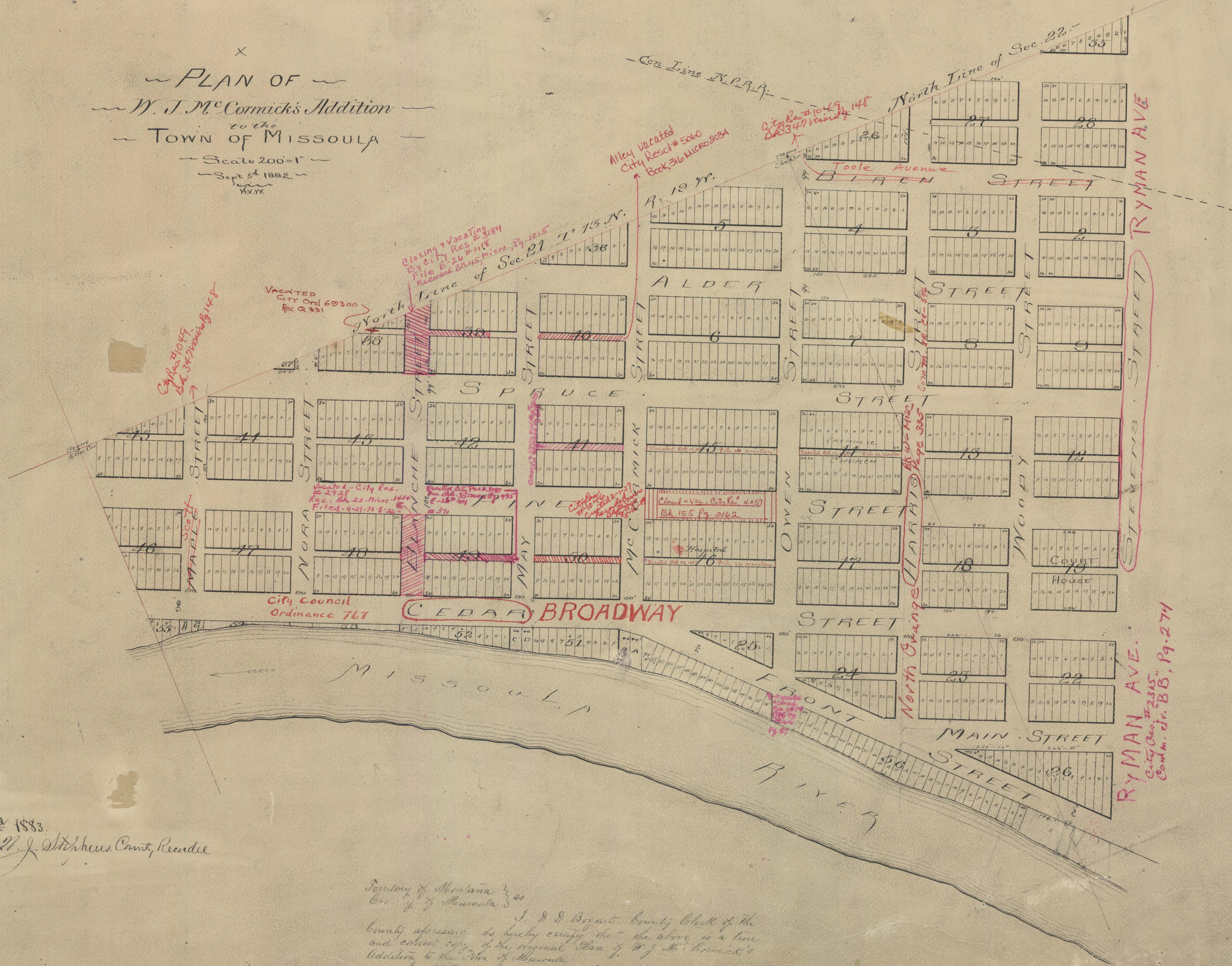


RIVERFRONT TRAIL TYPICAL SECTION
(LOOKING WEST & NORTH)

NO SCALE



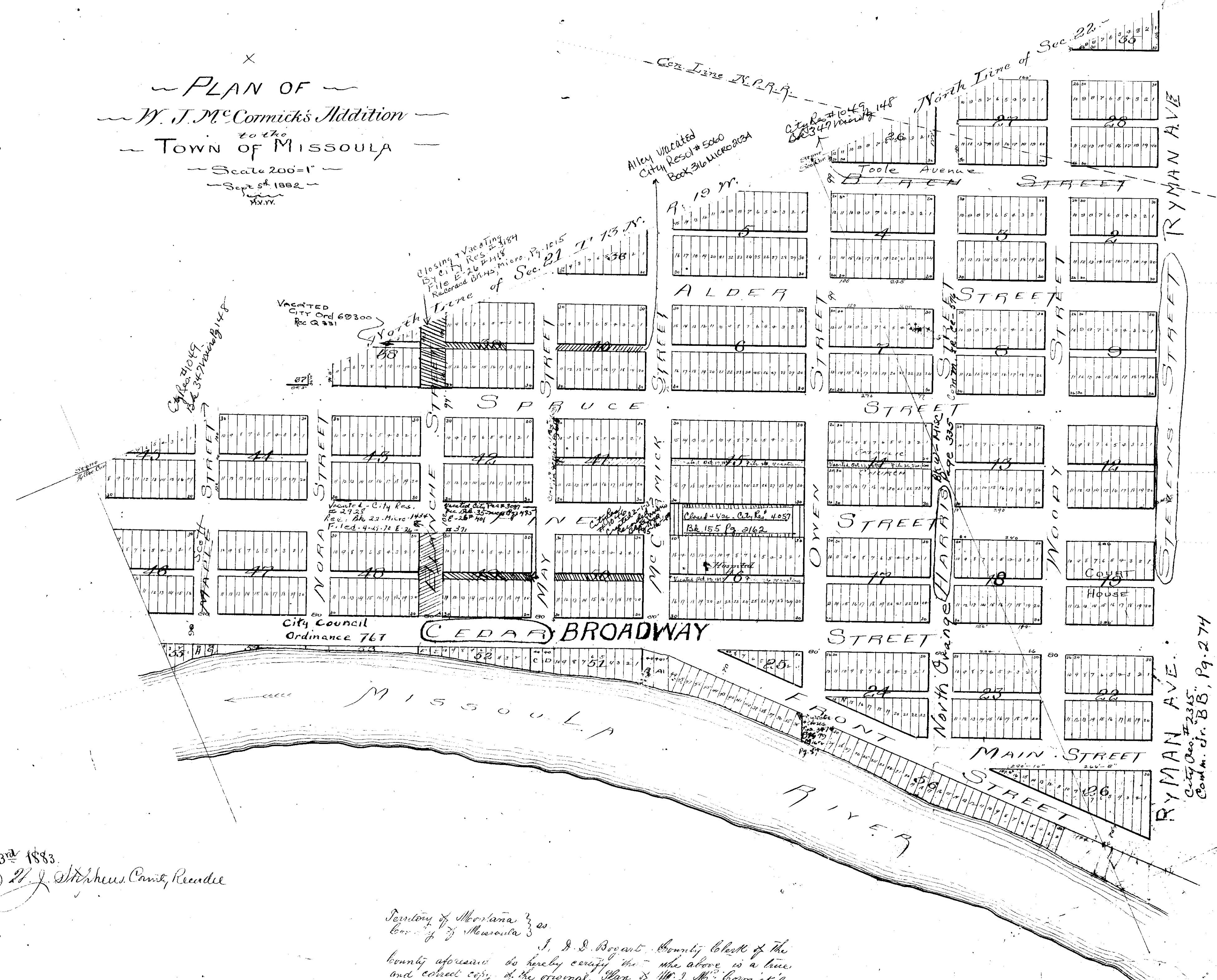
PLAN OF
W. J. McCormick's Addition
to the
TOWN OF MISSOULA
Scale 200'-1"
Sept 5th 1882
M.V.V.



Filed for Record
January 3rd 1883.
(Signed) J. J. Stevens Comr, Recorder

County of Missoula 3 ss
I, J. J. Stevens, County Clerk of the
County of Missoula, do hereby certify that the above is a true
and correct copy of the original Plan of W. J. McCormick's
Addition to the Town of Missoula.
In Witness whereof, I have hereunto set my hand and
the Seal of Missoula County this 6th day of September A.D. 1889
J. J. Stevens
County Clerk.

PLAN OF
W. J. McCormick's Addition
to the
TOWN OF MISSOULA
Scale 200' = 1"
Sept 6th 1882
M.V.V.



Filed for Record
January 3rd 1883
(Signed) J. J. Stephens County Recorder

I, D. D. Boyant, County Clerk of the
County of Missoula do hereby certify that the above is a true
and correct copy of the original Plan of W. J. McCormick's
Addition to the Town of Missoula.
In Witness whereof I have hereunto set my hand and
the Seal of Missoula County this 6th day of September A.D. 1889
D. D. Boyant
County Clerk



WGM GROUP
WWW.WGMGROUP.COM

PRELIMINARY

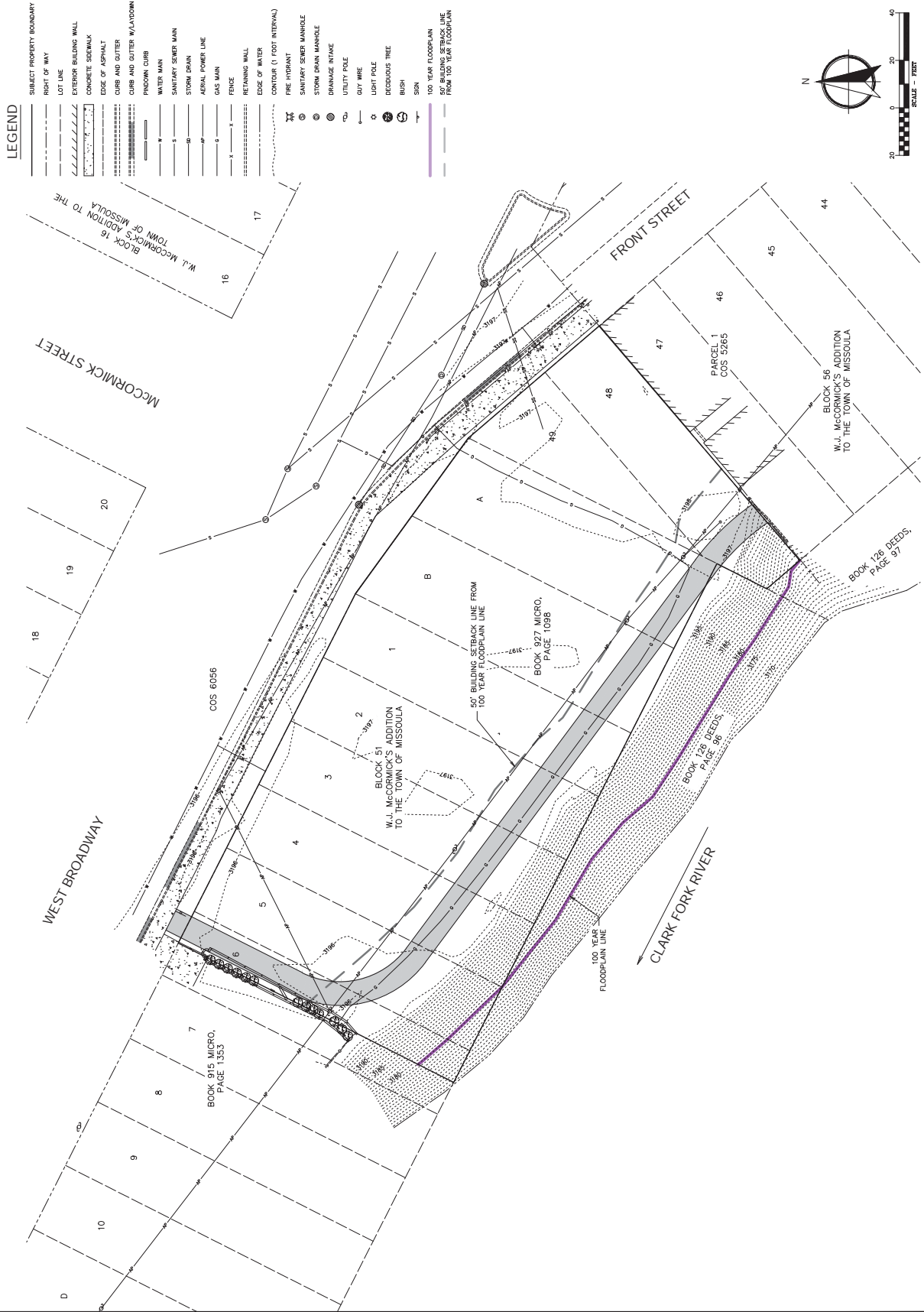
PLOTTED: 6/5/20
SAVED: 6/5/20

BUILDING SETBACK EXHIBIT 601 WEST BROADWAY MISSOULA, MONTANA

REVISIONS	NO.	DESCRIPTION	DATE

PROJECT: 15-05-11
SUBMITTED: JMM
DESIGNED: JMM
DRAFT: JMM
DATE: JUNE 2020

1 OF 1
SHEET





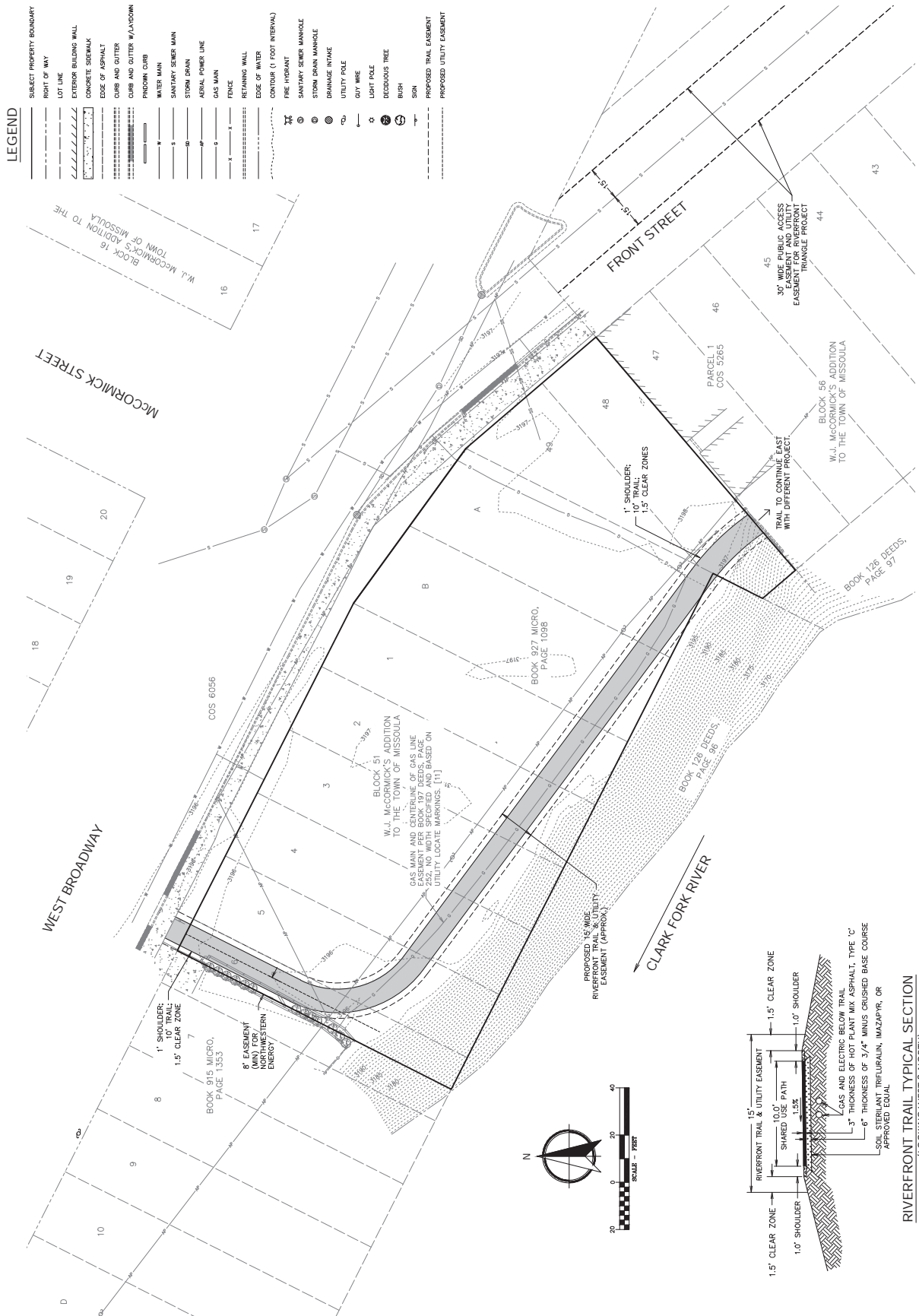
PLOTTED: 6/5/20
SAVED: 6/5/20

REVISIONS:	
NO.	DESCRIPTION DATE

PROJECT: 19-08-11
LAYOUT: EASEMENT EXHIBIT
SURVEYED: JLN
DESIGN: SAM
DRAFT: SAM/EDI
APPROVE: RJS
DATE:

JUNE 2020

SHEET 1 OF 1



601 West Broadway Re-Zoning Request

APPLICANT

Wise Enterprise Group

CONSULTANTS

Nick Kaufman, Senior Planner

Kate Dinsmore, Landscape Architect



Proposal

- The site was historically used for a tire sales and service – carry over from Hwy 10
- The site has been vacant for years
- The area is in transition with development plans for the Riverfront Triangle and the expansion of Providence
- The existing zoning is outdated for the community vision for the area
- Rezoning the site to allow for mixed use office, residential, parking structure and riverfront trail requires a rezoning to CBD-4



Why the Rezoning?

- The current zoning is Special Zoning District Riverfront Triangle
- CBD-4 is Central Business District that matches the Riverfront Triangle
- CBD-4 allows for the appropriate use of the parcel allowing increased building height, higher density while allowing flexibility for design on this constrained parcel



We've Worked in the Area

- We worked on the Zoning to allow the relocation of Safeway, keeping a major grocery store in the neighborhood
- The site is now the home of locally owned Fresh Market
- We have worked with Providence on previous expansions and updates
- We have worked on the Riverfront Triangle



[illegible]

The Site



Growth Policy



Site Opportunities

- River Frontage
- Riverfront Trail System
- Adjacent to the Riverfront Triangle
- Views to McCormick Park and Lolo Peak
- Across the street from Providence
- Part of the vision for the Downtown Master Plan



Site Constraints

- Floodplain
- Constrained parcel size
- Riverfront Trail System
- Adjacent to the Riverfront Triangle and future entertainment venue
- The current zoning is Special Zoning District Riverfront Triangle
- Parking Requirements
- Location of Structures on Adjoining Parcels

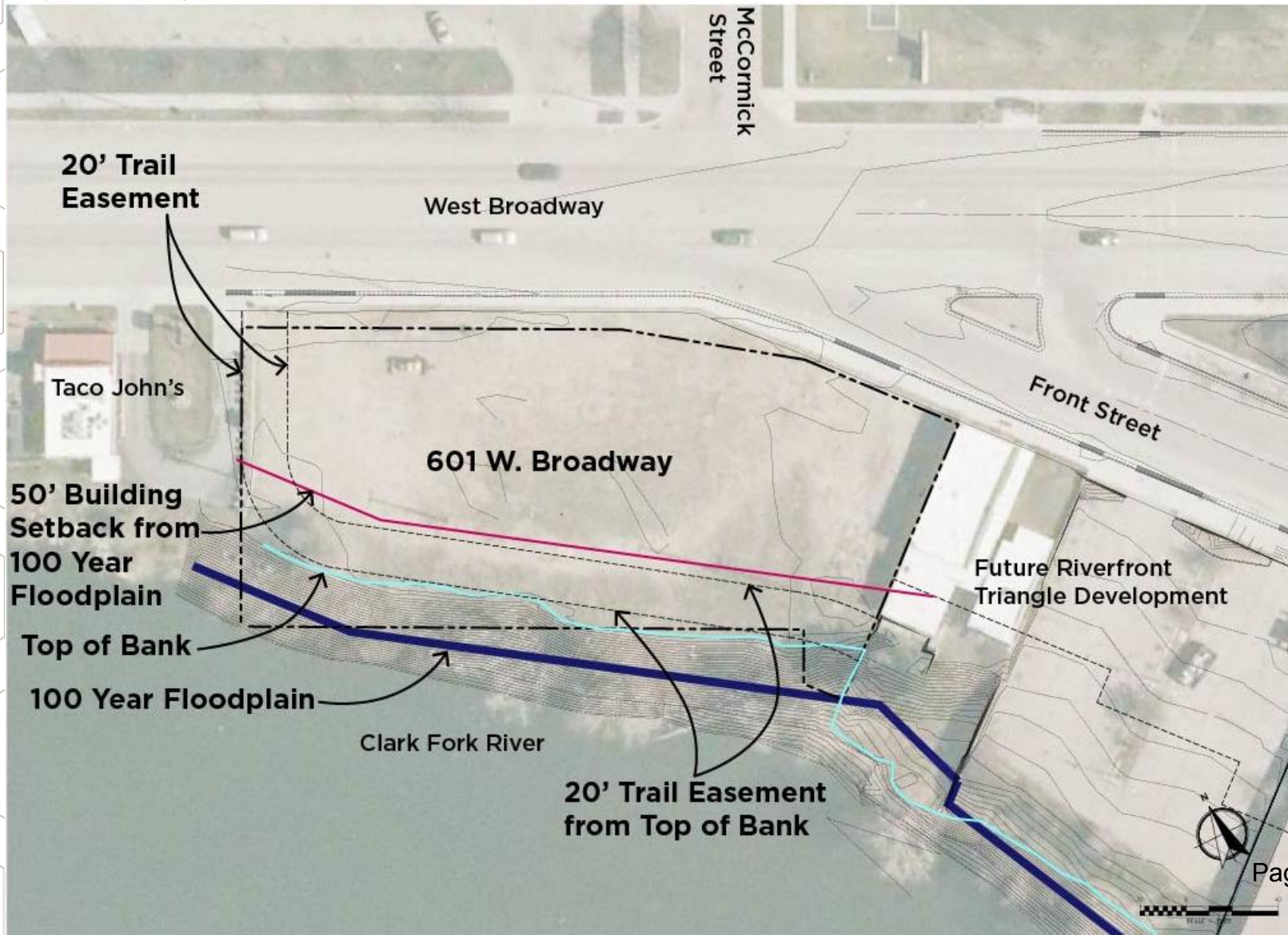


Site Constraints



Photos represent grade difference on and adjacent to the site.

Floodplain and Setbacks



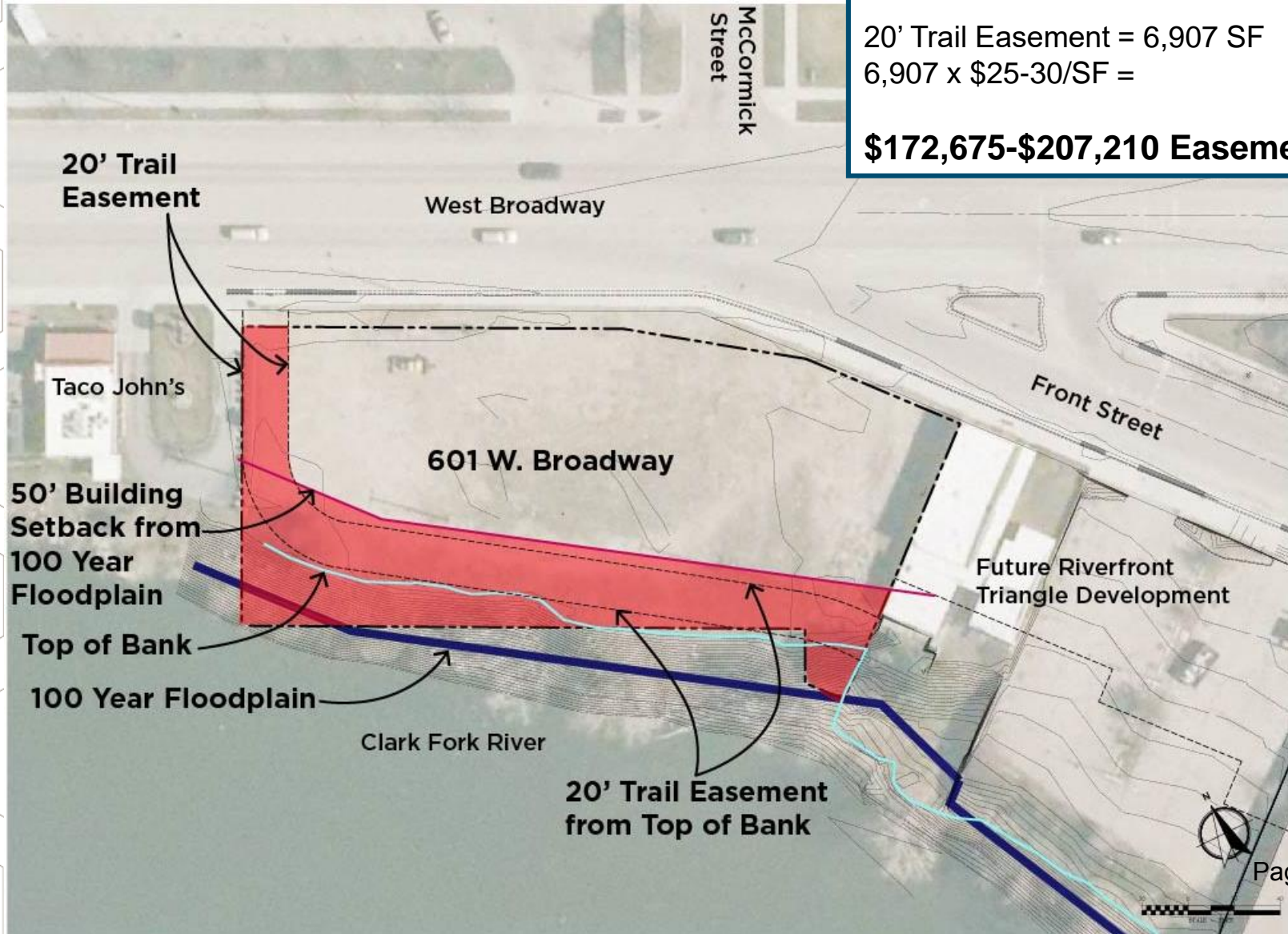
Buildable Area

Parcel Area = 37,246 SF
100 Year Floodplain = 375 SF
Trail Easement & 50' Setback = 12,145 SF

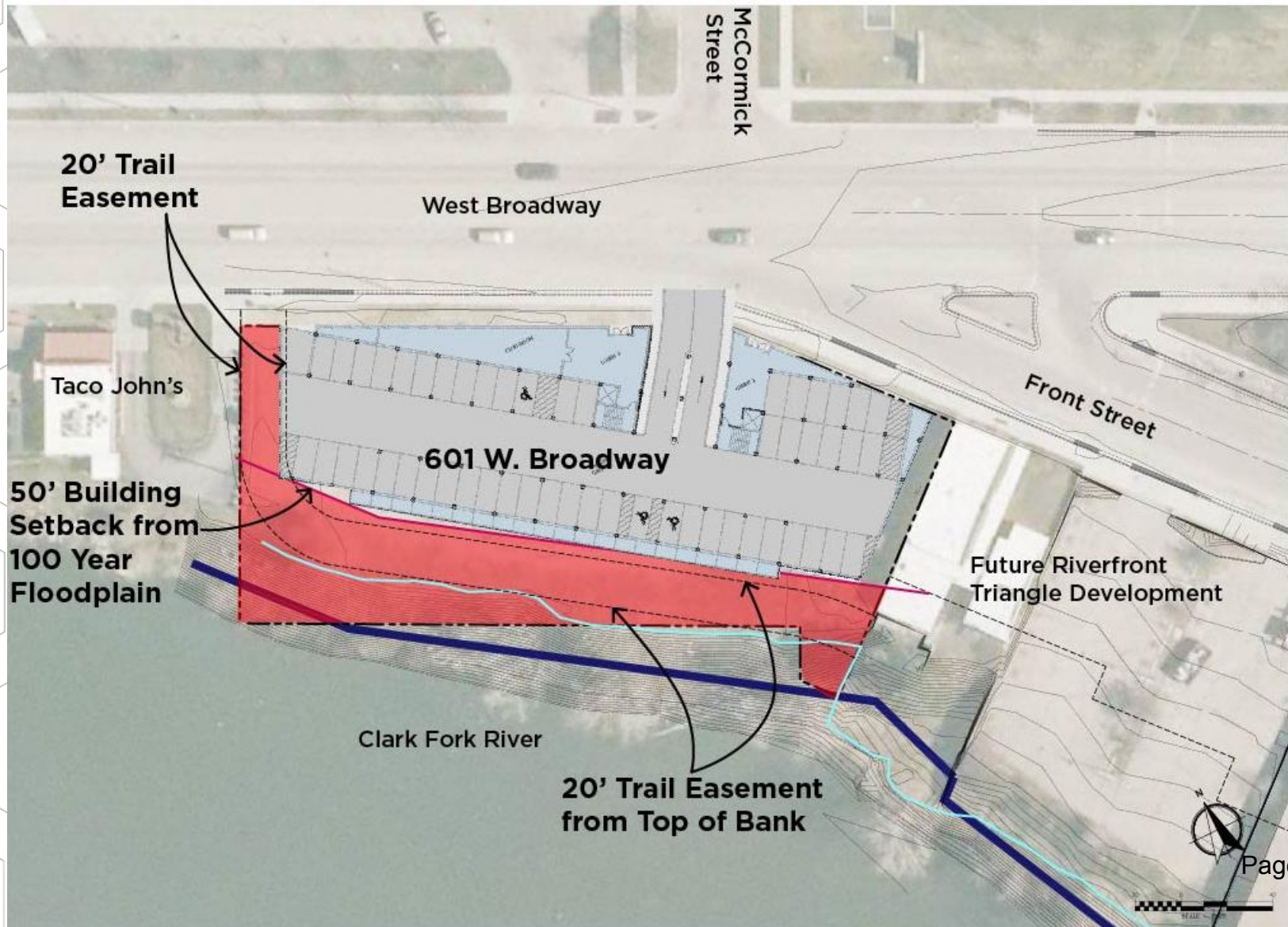
33% of Parcel Encumbered

20' Trail Easement = 6,907 SF
 $6,907 \times \$25\text{-}30/\text{SF} =$

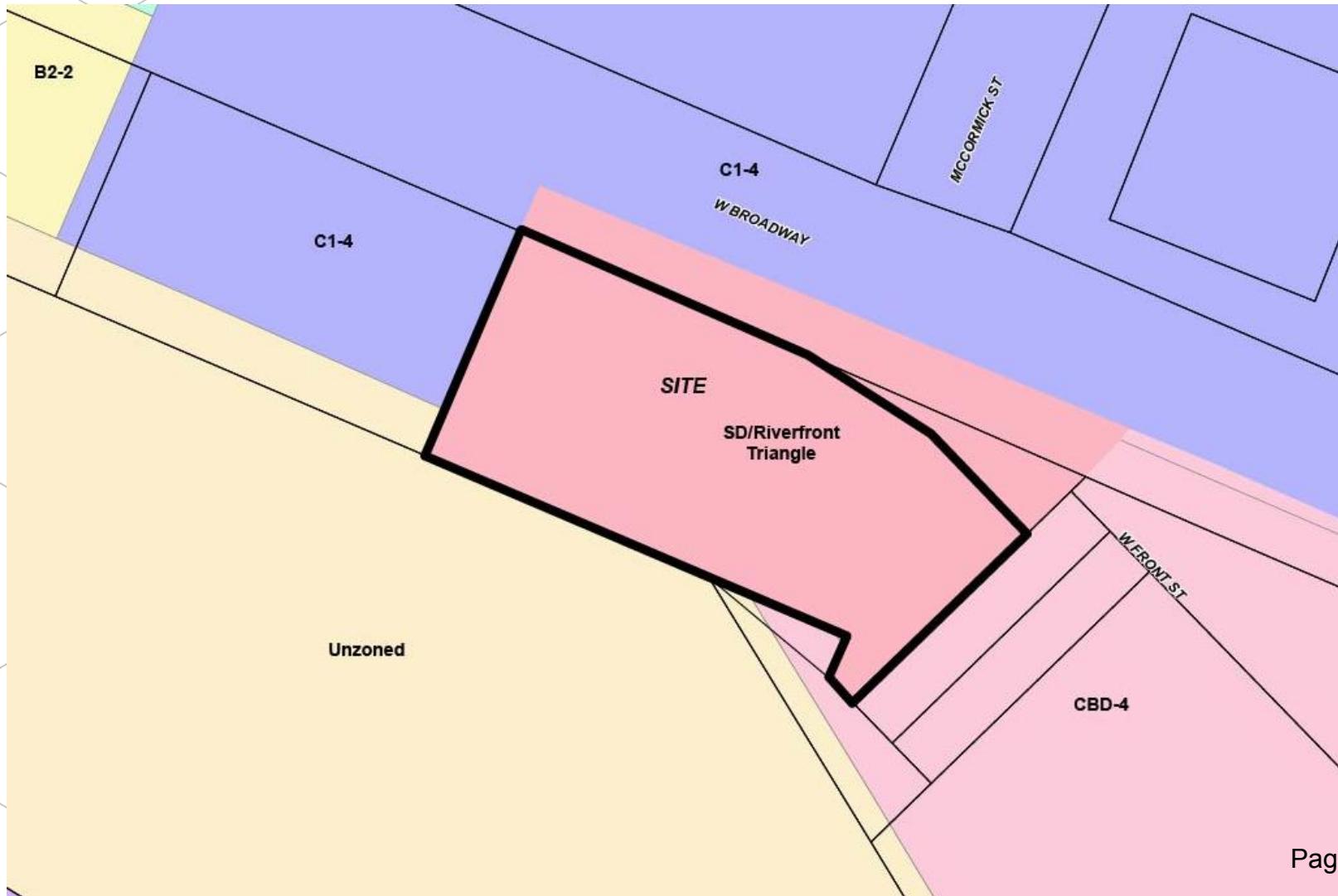
\$172,675-\$207,210 Easement Value



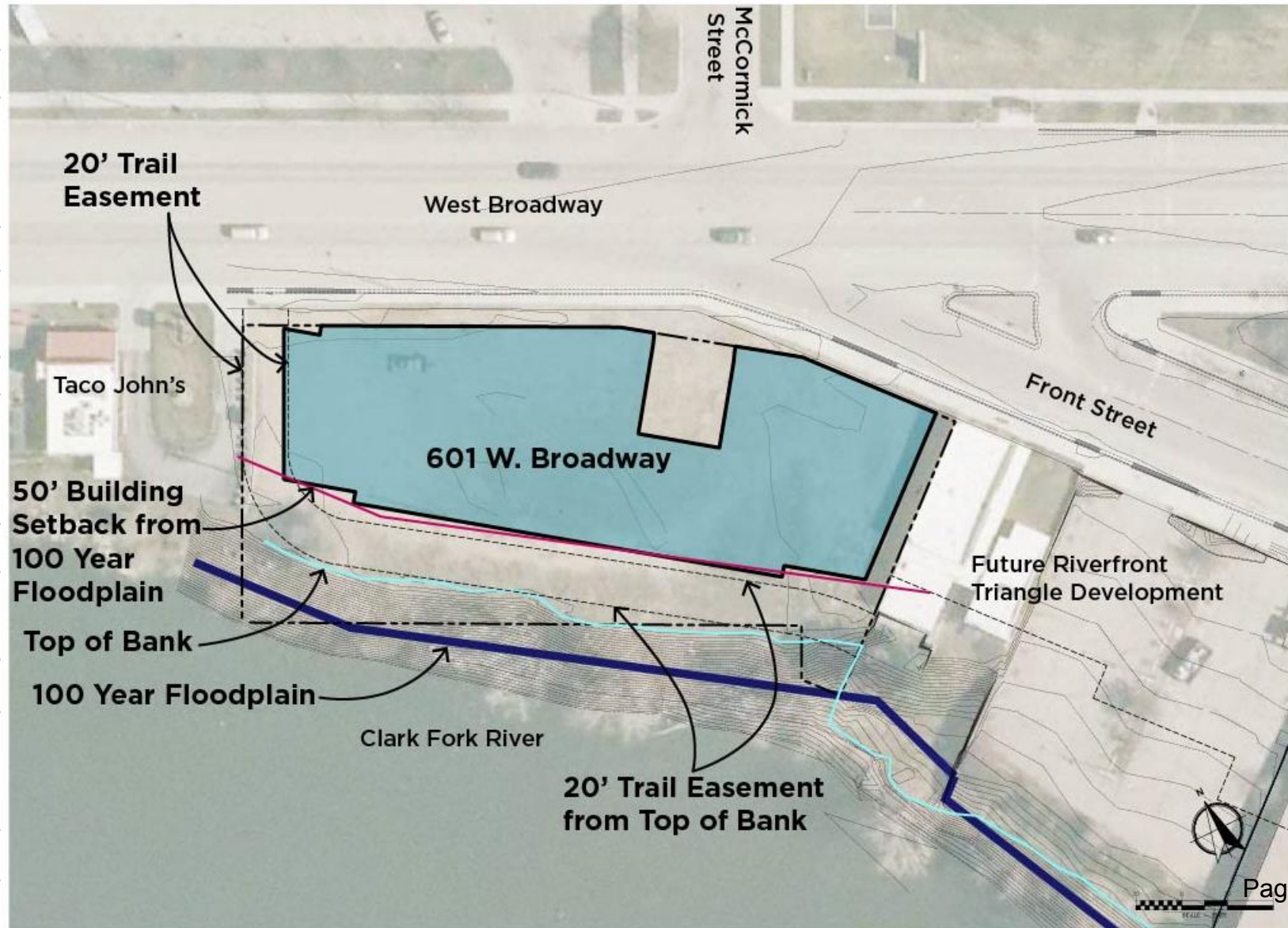
Parking



Zoning



Site Plan



Proposed Building and Uses

601 W. Broadway

Missoula MT.



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Proposed Building and Uses

601 W. Broadway

Missoula MT.



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Proposed Building and Uses

601 W. Broadway

Missoula MT.



Proposed Building and Uses

601 W. Broadway

Missoula MT.



Proposed Building and Uses

601 W. Broadway

Missoula MT.



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Proposed Building and Uses

601 W. Broadway

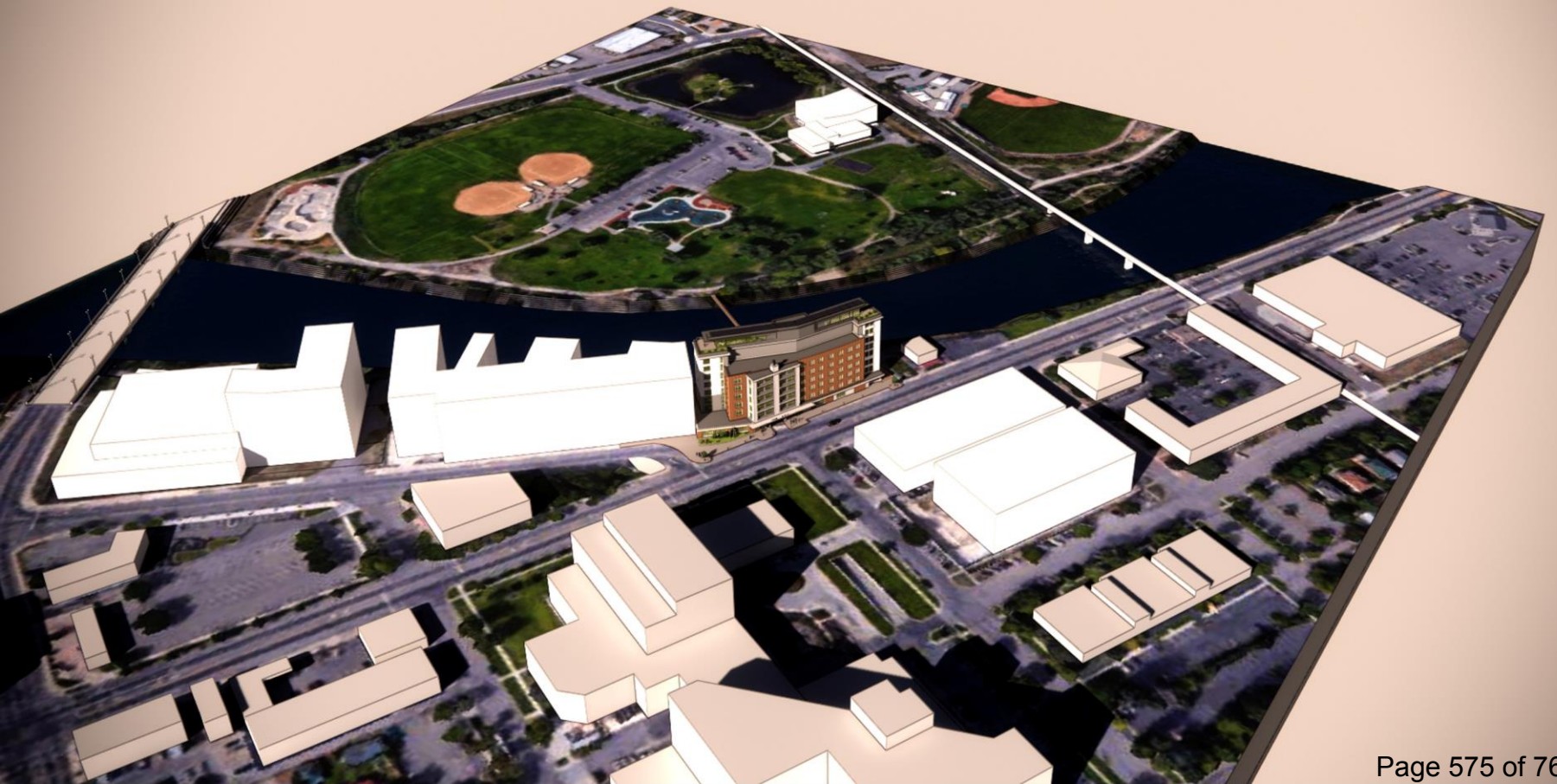
Missoula MT.



Proposed Building and Uses

601 W. Broadway

Missoula MT.



Public Involvement

- WGM Sent Mailings to Neighbors on December 6, 2019
- Planning Board Notification and Hearing
- City Council Notification and Public Hearing



Project Steps

Two Years from Inception to Construction

- **Summer 2019:** Began planning & alternative analysis
- **Summer 2019:** Began discussions with the City
- **September 2019:** Re-zoning application
- **November 2019:** Floodplain assessment
- **September 2020:** Planning Board and Council hearings
- **Spring 2021:** Permits and Construction



A decorative pattern of light gray hexagons is located on the left side of the slide, arranged in a staggered grid.

THANK YOU!



Planning Board Summary

Rezone 601 W Broadway from Special District SD/Riverfront Triangle, Sub-district D to CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay

Planning Board Recommendation:

On Tuesday, September 1, 2020, with 9 members present, the Missoula Consolidated Planning Board voted 8 ayes and 1 nay to recommend approval of the adoption of an ordinance to rezone 601 W Broadway from Special District SD/Riverfront Triangle, Sub-district D to CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay.

Planning Board's Recommended Motion:

Planning Board revised the motion to strike the word "concrete" from the description of the Riverfront Trail in order to allow City Parks and Recreation time to review options for a trail surface that may be more environmentally sensitive while providing a long lasting surface that requires less maintenance, and can withstand snow plowing while not being cost prohibitive. Planning Board's revised motion states:

APPROVE the adoption of an ordinance to Rezone property located at 601 W Broadway and legally described as Lots A, B, 1, 2, 3, 4, 5, and the east half of Lot 6 in Block 51 and Lots 48 and 49 in Block 56 of W.J. McCormick's Addition in Section 21, Township 13 North, Range 19 West from Special District SD/Riverfront Triangle, Sub-district D to CBD-4 Central Business District / DE-D Outer Core Design Excellence Downtown Overlay, subject to the applicant and the City executing a Development Agreement and public non-motorized access easement filed with the County Clerk and Recorder prior to the effective date of the ordinance which is 120 days from City Council approval. The Development Agreement and easement documents shall be reviewed by City Parks, Missoula Redevelopment Agency and Development Services and approved by City Council. The Development Agreement shall include construction of the Riverfront Trail along the north shore of the Clark Fork River from east to west, connecting to W Broadway on the west end and to the River Front Trail on property adjacent to the east without interruption or detour; the developer's responsibility for the cost of a minimum 10-foot wide trail with 1 foot shoulders on either side of the path; the City of Missoula's responsibility for the cost of upsizing the trail to a 14-foot wide ~~concrete~~ trail; the City of Missoula's responsibility for repair, maintenance and replacement of the trail once constructed; and a 20-foot wide public non-motorized access easement filed with the Development Agreement. Design of the Riverfront Trail and any variation from the standards, including easement width, surface width of the trail, lighting, provision for trash receptacles and benches, shall be specific to the site and approved by City Parks and Recreation.

Planning Board's Recommended Conditions of Approval:

None, conditioning of a standard Title 20 zoning district is not permitted by state law. MCA 76-2-302(2) requires that a class of zoning standards, such as the CBD-4 (Central Business District) zoning district standards, be uniform in all locations where the standards apply.

Planning Board Discussion:

Planning Board agreed with the staff recommendation and voted to recommend approval of the rezone. No public comment was submitted prior to the Planning Board public hearing and no member of the public testified at the public hearing for this rezone. Planning Board discussion was focused on the following,

- Concern regarding the 125 foot maximum height in CBD-4 on the riverside of this site;
- Desire for consideration of alternative materials besides asphalt and concrete for the riverfront trail surface;
- Concern regarding the cost to the City on upgrading the material and size of the riverfront trail;

- Concern regarding the approach to bank stabilization and local flood projections along the riverfront side of the property;
- Concern regarding the triangular shapes and depth of the lobby/office spaces fronting West Broadway at the ground floor and whether that would result in pedestrian activation along the W Broadway frontage of the property

See the Planning Board Minutes for further Planning Board discussion.

From: [Gwen Jones](#)
To: [Hausmann, Robert B](#); hsharp@ci.missoula.mt.us; [Amber Sherrill](#)
Subject: Re: On the Riverfront Triangle
Date: Thursday, September 10, 2020 10:54:09 AM

Good morning, Bob, and thank you for your email. The piece of property up for a rezone is actually on the far west edge of the riverfront triangle....basically the opposite side of where the convention center is slated to go. The far west area has always been scheduled for residential/business offices.

In the meantime, the convention center is hopefully still going to come together. Given the pandemic, as you can imagine, some reshuffling is going on. But the vision of hotel/venue/parking garage is still alive and well. Hope this answers your questions. Take care, -Gwen

Gwen Jones
Ward 3 City Councilwoman
606 Woodford St., Missoula, MT 59801
406 549-3295

Note: All emails to and from this address are in the public domain.

From: Hausmann, Robert B <robert.hausmann@mso.umt.edu>
Sent: Thursday, September 10, 2020 10:27:31 AM
To: Gwen Jones; hsharp@ci.missoula.mt.us; Amber Sherrill
Subject: On the Riverfront Triangle

The Cheocotas' decision not to develop the civic events center on the Riverfront Triangle is heart breaking, since it was such a fine idea for both that unused piece of riverfront property and for Missoula. What we do NOT need is another office building with high end apartments built on that piece of property. Of course, the music business, which was more than thriving in Missoula, is now on hold because of the Covid-19 virus. It will bounce back, the Cheocotas might very well take up the project again, but by that time we will have office space that we don't need (has anyone studied office vacancies in Missoula; I bet have of the innumerable bank building with all kinds of office space. People are building business facilities out near the airport. And why we need more banks is a mystery to me—I guess they just are sitting on tons of checking account balances because upper middle class people don't have anything to invest in that does not present a huge risk—and live with less than 1% interest on the checking accounts.

You are all three strong councilwomen. Please take leadership roles in reining in a fast decision on a precious piece of Missoula property to just build one more building that serves the needs of the wealthy. Maybe a hold on all development that does not serve the public good is in order.

Best,

Bob Hausmann

Messages and attachments sent to or from this e-mail account pertaining to City business may

be considered public or private records depending on the message content. The City is often required by law to provide public records to individuals requesting them. The City is also required by law to protect private, confidential information. This message is intended for the use of the individual or entity named above. If you are not the intended recipient of this transmission, please notify the sender immediately, do not forward the message to anyone, and delete all copies. Thank you

From: [Kaitlin McCafferty](#)
To: [Kaitlin McCafferty](#)
Subject: Fw: On the Riverfront Triangle
Date: Monday, September 14, 2020 11:23:31 AM
Attachments: [Re On the Riverfront Triangle.msg](#)
Importance: High

From: Gwen Jones
Sent: Monday, September 14, 2020 8:52 AM
To: Hausmann, Robert B; Amber Sherrill; Heather Harp
Subject: Re: On the Riverfront Triangle

Hi Bob - thank you for the email...since this is a land use decision, I cannot comment substantively on your comments re the rezone. (As opposed to my prior email which just clarified the location of the property.)

Your comments are noted, and I will submit them to the record so all councilors can see them.
Thanks, -Gwen

Gwen Jones
Ward 3 City Councilwoman
606 Woodford St., Missoula, MT 59801
406 549-3295

Note: All emails to and from this address are in the public domain.

From: Hausmann, Robert B <robert.hausmann@mso.umt.edu>
Sent: Friday, September 11, 2020 8:41:34 AM
To: Gwen Jones
Subject: RE: On the Riverfront Triangle

Gwen (and Heather and Amber (I assume you will share my 'take'),

That is an incredibly small piece of property to put a huge building. I am surprised that it does not violate all kinds of building restrictions. I do think that it is up to the city council to determine not if people can make money (I am sure that most of the bank buildings will not make money for years and years) but whether the use of this property is in the public's interest. ANY infringement on the potential public value of the Triangle from the old Fox Theater (I am dating myself) is a wasted opportunity. I would rather it sit empty than be turned for to a place where banks and investment firms can store their money in the hopes of future returns.

And with people working from home increasingly (my google employee friend will not go back

to the Mt View campus until at least July of next year). We simply do not need more office buildings (or high end apartment complexes).

Please think this through. You all on the Council know more about this (except density in the University District) than the average citizen (I) do. Find out what the vacancy rate is for offices in Missoula is. When you are allowing 'development,' you don't have the responsibility to see if it pencils out, but you do need to make sure that one development does not impinge of the potential for some other piece of land where development is sure down the road to take place.

I thought the powerpoint showed a very packed in project.

Bob

From: [Gwen Jones](#)
To: [Greene, Anne](#); [Kaitlin McCafferty](#)
Subject: Re: rezoning proposal for Riverfront Triangle
Date: Tuesday, September 15, 2020 3:31:05 PM

Hi Anne, thank you for your email. Since this is a land use matter, I cannot comment substantively, but will forward this to be included in the record. Thanks, -Gwen

Gwen Jones
Ward 3 City Councilwoman
606 Woodford St., Missoula, MT 59801
406 549-3295

Note: All emails to and from this address are in the public domain.

From: Greene, Anne <anne.greene@mso.umt.edu>
Sent: Monday, September 14, 2020 5:36:26 PM
To: Grp. City Council and City Web Site
Subject: rezoning proposal for Riverfront Triangle

Dear City Council members,

I cannot attend the meeting tonight, but read about the public hearing on the recommended rezoning of the Riverfront Triangle. As I understand it, the present zoning allows for 52 feet and the requested height is more than double that. I feel that the public hasn't had enough time to process this request, and feeling unhappy about the last two development decisions along the river (4th Street condominiums and the student housing complex on the north side of the river) I feel very anxious about another tall building along the Clark Fork. I think we should be developing smaller buildings along the river, not only to fit in with what has traditionally been there, but also to allow the pedestrians and those using the streets behind these developments a glimpse of the river. These tall building make the streets they are on seem like canyons, shaded from the sun and blocking any a view of the river. They also make the experience of being on the river closed-in feeling. It's the worst design possible.

I agree with the city's growth plan to increase density rather than cause sprawl around the perimeter. However, care should be taken that that infill fit with the height and style of architecture that is already there. We should have stricter rules about what kind of development we want as infill, not just let anything go ahead because it fits into the city plan.

Please reconsider the rezoning request. Keep the zoning at the present height

and look further for an alternative for the Triangle development. The present proposal is a monstrosity.

Thank you,

Anne Greene



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Land Use and Planning

Item: Annexation of Tracts 1 and 2 of COS No. 5963 – Heron's Landing Subdivision

Date: August 13, 2020

Sponsor(s): Dave DeGrandpre

Prepared by: Dave DeGrandpre

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input checked="" type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Adopt a resolution of intention to annex and incorporate within the boundaries of the city of Missoula, Montana a certain parcel of land described as Tracts 1 and 2 of COS 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M. and zone the property RT5.4 Residential in the city, subject to the recommended conditions of annexation approval, and set a public hearing on September 14, 2020.

Timeline and Recommended Motions:

Referral to committee: August 17, 2020

Committee discussion: August 19, 2020, Action on Resolution of Intent to Annex

Council sets public hearing: August 24, 2020, Consent Agenda

Recommended motion: Adopt a resolution of intention to annex and incorporate within the boundaries of the city of Missoula, Montana a certain parcel of land described as Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M. and zone the property RT5.4 Residential in the city, based on the findings of fact in the staff report, subject to the recommended conditions of annexation approval, and set a public hearing on September 14, 2020.

Public Hearing: September 14, 2020

Recommended motion: Adopt a resolution to annex and incorporate within the boundaries of the city of Missoula, Montana a certain parcel of land described as Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M. and zone the property RT5.4 Residential in the city, based on the findings of fact in the staff report, subject to the recommended conditions of annexation approval.

Deadline: October 8, 2020

Financial Implications: None anticipated

Links to external websites: <https://www.engagemissoula.com/>

Return to: City Clerk
City of Missoula
435 Ryman Street
Missoula MT 59802-4297

RESOLUTION NUMBER _____

A resolution of intention to annex and incorporate within the boundaries of the City of Missoula, Montana certain parcels of land described as Tracts 1 and 2 of Certificate of Survey No. 5963 located in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West, Principal Meridian Montana (PMM), and set a public hearing on September 14, 2020.

LEGAL DESCRIPTION: Tracts 1 and 2 of Certificate of Survey No. 5963 located in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West, PMM, Missoula County, Montana as shown on Exhibit A attached hereto and made a part hereof.

WHEREAS, Mullan Road Partners, LLC, owner of 100% of the property described herein as Tracts 1 and 2 of Certificate of Survey No. 5963, located in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West, has filed Petition No. 10005 with the City Clerk requesting annexation and waiving the need to prepare a service plan for the annexation; and

WHEREAS, it is the Missoula City Council's decision to consider this petition for annexation pursuant to the statutory annexation by petition method set forth in Title 7 Chapter 2 Part 46 Section 4601 (3)(a)(ii) Montana Code Annotated (MCA); and

WHEREAS, the municipal sanitary sewer system, water system, police, fire protection, parks and other municipal services are available to the tracts described; and

WHEREAS, the City Council desires the annexation and zoning of the herein described property be conditioned upon annexation, subject to the following conditions:

Streets, General

1. All street and non-motorized improvements shall be designed and built in accordance with City of Missoula Public Works Standards and Specifications and City of Missoula Subdivision Regulations (except as modified by variance). All plans must comply with Americans with Disabilities Act requirements. All plans must be reviewed and approved by the City Engineer in accordance with City policies.
2. The subdivider shall provide a street naming exhibit to be reviewed and approved by Development Services prior to final plat filing of the first phase.
3. The subdivider shall provide a street signage plan in accordance with the Manual on Uniform Traffic Control Devices to be reviewed and approved by the City Engineer and City Fire Department prior to final plat filing of the first phase.
4. The following statement shall appear on the face of each plat, in the covenants, and on each instrument of conveyance:

"Acceptance of a deed for a lot within this subdivision shall constitute the assent of the owners to any future SID/RDID, based on benefit, for the upgrading of streets within this subdivision, including but not limited to paving, curbs and gutters, non-motorized facilities, street widening and drainage facilities"

5. All proposed rights-of-way shall be dedicated to the public on the face of each plat and approved by the City Engineer.
6. All proposed easements, except as modified by these conditions, shall be shown on the face of each plat and identified for their width and purpose, including easements for vehicular and pedestrian access, utilities, and irrigation ditches.

Specific Streets

7. George Elmer Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to George Elmer Drive shall be constructed prior to final plat approval of the first east phase or phase W2, W3, or W4, whichever is platted first.
8. Chuck Wagon Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to Chuck Wagon Drive shall be constructed prior to final plat approval of Phase W1, W5, W6 or W7.
9. Heron's Landing Drive, Nesting Lane, and Audubon Loop shall be designed and built to Low Density Urban Local Street standards including two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within 60-foot rights-of-way. The subdivider shall provide an additional access and utility easement at least one foot wide along the outer edge of the sidewalks and secondary commuter trail along these streets to allow for maintenance.

Drainage

10. The subdivider shall submit complete grading and drainages plan prior to final plat approval of the first phase showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities shall be constructed in accordance with the approved plan and accommodate the planned runoff from all upgradient phases.

Transit

11. The subdivider shall petition for the property to be included in the Missoula Urban Transportation District prior to final plat filing of the first phase.

Water System and Sewer System

12. The subdivider shall submit plans for water supply and sewage disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase. Construction of all water supply and sewer systems shall be in accordance with City policies.

Solid Waste

13. The subdivider shall submit plans for solid waste disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase.

Parkland

14. The subdivider shall meet the parkland dedication requirement as depicted on the Phasing Plan Exhibit and on the Parkland Dedication Exhibit of the application by providing 5.14 acres of dedicated common area to be maintained by the Heron's Landing Homeowners Association.
15. The subdivider shall draft an agreement for review and approval of the Parks and Recreation Department and City Attorney to provide for the dedication of land and/or payment of money prior to final platting of each phase. The agreement shall provide for different circumstances including where more than the required land is dedicated per phase, where an insufficient amount of land is dedicated per phase and cash is also required to make up for the insufficient amount of land, and where refunds may be issued by the City when more land is dedicated than needed to meet the dedication

requirement. The agreement shall be submitted, reviewed and approved prior to final plat filing of the first phase. When cash is proposed to be provided instead of land, the amount shall be equal to the fair market value of the amount of land that is statutorily required to be dedicated for that phase. The fair market value shall be determined by a Montana certified general real estate appraiser, hired and paid by the subdivider. Fair market value means the value of the unsubdivided, unimproved land based on the zoning designation that applies to the property at that time. The City reserves the right to require a separate appraisal for each phase.

16. The subdivider shall submit a park and common area landscape and maintenance plan and a boulevard landscaping plan to be reviewed and approved by the City Parks and Recreation Department prior to final plat filing of the first phase.

Covenants, Conditions, and Restrictions

17. Final covenants, conditions, and restrictions meeting the requirements of City Subdivision Regulations Section 5-020-14.K shall be submitted for review and approval prior to final plat filing of the first phase.

Non-Motorized Transportation Facilities

18. The subdivider shall provide five-foot sidewalks along all street frontages (except for where the Secondary Commuter Trail is to be located) and at the proposed mid-block locations depicted on the circulation plan exhibit. The subdivider shall provide a 10-foot Secondary Commuter Trail in the locations, dimensions, and within the rights-of-way and easements proposed in the preliminary plat phased subdivision submittal and approved by City Council. All sidewalk and trail plans, including specifications for ADA accessibility and safe street crossings, shall be reviewed and approved by the City Engineering and Parks and Recreation departments prior to approval of the first phase. Construction of the non-motorized transportation facilities shall occur as proposed in the application submittal and as required to serve each phase.

Fire Protection

19. The subdivider shall provide plans for address signage and a fire hydrant plan for review and approval prior to final plat filing of the first phase. All approved fire protection improvements shall be installed in accordance with the approved plans.

Noxious Weeds

20. The Weed Management and Revegetation Plan for Heron's Landing shall be appended to the covenants, conditions and restrictions. The subdivider shall provide evidence of plan implementation and noxious weed control prior to final plat filing of each phase.

Airport Influence Area

21. Each final plat shall include the following statement:
This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Heron's Landing Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase.

Easements

22. Each final plat shall show utilities within easements and public rights-of-way for review and approval by the City Engineering Division prior to final plat filing of each phase.

WHEREAS, Section 7-2-4211 MCA requires municipalities to include the full width of any public street or road rights-of-way that are adjacent to the property being annexed; and

WHEREAS, the Chuck Wagon Drive and George Elmer Drive right-of-way adjacent to the boundaries of the parcels are already within the municipal boundary of the City of Missoula; and

WHEREAS, the tracts described herein are currently zoned C-RR1 Residential in the County and the recommended zoning in the City is RT 5.4 Residential in accordance with MCA 76-2-303 (3)(a) and

Missoula Municipal Code criterion 20.85.040(l)(2c), it is the intention of the City of Missoula to annex this property with the recommended city zoning. FURTHER, the parcel is situated adjacent to City Council Ward Area No. 2 and the Grant Creek Neighborhood Council District, and it is the intention of the Council to add this parcel to said Ward and Neighborhood Council District; and

WHEREAS, in the judgment of the City Council of the City of Missoula, it is deemed to be in the best interest of the City of Missoula, the inhabitants thereof and the current and future inhabitants of the tracts and parcels of land described herein, which have petitioned for annexation and are within the urban growth boundary, that the boundaries of the City of Missoula shall be extended to include the same within the corporate limits.

NOW THEREFORE BE IT RESOLVED that it is the intention of the City Council of the City of Missoula to incorporate and annex into the City's jurisdictional boundary the herein described property, apply city zoning as stated within, and assign the property to the said Ward and Neighborhood Council District; and

BE IT FURTHER RESOLVED that the City Clerk shall, pursuant to Section 76-2-303 and 7-1-4127 MCA, publish in the newspaper of general circulation in the City of Missoula, which newspaper is nearest to the said land being considered for annexation, at least once a week for two successive weeks on 8/30/2020 and 9/6/2020, a notice that such resolution has been duly and regularly passed and that for a period of 15-days after the first publication of the notice, the City Clerk will receive expressions of approval or disapproval in writing of this proposed alteration of the boundaries of the city and zoning until 5:00 p.m. on 9/14/2020 and that a City Council public hearing shall be held Monday, 9/14/2020 at 6:00 p.m. at the regularly scheduled City Council meeting; and

BE IT FURTHER RESOLVED that if the city annexation of any lot(s), parcel(s), block(s) or tract(s) of land annexed into the city pursuant to this city annexation resolution or any provision of this resolution is ever held to be invalid or unconstitutional, the City Council hereby declares that any such decision shall not affect the validity of the annexation of the remaining lot(s), parcel(s), block(s) or tract(s) of land annexed into the city or the remaining provisions of this resolution. The City Council hereby declares that it would have passed this resolution and annexed each lot(s), parcel(s), block(s) or tracts(s) of land into the city as well as each provision of this resolution irrespective of the fact that the annexation of any one or more lot(s), parcel(s), block(s) or tract(s) of land annexed into the city or provision of this resolution may have been declared invalid or unconstitutional, and if for any reason the annexation of any lot(s), parcel(s), block(s), tract(s) of land or any provision of this resolution should be declared invalid or unconstitutional, then the annexation of the remaining lot(s), parcel(s), block(s) or tracts(s) of land and resolution provisions are intended to be and shall be in full force and effect as enacted by the City Council.

PASSED AND ADOPTED this 24TH day of August, 2020.

ATTEST:

APPROVED:

Martha L. Rehbein, CMC
City Clerk

John Engen
Mayor

(SEAL)

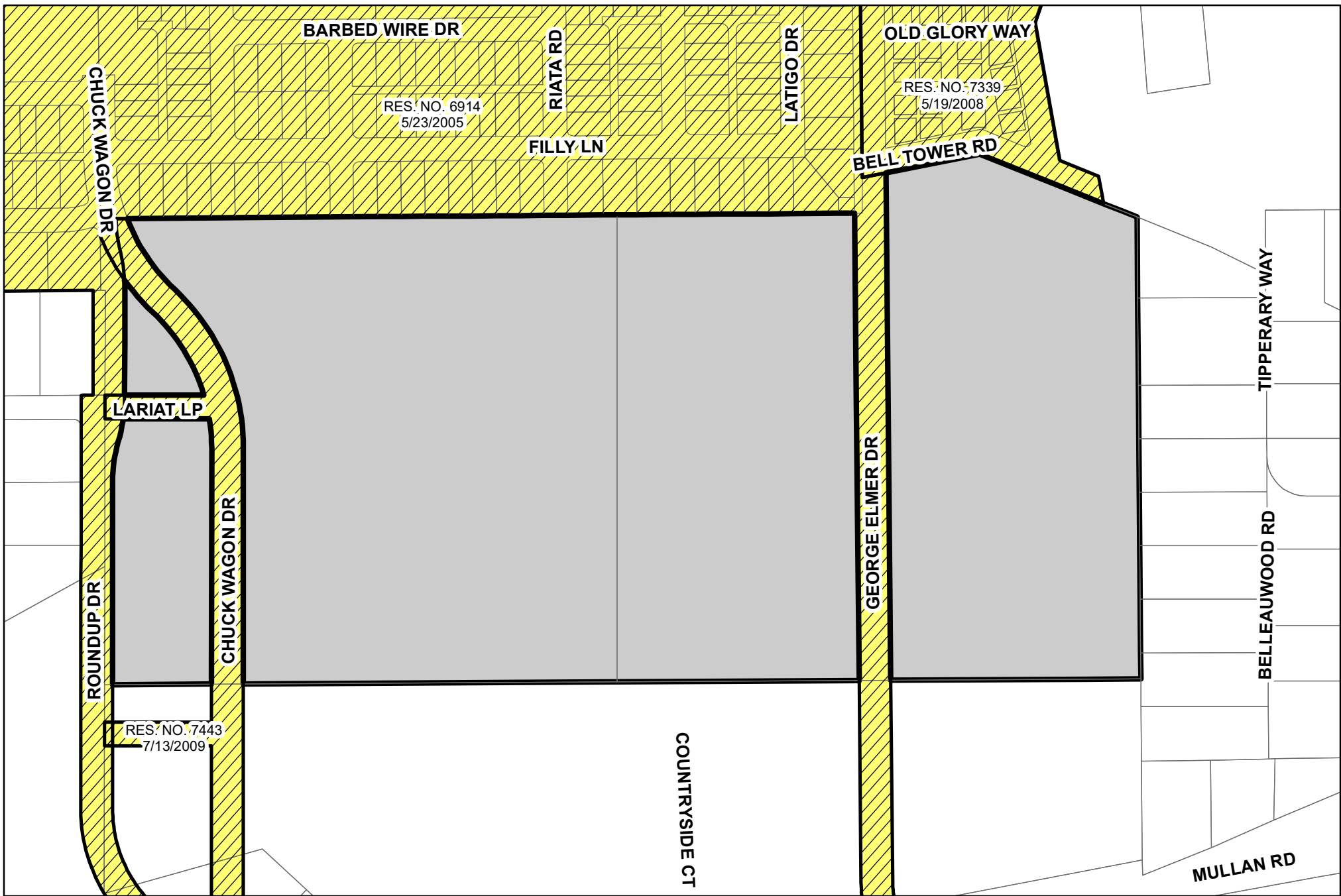






Exhibit A

Tracts 1 & 2 Certificate of Survey 5963

All Located in Sections 12 & 13, T.13 N., R.20 W., P.M.M.

Prepared by: CITY OF MISSOULA GIS SERVICES

Legend

-  Proposed Annexation
-  Annexation Resolutions
-  City Limits
-  Parcel Boundaries

REZONING STAFF REPORT

Agenda item:	Adopt the Heron's Landing Neighborhood Character Overlay Zone and Rezone Heron's Landing Subdivision from RT5.4 Residential to RT5.4 Residential with the Heron's Landing Neighborhood Character Overlay
Report Date(s):	8/15/2020
Case Planner:	Dave DeGrandpre, Planning Supervisor
Public Meetings & Hearings:	Planning Board (PB) hearing: 8/18/2020 City Council (CC) 1st reading and referral: 8/31/2020 Land Use & Planning (LUP) pre-hearing: 9/2/2020 City Council hearing: 9/14/2020
Fee Owner:	Mullan Road Partners, LLC 970 W. Broadway Ave., Ste. E #446 P.O. Box 30,000 Jackson, WY 83001
Applicant:	Mullan Road Partners, LLC 970 W. Broadway Ave., Ste. E #446 P.O. Box 30,000 Jackson, WY 83001
Representative:	Ryan Salisbury WGM Group 1111 E Broadway Missoula, MT 59802
Location of request:	North of Mullan Road in the BUILD Grant area, including portions of George Elmer Drive and Chuck Wagon Drive in the Capt. John Mullan Neighborhood Council area and Ward 2.
Legal description:	Tracts 1 and 2 of Certificate of Survey No. 5963 located in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West, P.M.M.
Legal ad:	The legal ad was published in the <i>Missoulian</i> on August 2 nd and 9 th , 2020. The site was posted on August 3, 2020. Adjacent property owners and the physical addresses within 150 feet of the site were notified by certified or first class mail on July 30, 2020.
Zoning:	RT5.4 Residential.
Growth Policy:	<i>Our Missoula: City Growth Policy 2035</i> recommends land use designations of Residential Medium – 3 to 11 Dwelling Units Per Acre.

STAFF RECOMMENDATION

APPROVE adoption of an ordinance to establish the Heron's Landing Neighborhood Character Overlay District and to rezone the subject property from RT5.4 Residential to RT5.4 Residential with a Heron's Landing Neighborhood Character Overlay District based on the findings of fact in the staff report.

RECOMMENDED MOTIONS

PB p/h:
8/18/20 **APPROVE** the adoption of an ordinance to establish the Heron's Landing Neighborhood Character Overlay District and to rezone Tracts 1 and 2 of COS No. 5963 in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West from RT5.4 Residential to RT5.4 Residential

with a Heron's Landing Neighborhood Character Overlay District based on the findings of fact in the staff report.

**CC first
reading:
8/31/20**

[First reading and preliminary adoption] Set a public hearing on September 14, 2020; preliminarily adopt an ordinance to establish the Heron's Landing Neighborhood Character Overlay District and to rezone Tracts 1 and 2 of COS No. 5963 in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West from RT5.4 Residential to RT5.4 Residential with a Heron's Landing Neighborhood Character Overlay District based on the findings of fact in the staff report, and refer the ordinance to the Land Use and Planning Committee for presentation on September 2, 2020.

**LUP:
9/2/20**

Discussion only – pre-public hearing.

**CC p/h:
9/14/20
May be
continued to
9/21/20**

[Second and final reading] (Adopt/Deny) an ordinance to establish the Heron's Landing Neighborhood Character Overlay District and to rezone Tracts 1 and 2 of COS No. 5963 in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West from RT5.4 Residential to RT5.4 Residential with a Heron's Landing Neighborhood Character Overlay District based on the findings of fact in the staff report

I. INTRODUCTION

Development Services has received an application from Ryan Salisbury of WGM Group, Inc. representing Mullan Road Partners, LLC to establish the Heron's Landing Neighborhood Character Overlay Zoning District and to rezone 72.11 acres located north of Mullan Road and south of the 44 Ranch development from RT5.4 Residential to RT5.4 Residential with a Heron's Landing Neighborhood Character Overlay. Establishment of this district and rezoning of the property is proposed to happen concurrently with preliminary approval of the Heron's Landing Phased Subdivision Plat and Application.

Staff has reviewed the applicant's submittal packet and bases the recommendation of approval on the following findings of fact.

II. REZONING REVIEW CRITERIA

Findings of Fact:

Overlay Districts, General:

1. Overlay district regulations may be established only in accordance with the zoning amendment procedures of Title 20.85.040.
2. Overlay zoning district regulations apply in combination with underlying (base) zoning district regulations and all other applicable regulations of the zoning ordinance. When overlay district standards conflict with standards that would otherwise apply, the regulations of the overlay zoning district govern.
3. After an overlay district is established, the overlay district may be applied to specific property in accordance with the zoning amendment procedures.

Neighborhood Character Overlay Districts:

4. As per Title 20 Section 20.25.040, neighborhood character overlay districts are intended to:
 - A. Recognize and protect the physical character of neighborhoods that exhibit unique development building patterns;
 - B. Encourage neighborhood investment in the form of construction and development that conform to the size, orientation and setting of existing buildings in the neighborhood;
 - C. Implement adopted neighborhood plans;
 - D. Foster development and redevelopment that are compatible with the scale and physical character of original buildings in the neighborhood through the use of development/design standards;
 - E. Ensure a stabilized tax base, and
 - F. Promote natural and cultural assets.

Heron's Landing Neighborhood Character Overlay District:

5. The Heron's Landing Neighborhood Character Overlay District is intended to be 'overlain' on top of the RT5.4 Residential district applied to the Heron's Landing Subdivision.
6. The Heron's Landing Subdivision is a 347-lot residential development planned to be developed in 10 phases over approximately 20 years. The property is located north of Mullan Road and south of the 44 Ranch development. Historically the property has been used for hay and cattle growing. It is undeveloped except for irrigation ditches. To the north, west, and east are residential subdivisions. Planned Collector roadways George Elmer Drive and Chuck Wagon Drive bisect the property. The subdivision is proposed with lot sizes ranging from 1,600 to 16,000 square feet intended to accommodate a variety of housing types ranging from townhomes with up to six attached units to traditional single-unit residences. A new street network is proposed along with landscaped boulevards and sidewalks along street frontages and a 10-foot wide commuter trail that would cross the subdivision. Also planned are a 4-acre central park and several common areas and pedestrian linkages.
7. The RT5.4 Residential district requires a minimum lot size and minimum area per unit of 5,400 square feet. General building standards include 20-foot front and rear setbacks, 7.5 interior lot and 10-foot side street setbacks, and a maximum building height of 35 feet. Detached dwellings and two-unit / townhouse building types are permitted. Mixed-use buildings are also permitted, but few uses other than residential are allowed.

8. The Heron's Landing Neighborhood Character Overlay District does not seek to modify any of the land uses in the RT5.4 Residential district. Instead, the intent is to provide a more diverse variety of lot sizes and building types by:
- A. Allowing smaller lot sizes and setbacks in specific locations as well as a larger minimum lot size in one location as shown on the application map;
 - B. Allowing lots that front onto a common area and have alley access to be oriented so the building front faces the common area (normally the building front would be oriented toward a street);
 - C. Requiring a main entry of a home to face a street (except for lots that face a common area);
 - D. Allowing up to six-unit townhomes in certain locations (instead of a maximum of two-unit townhomes), and
 - E. Allowing attached garages that are accessed from an alley to be as close as six feet from the alley instead of 20 feet.

Review Procedure

9. To establish a neighborhood character overlay district, the zoning amendment procedures of Title 20 Section 20.85.040 must be followed. The following actions have been or are scheduled to be taken in accordance with the procedural requirements:
- A. Public hearings are scheduled for August 18, 2020 (Planning Board) and September 14, 2020 with possible extension to September 21, 2020 (City Council).
 - B. Notice of the hearings was published in the Missoulian August 2 and August 9.
 - C. Notice of the hearings was mailed first class to the subject property owner and physical address as well as owners and physical addresses of property within 150 feet of the subject parcels on July 30.
 - D. Notices were physically posted on the subject property August 3.

Criteria to Establish the Heron's Landing Neighborhood Character Overlay District (/NC-HL):

10. Does the area possess urban design, architectural, or other physical development characteristics that create an identifiable setting, character and association?

Yes, the district is intended to be applied to a new urban-scale residential development. Conceptual plans have been drawn for several housing types with architectural features, materials, and colors that are intended to create a unified neighborhood character. The development is planned with entry features along the major transportation corridors. It is also planned to be built around a central park area and include other common areas. Streets are to be lined with landscaped boulevards and sidewalks and include a new trail segment ranging from the southwest to the northeast portions of the subdivision.

11. Is the district a contiguous area of at least five acres?

Yes, the district is planned to span 72.11 acres.

12. Is the zoning is made in accordance with a growth policy.

Yes, for the following reasons:

- A. The Future Land Use Map of the *Our Missoula*, City Growth Policy 2035 provides a designation in this area of Residential Medium Density – 3 to 11 Units Per Acre. The /NC-HL district and Heron's Landing Subdivision provide a density of 4.8 dwelling units per acre.
- B. The Growth Policy cites a 'focus inward' policy that promotes compact and dense development along major transportation corridors. The /HC-HL district would allow for compact development by permitting up to six attached townhouse units and lots as small as 1,500 square feet along George Elmer Drive and Chuck Wagon Drive. These two streets are classified as Collectors and are planned to link Mullan Road with West Broadway and England Boulevard in the future.
- C. The City Growth Policy states Missoula aspires to be a community where members of all income groups can find decent housing and positive steps must be taken to address the availability of safe, affordable housing. By allowing mixture of lot sizes and residential building types, this district would provide for well-built new housing for a variety of income levels.

13. Is the zoning designed to secure safety from fire and other dangers?

Yes, the zoning is intended to be applied to a development outside of a floodplain and outside of the wildland-urban interface. The development is planned with adequate access and circulation and served by City fire and police protection, water and sewer.

14. Is the zoning designed to promote public health, safety, and the general welfare?

Yes, the zoning would be applied to a residential development with a 4-acre central park, streets with sidewalks, close to a regional park, and contain a new trail municipal segment. The development would be served by municipal water and sewer services. Solid waste services are available. Schools are close by. The zoning is intended to allow for a mixture of medium-density residential housing types in a cohesive neighborhood away from hazardous land or any safety dangers.

15. Is the zoning designed to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements?

Yes, the zoning and development would allow access via alleys and streets, include non-motorized facilities, be served by municipal water and sewer, and local schools and parks. Hospitals, shopping, dining, employment, and other services are close by.

16. Would the zoning provide adequate light and air?

Yes, the maximum building height under the zoning is 35 feet and the maximum number of attached homes would be six. There is no reason to believe adequate light and air would not be provided under the zoning.

17. How would the zoning impact motorized and non-motorized transportation?

The area is planned for medium density residential development at a density of 3 – 11 homes per acre. The zoning and subdivision would provide for about 5 homes per acre. Improvements to the intersections of George Elmer Drive and Mullan Road and Chuck Wagon Drive and Mullan Road are planned to alleviate congestion. The subdivision would also provide pedestrian and bicycle facilities to serve the local residents and commuters. Overall, the zoning would have a negligible impact on motorized and non-motorized transportation systems.

18. Would the zoning promote compatible urban growth?

Yes, to the north, east and west are residential subdivisions. Although the zoning would allow a slightly denser development pattern and a larger range of residential building types, the zoning would allow development that is of relatively modest scale (i.e., not high-rises) within a growing residential area.

19. Does the zoning consider the character of the district and its peculiar suitability for particular uses?

Yes, the area is residential in nature and this district would continue that land use. The area is relatively flat, devoid of hazards, is served by transportation, water, sewer, and other municipal infrastructure, and is located in close proximity to employment centers, shopping, dining, and a host of services. Therefore, the zoning is well designed for the character of the district and its peculiar suitability for the proposed land use.

20. Would the zoning conserve the value of buildings and encourage the most appropriate use of land throughout the jurisdictional area?

Yes, the zoning would conserve (i.e., not impact) the value of nearby buildings. Through the growth policy development process the community decided the most appropriate use of land in this area is medium density residential development. The zoning would help to implement that vision.

21. Would the zoning correct an error or inconsistency in the zoning ordinance or meet the challenge of a changing condition?

The zoning would not correct an error or inconsistency in the zoning ordinance. Rather the zoning, by allowing a mixture of lot sizes and housing types, would help to meet the well documented challenge of providing various housing types at different price points in the Missoula area.

22. Is the zoning in the best interest of the City as a whole?

The zoning would allow for a mixture of lot sizes and building types to address a pressing need for housing stock at varying price points. The area is planned for this type of development with adequate transportation, water, sewer, fire and police protection, schools, and other services. The district would be located near shopping, dining, and employment, and be a short distance from the airport and interstate highway. In summary, adoption of the /NC-HL Zoning District is in the best interest of the City as a whole.

23. Are there any recommended district-specific development and design standards?

No, the only recommended development and design standards are the ones proposed by the applicant.

24. Are there any planning and zoning implications related to the designation of the proposed area and application of the district-specific development and design standards?

Other than the provision of more and varied housing in accordance with the growth policy, not other planning or zoning implications are expected.

III. ATTACHMENTS

Please see application materials.

Heron's Landing Neighborhood Character Overlay District

A. INTENT

This overlay district accommodates residential medium density dwelling units within the range of three to eleven dwelling units per acre. It is intended to fit with the already established residential neighborhoods that adjoin the district. The district acknowledges the single dwelling residential building type as the primary use for areas adjoining existing neighborhoods. Housing, including large and small lot single-dwelling and townhouses face streets or shared open spaces. There is easy access for non-motorized connections. The Heron's Landing Neighborhood Character Overlay District enhances the base RT5.4 zoning by:

- Emphasizing the importance of on-street parking on urban collector streets to buffer pedestrians from traffic on the street.
- Integrating the collector streetscape into the neighborhood.
- Expanding the uses to include a contemporary mix of residential uses which will add architectural and socioeconomic diversity to the neighborhood. A blend of building types provides for a range of housing options, accommodating preferences and household size for a range of household characteristics.
- Integrating common areas large and small, as a vital component that improves the quality of the neighborhood. They provide areas for a variety of outdoor activities and user groups including pocket parks for toddlers and parents and a neighborhood park for active outdoor recreation.

B. GENERAL STANDARDS

1. Additional standards

- a. Except as provided in this chapter, all applicable portions of the City of Missoula Zoning Ordinance Title 20 shall apply, including RT5.4, 20.105.20.
- b. Where three or more adjoining lots access an alley and front onto a common area, the front yard property line shall be adjacent to the common area, the rear yard property line shall adjoin the alley, and the remaining are side yard or street side yard property lines as permitted in Table 20.25.040-1 /NC-HL Parcel and Building Standards.
- c. Except for dwellings that face a common area, every residential structure that adjoins a street shall have the main entry facing a street frontage. For corner lots, the main entry shall face one of the streets. The entry must be visible from this street.

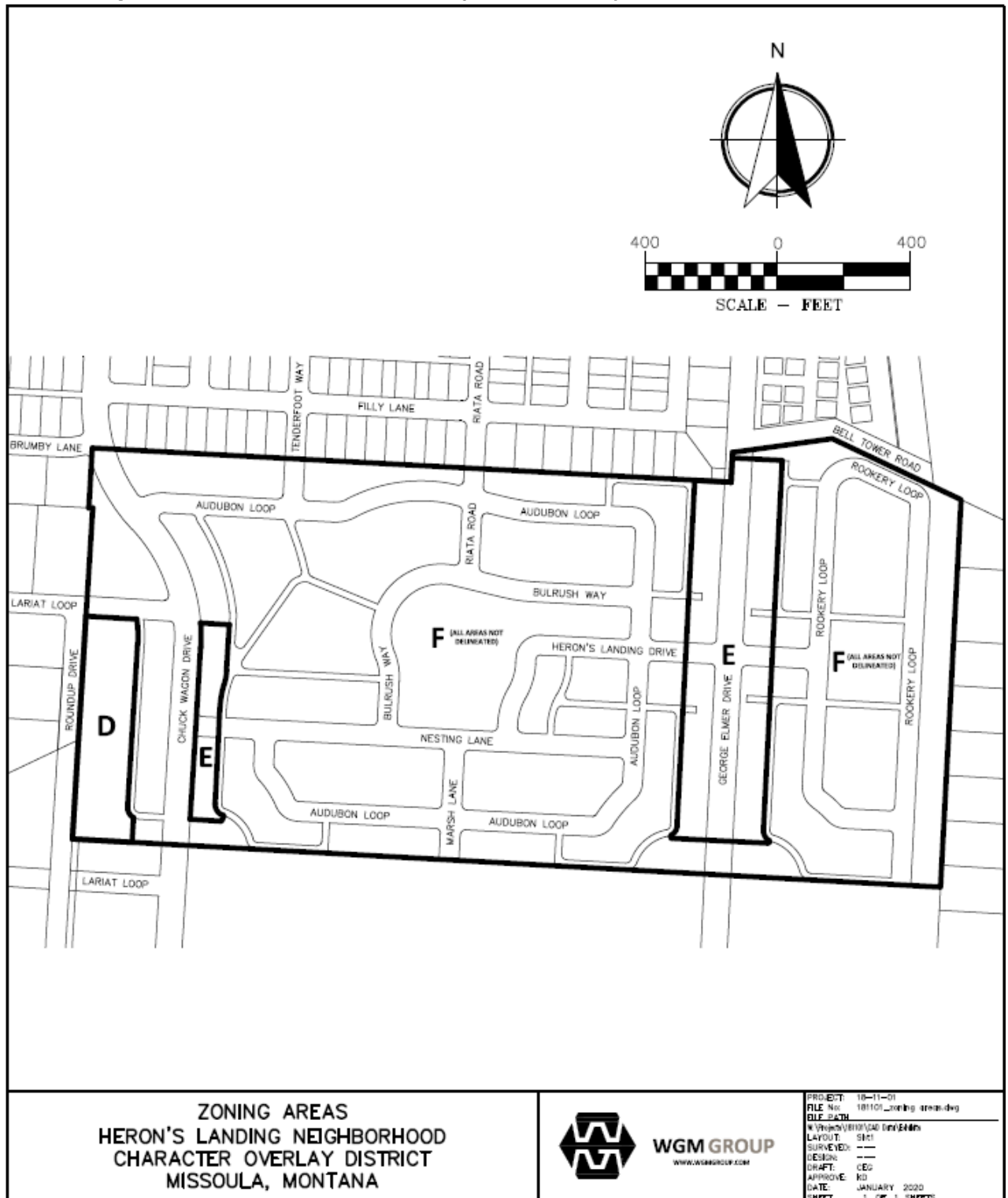
C. COMMON AREAS

All accessory structures and uses shall be approved and maintained by the homeowner's association.

D. Lot Designations

Lots are designated within areas defined within the Neighborhood Character Overlay District Map 20.25.040-1 /NC-HL. Applicable standards for each area are defined below.

Neighborhood Character Overlay District Map 20.25.040-1 /NC-HL



E. Allowed Uses

Uses identified with a "P" in Table 20.25.040-1 /NC-HL Allowed Uses, are permitted as-of-right in the subject zoning overlay. Uses identified with a "-" are expressly prohibited.

Table 20.25.040-1 /NC-HL Allowed Uses

	Uses Per RT5.4	Three-unit townhomes up to and including six-unit townhomes
Area D	P	-
Area E	P	P
Area F	P	-

F. Parcel and Building Standards

All primary residential structures shall comply with the parcel and building standards of Table 20.25.040-1 /NC-HL Parcel and Building Standards, except as otherwise permitted by Title 20.

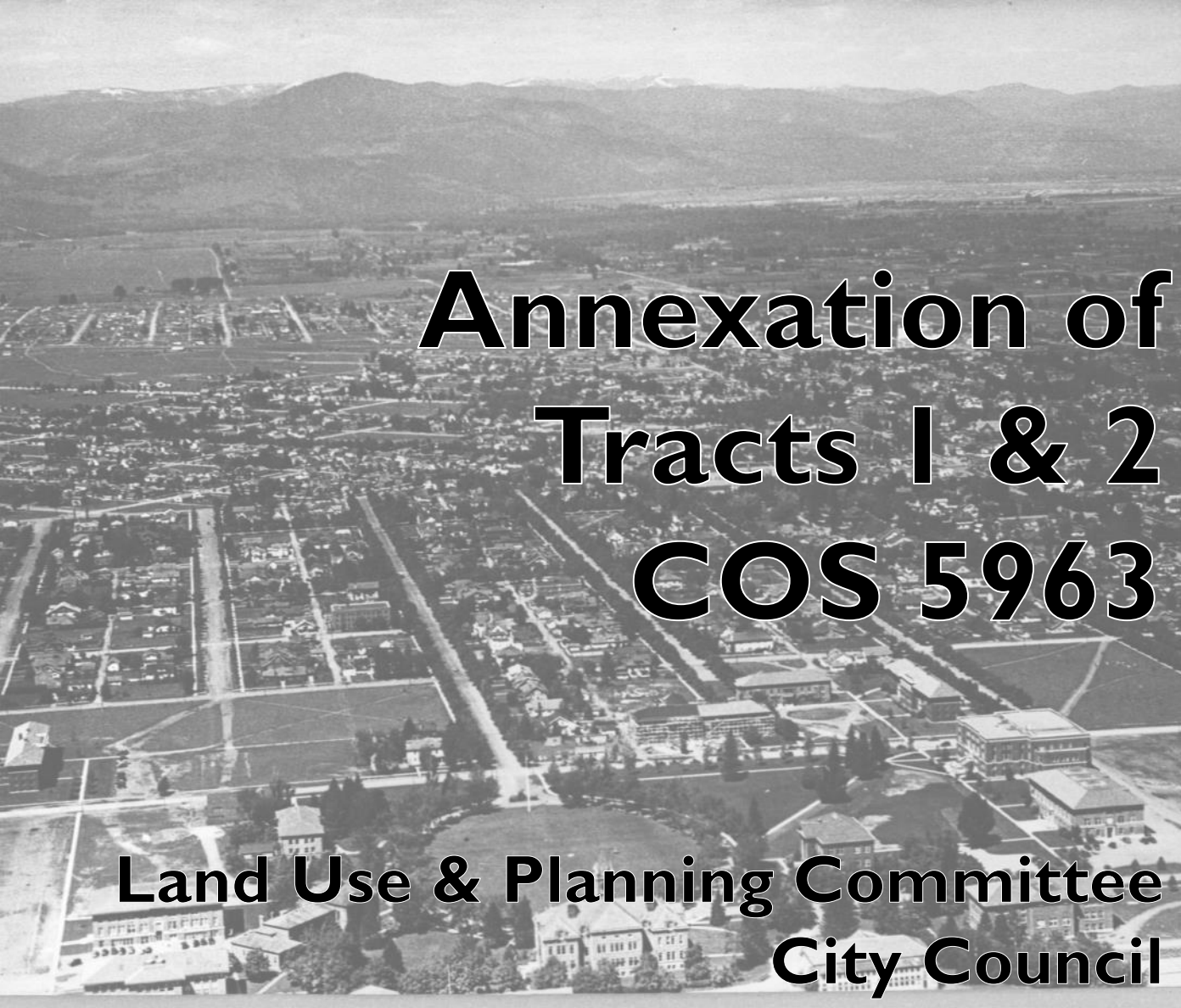
Table 20.25.040-1 /NC-HL Parcel and Building Standards

	Minimum Parcel Area	Front	Side (Street)	Side (Interior)	Rear	Maximum Building Height
	Area Sq. Ft	Feet	Feet	Feet	Feet	Feet
Area D	8,500	20	10	5	20 [3]	35
Area E	1,500	11 [1]	10	5 [2]	20 [3]	35
Area F	2,000	11	N/A	5 [2]	20 [3]	35

[1] Lots fronting on George Elmer Boulevard shall have a front yard setback of thirty (30') feet.

[2] Attached units do not require a side-interior setback.

[3] Setbacks may be reduce to six (6') feet for attached garages that are alley loaded.



Annexation of Tracts 1 & 2 COS 5963

**Land Use & Planning Committee
City Council**

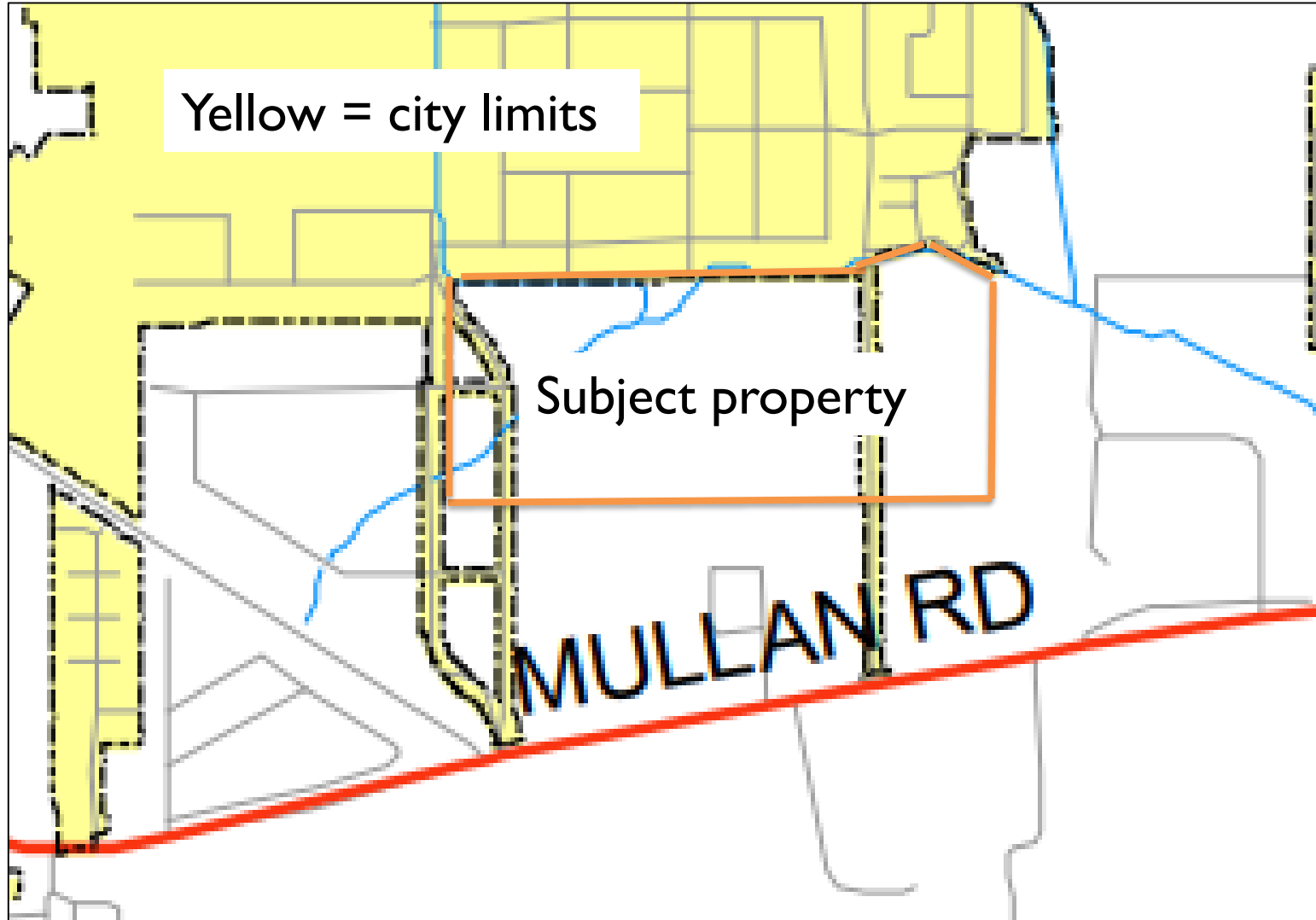
Dave DeGrandpre
Development Services
August 19 and September 14, 2020



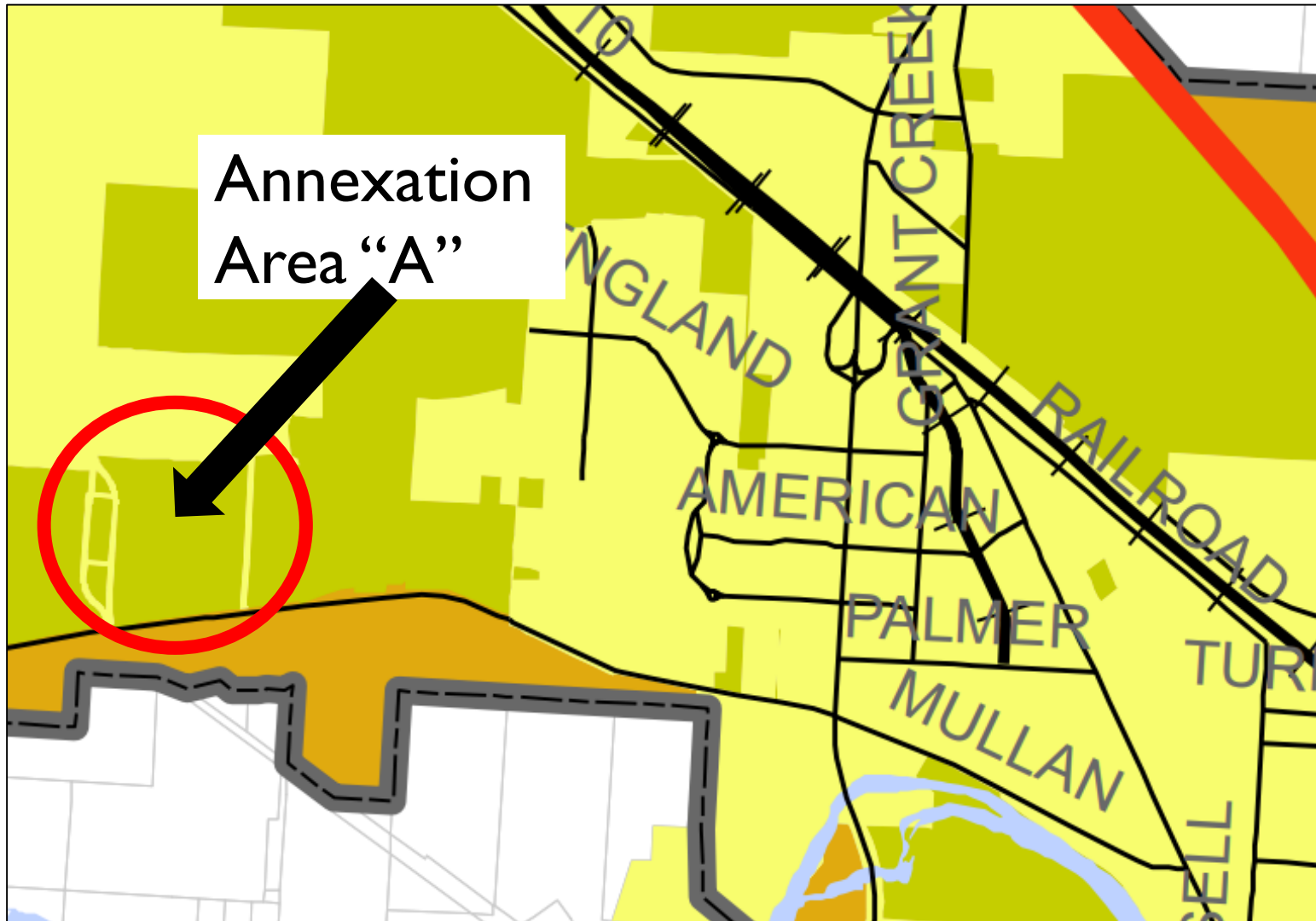
Location



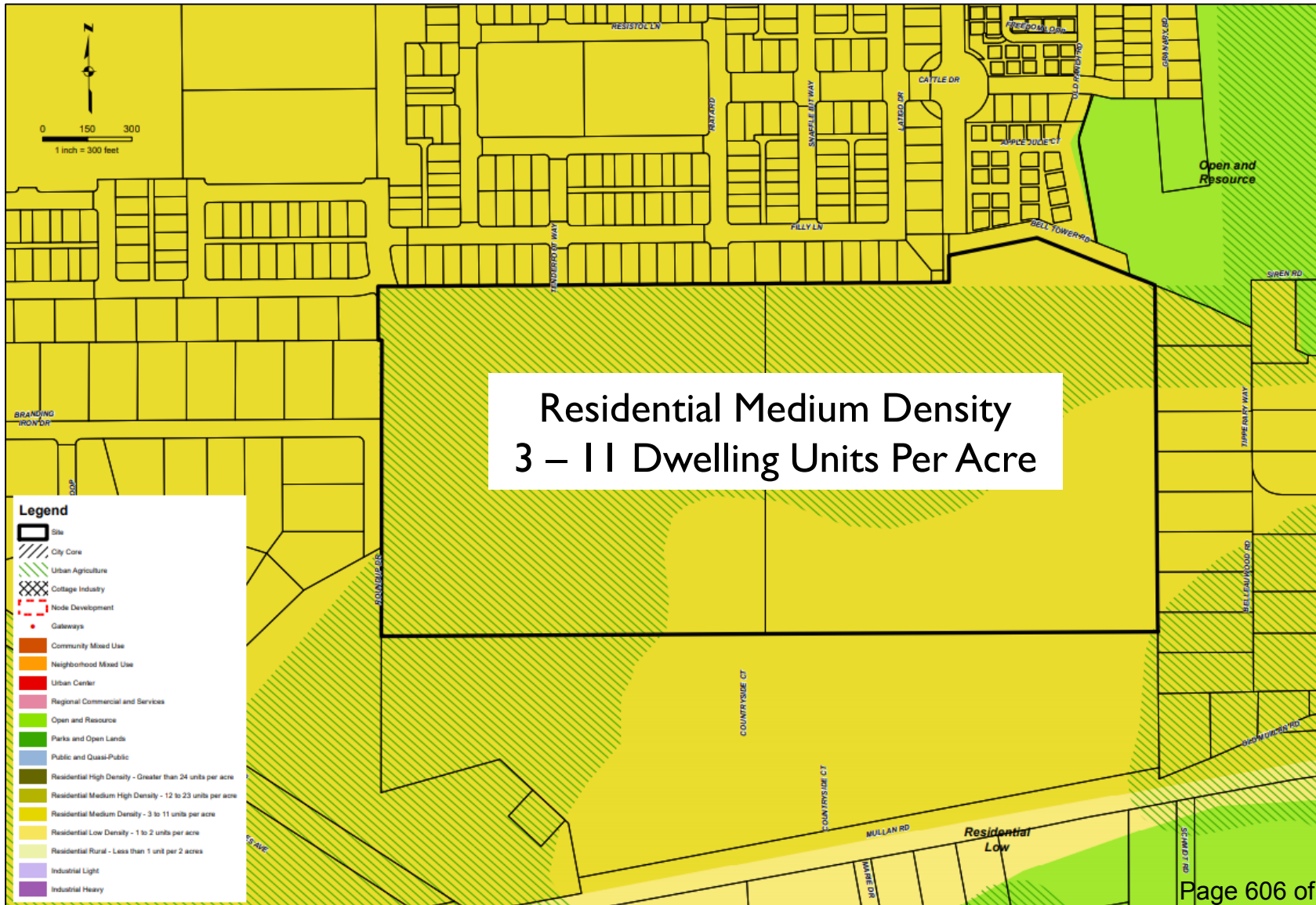
City Limits



Annexation Policy Map



Our Missoula Land Use



Current

County C-RR I Rural Residential

1 dwelling unit per acre

Proposed Upon Annexation

RT5.4 Residential

Single-dwellings and two-unit dwellings

5,400 square foot minimum lot size

- 1. Annexation and initial zoning to RT5.4 Residential**
- 2. Add the Heron's Landing Neighborhood Character Overlay District to Title 20**
- 3. Apply /NC-HL to property**
- 4. Heron's Landing Phased Subdivision**
- 5. Phases submitted independently (forthcoming)**

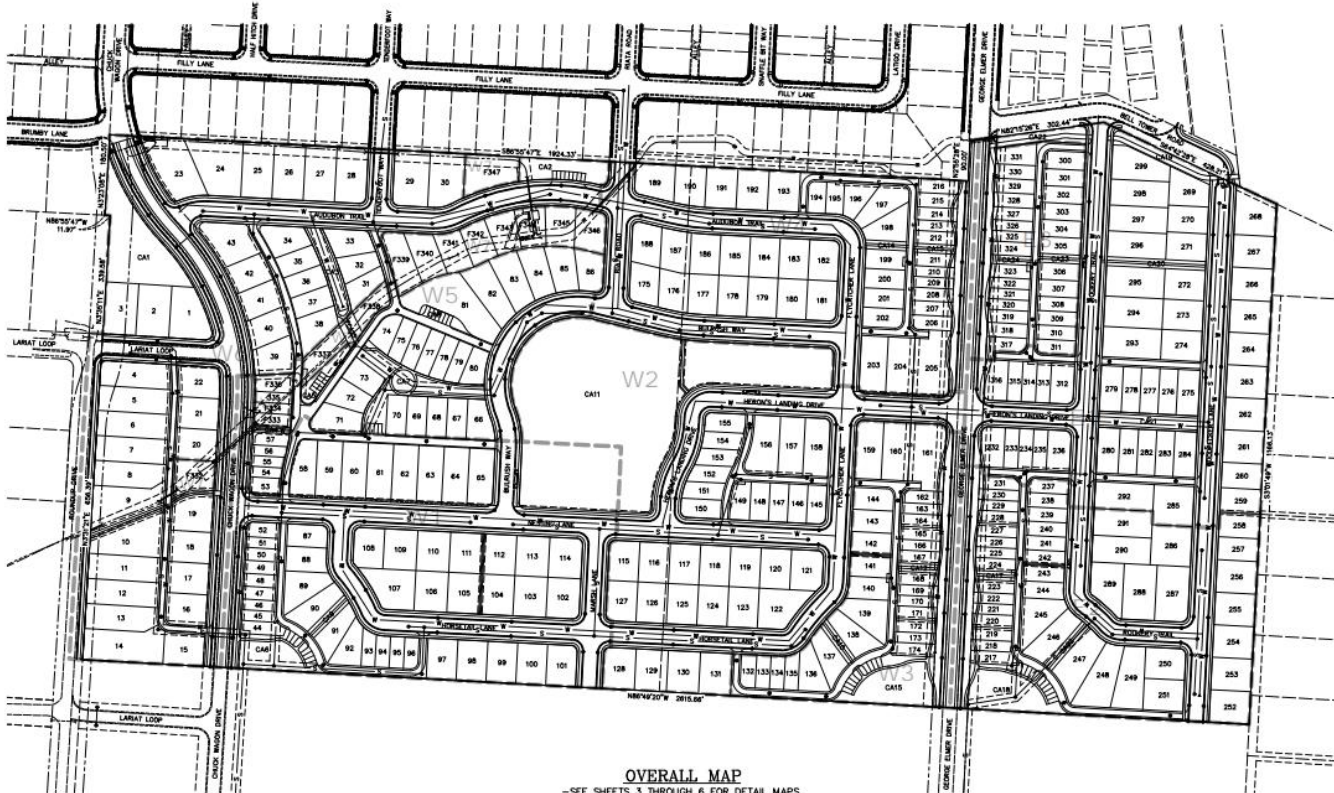
Add the Heron's Landing Neighborhood Character Overlay to Title 20

- Smaller lot sizes and setbacks
- Lots fronting on a common area and have alley access to be oriented toward the common area
- Main entry of a home must face a street
- Up to six-unit townhomes in certain locations
- Attached garages that are accessed from an alley as close as six feet from the alley instead of 20 feet.

Subdivision Proposal



PRELIMINARY PLAT OF
HERON'S LANDING
A SUBDIVISION OF THE CITY OF MISSOULA, COUNTY OF MISSOULA, MONTANA
LOCATED IN THE SE 1/4 OF SECTION 12 AND THE N 1/2 OF SECTION 13,
T. 13 N., R. 20 W., PRINCIPAL MERIDIAN, MONTANA



OVERALL MAP

- SEE SHEETS 3 THROUGH 6 FOR DETAIL MAPS.
- SEE PHASING PLAN SUBMITTED IN SECTION 2 OF THE SUBDIVISION APPLICATION FOR DETAILS ON PHASING AND DEADLINES TO COMMENCE PHASES.
- SEE BLOCK LENGTH VARIANCE EXHIBIT SUBMITTED IN SECTION 4 OF THE SUBDIVISION APPLICATION FOR BLOCK LENGTHS.

AREAS

LOT AREA = 41.60 ACRES
COMMON AREA = 7.88 ACRES
STREET AREA = 22.63 ACRES
TOTAL AREA = 72.11 ACRES

NOTE:

SEE SHEET 2 FOR LEGENDS, LOT AREA TABLE, AND STREET LENGTH TABLE.

- LEGAL DESCRIPTION**
TRACTS 1 AND 2 OF CERTIFICATE OF SURVEY NO. 5963
- BASIS OF BEARINGS**
CERTIFICATE OF SURVEY NO. 5963
- OWNER/SUBDIVIDER**
MULLAN ROAD PARTNERS, LLC
- COMPREHENSIVE PLAN**
RESIDENTIAL MEDIUM
- TYPE OF SUBDIVISION**
RESIDENTIAL
- ZONING**
HERON'S LANDING NEIGHBORHOOD CHARACTER OVERLAY DISTRICT
- VERTICAL DATUM**
NORTH AMERICAN VERTICAL DATUM 1988

CERTIFICATE OF ENGINEER

I HEREBY CERTIFY THAT THE PRELIMINARY STREET, STORM DRAINAGE, SEWER, AND WATER PLANS WERE PREPARED UNDER MY SUPERVISION.

CERTIFICATE OF SURVEYOR

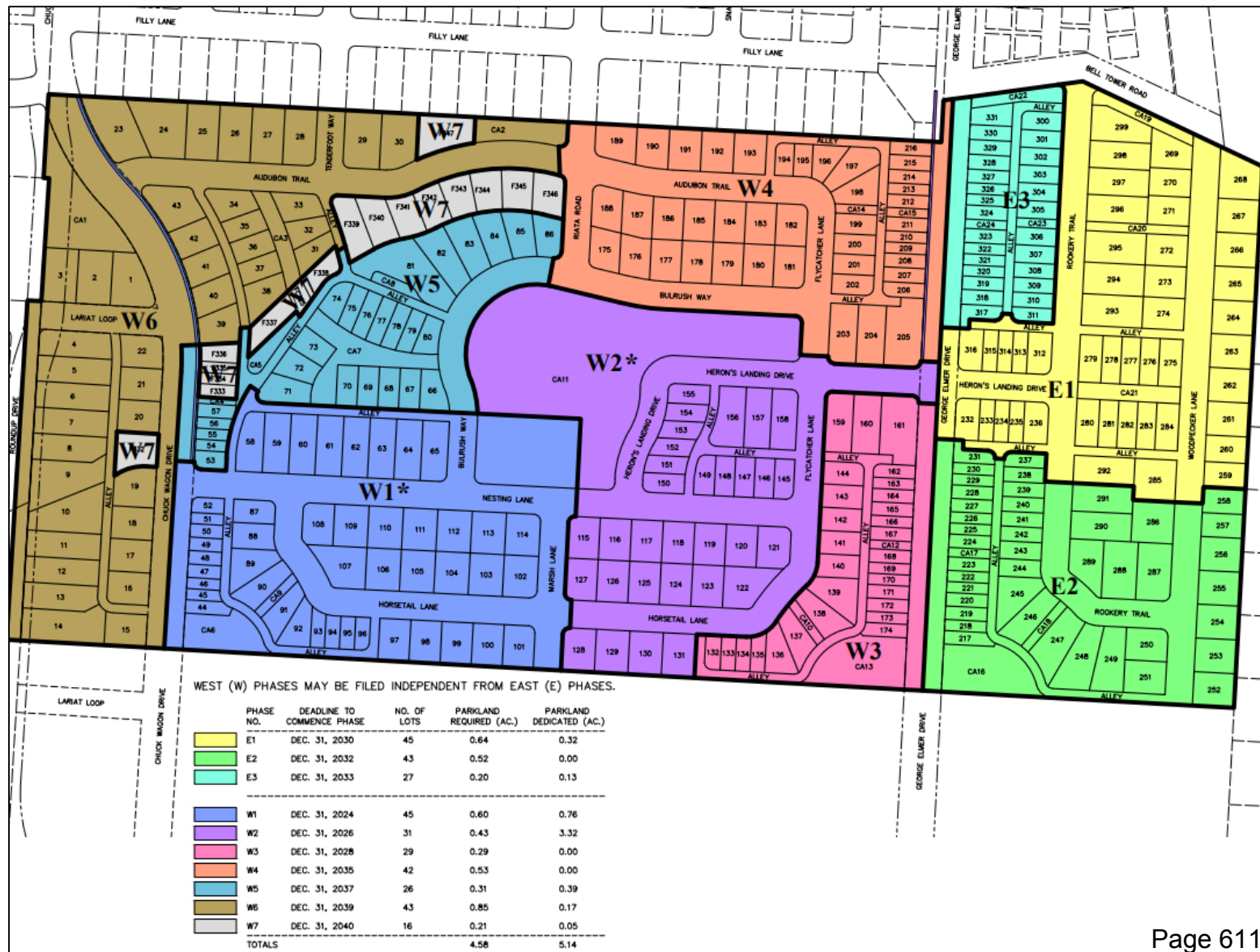
I HEREBY CERTIFY THAT THE BOUNDARY AND PRELIMINARY LOT DESIGNS OF THIS PROPOSED SUBDIVISION WERE PREPARED UNDER MY SUPERVISION.

PRELIMINARY
PLOTTED: 4/3/2020
SAVED: 4/3/2020



SHEET 1 OF 8
DATE: APRIL 2020
DRAFT: CEG
PROJECT NO.: 18-11-01

Subdivision Proposal



Conditions of Approval



- Streets built to City standards including George Elmer Drive and Chuck Wagon Drive (collectors) and internal streets (local residential)
- Connect to City water and sewer
- Boulevard & landscaping plan for street frontages
- Common area & parkland maintenance by HOA in covenants
- Sidewalks and trail construction
- Petition into Missoula Urban Transportation District
- Airport influence area statement

- a) authorize land uses comparable to the land uses authorized under the county zoning classification that applied to the property immediately before it was annexed into the city;
- b) authorize land uses that are consistent with the land uses approved by the Board of County Commissioners or the County Board of Adjustment; or
- c) be consistent with the land use and zoning recommendations for the subject areas, as set forth in the Growth Policy.

Adopt a resolution of intention to annex and incorporate within the boundaries of the city of Missoula parcels of land described as Tracts 1 and 2 of COS 5963 and zone the property RT5.4 Residential, and set a public hearing on September 14, 2020.

ORDINANCE NUMBER _____

AN ORDINANCE TO ESTABLISH THE HERON'S LANDING NEIGHBORHOOD CHARACTER OVERLAY DISTRICT AND TO REZONE TWO PARCELS OF APPROXIMATELY 72.11 ACRES DESCRIBED AS TRACTS 1 AND 2 OF COS NO. 5963 LOCATED IN THE SE ¼ OF SECTION 12 AND THE N ½ OF SECTION 13, TOWNSHIP 13 NORTH, RANGE 20 WEST P.M.M. FROM RT5.4 RESIDENTIAL TO RT 5.4 RESIDENTIAL WITH THE HERON'S LANDING NEIGHBORHOOD CHARACTER OVERLAY DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MISSOULA:

THAT THE HERON'S LANDING NEIGHBORHOOD CHARACTER OVERLAY DISTRICT IS HEREBY ADOPTED AND ADDED TO TITLE 20 OF THE MISSOULA MUNICIPAL CODE AND APPLIED TO THE ABOVE DESCRIBED PROPERTY, RESULTING IN ZONING OF RT5.4 RESIDENTIAL WITH THE HERON'S LANDING NEIGHBORHOOD CHARACTER OVERLAY DISTRICT.



Severability. If any section, subsection, sentence, clause, phrase or word of this ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance. The council hereby declares that it would have passed this ordinance and each section, subsection, sentence, clause, phrase and words thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or words have been declared invalid or unconstitutional, and if for any reason this ordinance should be declared invalid or unconstitutional, then the remaining ordinance provisions will be in full force and effect.

PASSED by a _____ vote and

APPROVED by the Mayor this _____ of _____, 2020.

ATTEST:

APPROVED:

Martha Rehbein
City Clerk

John Engen
Mayor

(SEAL)

EXECUTIVE SUMMARY

CASE PLANNER: Dave DeGrandpre

REVIEWED AND APPROVED BY: Mary McCrea

PUBLIC HEARING DATES: Planning Board: 8/18/20
City Council: 9/14/20

80-DAY LIMIT: Extended to 10/8/20 due to additional information submitted

APPLICANT: Gary Schnell
Teton Land & Development
970 W Broadway, Ste E
Jackson, WY 83001

FEE OWNER: Mullan Road Partners, LLC
970 W Broadway, Ste E
Jackson, WY 83001

AGENT: Ryan Salisbury, P.E.
WGM Group
1111 E Broadway
Missoula MT 59802

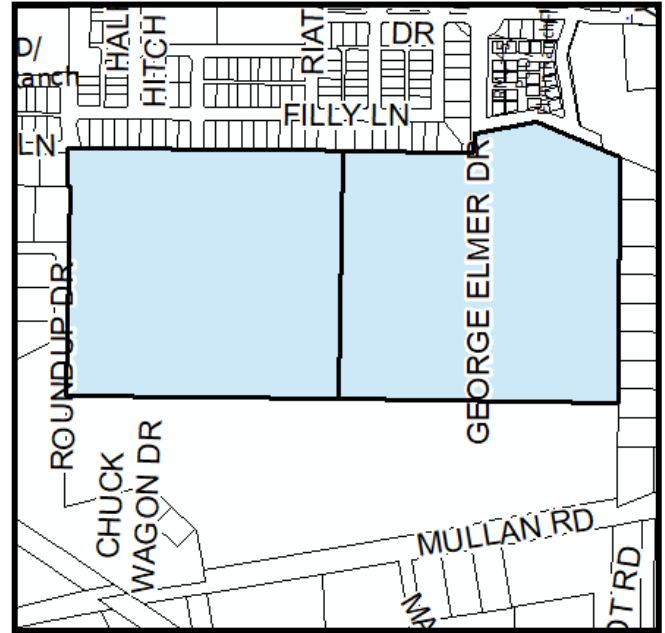
LOCATION OF REQUEST: North of Mullan Road, south of the 44 Ranch Subdivision, along both sides of Chuck Wagon Drive and George Elmer Drive.

LEGAL DESCRIPTION: Tracts 1 and 2 of COS No. 5963 in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 N, Range 20 W, P.M.M.

LEGAL NOTICE: Adjacent property owners were notified by certified mail on July 30, 2020. Five subdivision posters were placed on the property on August 3, 2020. Legal notice was published in the Missoulian August 2nd and 9th.

ZONING: RT5.4 Residential with Heron's Landing Neighborhood Character Overlay

GROWTH POLICY: The applicable regional plan is the *2035 Our Missoula City Growth Policy* which provides a land use designation of Residential Medium – 3 to 11 Dwelling Units Per Acre.



SURROUNDING LAND USES

North: Residential
South: Residential / Vacant
East: Residential
West: Residential

SURROUNDING ZONING

Special District – 44 Ranch
C-RR1 Rural Residential (County)
C-RR1 Rural Residential (County)
Special District – 44 Ranch and C-RR1 Rural Residential (County)

PROPOSAL

1. Request to vary from Section 3-020 Table .2A for Urban Collector right-of-way width.
2. Request to vary from Section 3-020 Table .2A for Urban Collector right-of-way width.
3. Request to vary from Section 3-020.2(A)2 limiting maximum block length to 480 feet in subdivisions.
4. Request to vary from Section 3-020.2(A)2 limiting maximum block length to 480 feet in subdivisions.
5. Request to vary from Section 3-020.2(A)2 limiting maximum block length to 480 feet in subdivisions.
6. Request to vary from Section 3-020.2(A)2 limiting maximum block length to 480 feet in subdivisions.
7. Request to vary from Section 3-020.15(F)4 prohibiting trails adjacent to streets where sidewalks would be placed.
8. Request to vary from Section 3-020 Table .2A for Urban Local Street right-of-way width.
9. Heron's Landing Phased Subdivision

STAFF RECOMMENDATION

1. **Approval** of the variance request to allow the right-of-way width for George Elmer Drive to be 80 feet instead of 90.
2. **Approval** of the variance request to allow the right-of-way width for Chuck Wagon Drive to be 80 feet instead of 90.
3. **Approval** of the variance request to allow Block A on the block length variance exhibit to be longer than 480 feet.
4. **Approval** of the variance request to allow Blocks B, C, D, E, F, G, and J on the block length variance exhibit to be longer than 480 feet.
5. **Approval** of the variance request to allow Block H on the block length variance exhibit to be longer than 480 feet.
6. **Approval** of the variance request to allow Block I on the block length variance exhibit to be longer than 480 feet.
7. **Approval** of the variance request to allow a 10-foot secondary commuter trail within an additional 6 ½-foot easement instead of a sidewalk along portions of Nesting Lane, Heron's Landing Drive and George Elmer Drive.
8. **Approval** of the variance request to allow Heron's Landing Drive, Audubon Loop, and Nesting Lane to have 60-foot rights-of-way instead of 70.
9. **Preliminary Approval** of the Heron's Landing Phased Subdivision plat and application.

HERON'S LANDING PHASED MAJOR SUBDIVISION

August 14, 2020

I. INTRODUCTION

Heron's Landing Subdivision is a 347-lot major subdivision planned to be constructed in 10 phases on 72.11 acres located north of Mullan Road, south of 44 Ranch Subdivision, and along both sides of Chuck Wagon Drive and George Elmer Drive in the BUILD Grant area. The landowner has petitioned City Council to annex the two parcels of land into the city limits and apply an initial zoning of RT5.4 Residential. Concurrently, the landowner seeks to subdivide the property and rezone it by adding a Heron's Landing Neighborhood Character Overlay District. This report discusses the subdivision. A rezoning report is being provided separately.

The *2035 Our Missoula City Growth Policy* Future Land Use Map provides a land use designation in this area of Residential Medium – 3 to 11 Dwelling Units Per Acre. The proposed density of the subdivision is 4.8 dwelling units per acre.

The standard RT5.4 Residential district provides a minimum lot size of 5,400 square feet and limits residential development to single- and two-unit houses and townhouses. The proposed Heron's Landing Neighborhood Character Overlay would allow for lot sizes as small as 1,500 square feet with up to six attached townhouse units in certain areas of the development. The proposed lot sizes range from 1,679 to 16,100 square feet.

The total lotted area of the subdivision 41.6 acres out of the total 72.11 acres. The subdivision proposes a 4.07-acre park, as well as numerous common areas interspersed throughout the development, for a total of 7.88 acres of common area. In addition to the extension of two collector roads – Chuck Wagon Drive and George Elmer Drive – the development is proposed with several interconnecting local streets. The total area devoted to road rights-of-way is 22.63 acres. Street frontages are designed with sidewalks and there are numerous pedestrian connections cutting through longer blocks. There is also a 10-foot wide multi-user trail that is planned to extend from the western boundary of the subdivision across the development to the northeastern edge.

The property is within the Urban Growth Area, the Waste Water Service Area, and the Air Stagnation Zone. All new homes are planned to connect to City water and sewer.

The Flynn Lowney Irrigation Ditch crosses the property. The property owner has no rights to the irrigation water in the ditch, nor would any future homeowners. The property contains three soil types listed as Desmet loam, Grantsdale loam and Moiese gravelly loam. Part of the property is rated as "Prime Farmland if Irrigated" and a section on the southeast corner is classified as "Farmland of Local Importance" per the Natural Resources Conservation Service (NRCS) Soil Survey. The applicant states the land has been used in the past for raising livestock, although not within the past three years. The existence of County residential zoning on the tracts anticipates their use for residential rather than agricultural purposes, and this is also how the land is designated in the *Our Missoula City Growth Policy*.

The applicant requests eight variances. Three of the variances are for reduced right-of-way widths for roads in the subdivision. Four of the variances deal with block lengths that are greater than 480 feet – in each instance, a different mitigation is proposed, which is why the variances are listed separately. Finally, there is a variance request to allow the multi-user trail where sidewalks

would normally be. Staff recommends approval of all eight variances and preliminary approval of the phased subdivision subject to conditions.

II. SUBDIVISION FINDINGS OF FACT

A. GROWTH POLICY COMPLIANCE

Findings of Fact:

1. City of Missoula Subdivision Regulations Section 3-010.1.I. requires that subdivisions be reviewed for compliance with the growth policy and its amendments.
2. The *2035 Our Missoula City Growth Policy* contains a future land use map with land use designations that visually depict the community's desired direction as it meets new growth challenges and changing times. The land use descriptions and recommended locations help to set a broad understanding of future land use patterns that enables city services and agencies along with residents, property owners, and neighborhoods to plan effectively for the future. The mapping is a visual representation of the balanced, value-based review of the goals, objectives, and actions recommended as part of the growth policy. (*Growth Policy page 114*)
3. The *2035 Our Missoula City Growth Policy* future land use map provides a land use designation of Residential Medium Density – 3 to 11 Dwelling Units Per Acre for the property. (*2035 City Growth Policy Future Land Use Designation Map*)
4. The subdivision is intended to create 347 lots from the 72.11 acres, for a density of 4.8 dwelling units per acre. (*Preliminary Plat*)

Conclusions of Law

1. The proposed Heron's Landing Phased Subdivision substantially complies with the *2035 Our Missoula City Growth Policy*.

B. PRIMARY CRITERIA COMPLIANCE

CRITERION 1: EFFECTS ON AGRICULTURE & AGRICULTURAL WATER USER FACILITIES

Findings of Fact:

Agriculture

1. The USDA Natural Resources Conservation Service lists three soil types on these tracts: Desmet loam, Grantsdale loam, and Moiese gravelly loam. (*Subdivision Application Section 6, NRCS Soil Report*)
2. The NRCS Soil Survey classifies these soil types as "Prime Farmland if Irrigated" and "Farmland of Local Importance." Roughly 2/3 of the site is Prime Farmland if Irrigated, with the remaining 1/3 in the southeast corner of the site Farmland of Local Importance. (*Subdivision Application Section 2, Agricultural Production Exhibit*)
3. The application submittal states the land has been used for raising livestock and growing hay in the past, although not within the past three years. (*Subdivision Application page 8, Project Summary*)
4. The property is currently zoned by Missoula County as C-RR1 Residential, which provides a maximum residential density of one dwelling unit per acre. The existence of County residential zoning on the parcels anticipates their use for residential rather than agricultural purposes. The *Our Missoula City Growth Policy* designates the property for urban scale residential development. (*Subdivision Application page 3, City Growth Policy*)

Agricultural Water User Facilities

5. The Flynn Lowney Irrigation Ditch crosses the property from roughly the center of the northern boundary running southwest to the western boundary. An irrigation ditch is also located along part of the north boundary of the property. (*Project Summary, Subdivision Application pages 8-9*)
6. The preliminary plat sheets show culverts are planned to be installed where the Flynn Lowney Ditch intersects planned roadways and easements to provide for access and maintenance of the ditches. (*Preliminary Plat*)
7. Fifteen proposed lots numbered F332 through F346 are encumbered by the irrigation ditch to the extent the lots are undevelopable at present. These lots are labeled on the phasing plan as W7, the last potential lots to be created. The application states there is only one downstream user of the irrigation water and discussion has occurred to possibly abandon and vacate the ditch at the discretion of the Hellgate Valley Irrigation Company. If the ditch remains, the lots in this phase will not be developed. (*Project Summary, Subdivision Application pages 9-10, October 15, 2019 letter from the Hellgate Valley Irrigation Ditch Company*)
8. The property owner has no rights to the irrigation water. Future homeowners in this subdivision would not have any rights to the irrigation ditch water either. There is a note on the plat which indicates this, and it is also specified in the covenants. (*Project Summary, Subdivision Application pages 8 and 9, Preliminary Plat, Covenants*)

Conclusions of Law:

1. This subdivision would prevent use of productive soils for agriculture. However, the property is zoned for residential use and is planned for urban scale residential development.
2. No impacts to agricultural water users or water user facilities are foreseen as a result of this subdivision.

CRITERION 2: EFFECTS ON LOCAL SERVICES

Transportation and Drainage

Findings of Fact:

Streets and Alleys

1. Access to the subdivision would be from George Elmer Drive and Chuck Wagon Drive, both classified as Urban Collector Streets. The internal subdivision road network includes Low Density Urban Local Streets and Local Residential Streets, differentiated by the anticipated daily traffic volumes. The subdivider would be responsible for designing and building/upgrading all of the transportation facilities within the subdivision, including George Elmer Drive and Chuck Wagon Drive, in accordance with City Public Works Standards and Specifications and the City Subdivision Regulations (except as may be modified by variance). The plans must comply with Americans with Disabilities Act requirements and be approved by the City Engineer. (*Project Summary, Subdivision Application page 17, Subdivision Regulations Section 3-020.2.*)
2. The subdivision application submittal includes a traffic impact study. The study indicates that currently planned transportation improvements to reduce congestion and increase safety along Mullan Road are pending and include a two-way left turn lane at the Mullan Road / Chuck Wagon Drive intersection and a traffic signal and eastbound left turn lane at

the Mullan Road / George Elmer Drive intersection. The traffic impact study states the planned transportation improvements are sufficient to accommodate the site generated traffic at the Mullan Road intersections and that no further intersection improvements are required to mitigate the site generated traffic. The study also indicates the proposed internal street network design is sufficient to accommodate projected levels of traffic within and travelling through the subdivision. (*Traffic Impact Study, Supplemental Traffic Analyses, Project Summary page 4*)

3. Many of the lots are planned so the fronts of homes would face the street with rear access via alleyways. The City Subdivision Regulations require alley rights-of-way to be at least 20 feet wide with a paved surface of at least 12 feet. The proposed alleys meet these requirements. All of the lots appear to be suitable for driveway or alley access in accordance with the subdivision regulations. (*Preliminary Plat Sheets, City Subdivision Regulations Section 3-020.10*)
4. Street names are provided on the preliminary plat. Section 3-020.12 of the City Subdivision Regulations requires the street naming plan to be reviewed and approved prior to final plat approval. This requirement is reflected in a recommended condition of preliminary plat approval. (*Preliminary Plat Sheets, City Subdivision Regulations Section 3-020.12*)
5. Section 3-020.4(H)(2) of the City Subdivision regulations requires street signs and traffic control devices to be approved by the City Engineer and consistent with the Manual on Uniform Traffic Control Devices adopted by the Montana Department of Transportation. A recommended condition of approval requires a signage plan reviewed and approved by City Fire and the City Engineer prior to final plat approval of the first phase and installation of signage meeting the above-named standards prior to platting of each phase.
6. All streets and alley rights-of-way are proposed to be dedicated to the public. Section 3-020.3(A)(1) of the City Subdivision regulations requires each public road to provide for construction and perpetual maintenance of the road. Section 5-050.4(M & N) of the City Subdivision regulations requires the Special Improvement District (SID) statement to be provided on the plat and on each instrument of conveyance. A condition of approval is recommended requiring a SID statement on the plat and in the subdivision covenants for future improvements and maintenance to all streets providing access to the subdivision lots.
7. Section 3-060.1 of the City Subdivision Regulations requires easements be provided for vehicular and pedestrian access, utilities and irrigation ditches and City Engineer approval of the easements. A condition of approval requires that the location and width of all easements including streets, utilities and the irrigation ditches shall be approved by the City Engineer prior to final plat approval of each phase.
8. Subdivision Regulations Section 3-020.2 and .3C requires improvements to streets within or adjacent to a subdivision to meet the standards prescribed in Table .2A.

George Elmer Drive and Chuck Wagon Drive

9. George Elmer Drive and Chuck Wagon Drive are classified as a Urban Collectors (with parking). Table .2A shows Urban Collectors with parking require a minimum 90-foot wide right-of-way that includes two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks (approximately 59 feet total, with a small amount of additional space for maintenance). Table .2A also includes the possibility of a center turn lane, which would require additional space. (*Subdivision Regulations, Table .2A*)

10. The subdivider has requested separate variances to build the required street improvements within 80-foot rights-of-way instead of 90 for both George Elmer Drive and Chuck Wagon Drive. These requests are addressed below. (*Variance Request #1 and #2*)
11. George Elmer Drive is also proposed to include 20-foot access and utility easements on the east and west sides to allow for a meandering sidewalk and commuter trail (discussed below) as well as for utility placement and maintenance. (*Preliminary Plat, Circulation Plan Exhibit*)

Heron's Landing Drive, Nesting Lane, and Audubon Loop

12. Subdivision Regulations Table .2A identifies Low Density Urban Local Streets as those streets serving less than 12 dwelling units per acre and having an average daily traffic of up to 2,500 vehicle trips. (Residential streets with more than 250 and less than 2,500 ADT.) According to the traffic impact study and supplemental analyses, Heron's Landing Drive, Nesting Lane, and Audubon Loop fall into this category. Table .2A shows Low Density Urban Local Streets to have a minimum 70-foot wide right-of-way that includes two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks (approximately 59 feet total). City Engineer Kevin Slovarp has requested an additional one-foot easement along the outer edge of the street improvement to allow for maintenance. (*Traffic Impact Study, Turn Lane Analysis, Projected ADT Volumes Exhibit, Correspondence with City Engineer*)
13. The subdivider has requested a variance to build the above street improvements within 60-foot rights-of-way instead of 70. This request is addressed below. (*Variance Request #8*)

Lariat Loop, Tenderfoot Way, Riata Road, Flycatcher Lane, Bulrush Way, Horsetail Lane, Marsh Lane, Rookery Trail, and Woodpecker Lane

14. Subdivision Regulations Table .2A identifies Local Residential Streets as those streets with up to 250 average daily vehicle trips. According to the traffic impact study and supplemental analyses, the above-listed streets fall into that category. Table .2A shows Local Residential Streets to have a minimum 47-foot wide right-of-way that includes two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks (approximately 59 feet total). City Engineer Kevin Slovarp has requested an additional one-foot easement along the outer edge of the street improvement to allow for maintenance. (*Traffic Impact Study, Turn Lane Analysis, Projected ADT Volumes Exhibit, Correspondence with City Engineer.*)
15. The subdivider is proposing that the above-listed streets be built in accordance with Table .2A within 60-foot wide rights-of-way in compliance with the subdivision regulations. (*Preliminary Plat Sheet #8*)

Drainage

16. The City of Missoula Storm Water Specifications and Design Standards and Section 3-040 of the City Subdivision Regulations provide minimum standards for site grading and control of stormwater runoff.
17. The subdivision application submittal contains a preliminary storm drainage report and hydrogeologic evaluation. The proposed method of managing storm runoff is grading the site and developing a storm drainage system with drywell sumps to collect and infiltrate runoff, with backup or overflow retention on Common Area 1 and Common Area 6. The overflow are is also provided in the event of irrigation ditch flooding. The hydrogeologic evaluation addresses risk of basement flooding on-site due to increases in the water table elevation caused by flooding in Grant Creek; risk of basement flooding on- and off-site from

the use of sumps during an extreme storm event (100-year, 24-hour), and the risk to groundwater quality impacts from the use of sumps following a typical storm event. The evaluation concludes there is no risk of basement flooding within the subdivision boundary even during an extreme storm event; there is no risk of flooding of basements on-site or on surrounding properties associated with the planned use of sumps for on-site storm water management, and the use of sumps would result in no detectable concentrations in nitrate in groundwater beyond the site boundary. (*Storm Drainage Report, Emergency Overflow Path Exhibit, Utility Plan Exhibit, Newfields Hydrogeologic Evaluation and Addendum*)

18. Section 3-040.2 and Section 5-020.11 of the City Subdivision Regulations require a complete grading and drainage plan showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas to be submitted prior to final plat approval meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities must be constructed in accordance with the approved plan as per Section 5-020.11.B and due to the phased development, must be constructed to accommodate the planned runoff from all upgradient phases.

Transit

19. Section 3-010.7 and 3-020.1 of the City Subdivision Regulations require subdividers to provide safe, efficient, and convenient transportation corridors for motorists, pedestrians, bicyclists and bus riders. Section 3-020.4.E requires subdivision circulation systems to provide for various modes of transportation such as automobiles, pedestrians, bicycles, buses, and emergency vehicles. The City of Missoula Annexation Policy states that where appropriate, proposed annexation areas should be conditions to join the Missoula Urban Transportation District.
20. The property is not currently within the Missoula Urban Transportation District, which is necessary to provide for future transit service. A recommended condition of approval is the subdivider be required to petition into the district prior to final plat approval of the first phase. *Missoula Urban Transportation District Parcel Viewer online map*

Non-Motorized Transportation

21. City Subdivision Regulations Section 3-020.15 requires sidewalks and boulevards adjacent to all streets in accordance with Table .2A.
22. The subdivision application submittal includes preliminary plat sheets and a circulation plan exhibit that show five-foot wide sidewalks along street frontages and in several mid-block locations.
23. The circulation plan exhibit also shows a 10-foot wide Secondary Commuter Trail extending from Roundup Drive near the southwest corner of the property along the Flynn Lowney Irrigation Ditch, Nesting Lane, Heron's Landing Drive, George Elmer Drive, and through common area and across the irrigation ditch past the northeast extent of the subdivision. The trail is intended to provide bike and pedestrian access as part of a larger trail network that is hoped to eventually connect the Old Milwaukee railroad grade to the southwest with Tipperary Way and Hellgate Elementary School to the east. Providing a Secondary Commuter Trail instead of sidewalk along street frontage requires a variance from City Subdivision Regulations, as addressed below. City Subdivision Regulations Section 3-020.15.g requires trails to be constructed in accordance with the subdivision regulations and Missoula City Public Works Standards and Specifications. (*Subdivision*

Conclusions of Law:

1. The subdivision will meet the Subdivision Regulations requirements for streets and non-motorized improvements if the variance requests are approved and the conditions of approval are imposed and met.
2. The subdivision will meet the City of Missoula Storm Water Specifications and Design Standards and grading and drainage standards in the Missoula City Subdivision Regulations if the condition of approval is imposed and met.
3. Final grading, drainage and stormwater plans will be reviewed and approved by Montana DEQ and the City Engineer prior to final plat approval of each phase.
4. The subdivision will meet the transit standards in the City Subdivision Regulations if the condition of approval is imposed and met.

Water System and Sewer System

Findings of Fact:

1. The property is within the Missoula Wastewater Facility Service Area and planned to be connected to existing water and sanitary sewer mains that were extended into the area for the 44 Ranch development, Flynn Ranch development, and RSID #8474 sewer mains along north side of Mullan Road. *Wastewater Service Area Map, Project Summary page 5*
2. The subdivision application submittal includes preliminary sewer and water design reports. The City of Missoula provided a letter stating the intent to provide water and sewer service to the subdivision in June of 2019. Individual water and sanitary sewer mains internal to the subdivision are planned to be extended as the project builds out. *(Water and Sanitation Report, Wastewater Service Area Map, Utility Plan Exhibit, Project Summary page 8, June 27, 2019 Letter from Missoula Development Services)*
3. As per Sections 3-070.01 and 3-070.04 of the City Subdivision Regulations, water supply and sewage disposal systems require review and approval from the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of any phase. This is required as a condition of approval.

Conclusions of Law:

1. City water and sewer are available to the subdivision.
2. Review of water and sewer systems is under the jurisdiction of City Engineering and state and local health authorities under the Montana Sanitation in Subdivision Act.
3. Water and sewer systems will meet the subdivision regulations if the conditions of approval are imposed and met.

Solid Waste

Findings of Fact:

1. Republic Services is expected to provide disposal service to the subdivision. *(Subdivision Application, page 21)*
2. Solid waste systems must meet the minimum standards of the Montana Department of Environmental Quality and City/County Health Code as per Section 3-070.1 of the City Subdivision Regulations. This requirement is a recommended condition of approval.

Conclusions of Law:

1. Solid waste disposal service are expected to be available to the subdivision and in compliance with Subdivision Regulations.
2. Review of solid waste disposal is under the jurisdiction of state and local health authorities under the Montana Sanitation in Subdivision Act.

Parks and Recreation

Findings of Fact:

1. Section 3-080.3A of the City Subdivision Regulations requires parkland dedication equal to 11% of the net lotted area in subdivisions with residential lots of 0.5 acres or smaller.
2. The total lotted acreage of the subdivision at 41.6 acres. Eleven percent of 41.6 acres is 4.58 acres, the amount needed to meet the parkland dedication requirement. The subdivider is proposing 5.14 acres of dedicated common area including a 4-acre central park area to be maintained by the Heron's Landing Homeowners Association. (*Parkland Dedication Exhibit, Subdivision Application page 25, Covenants, Conditions and Restrictions*)
3. Section 3-080.6 and.7 of the City Subdivision Regulations also provides for cash donation in lieu of land dedication.
4. The subdivider has proposed to phase the dedication of parkland in conjunction with platting individual phases of the subdivision. However, the application materials state the subdivider is not sure which phase, W1 or E1, will be filed first. Some phases do not include the required parkland dedication acreage required for that phase, while others include more parkland than required for that phase. (For example, Phase E1 would require 0.64 acres of parkland but only includes 0.32 acres, while Phase W1 requires 0.6 dedicated acres and includes 0.76 acres.) To address this issue, the subdivider is proposing to enter into an agreement with the City so that land and cash could be dedicated in phases where sufficient land is not provided and cash could be refunded in phases where more land is dedicated than required. (*Project Summary, Parkland Dedication Exhibit, Phasing Plan Exhibit*)
5. Per Section 5-020.14.H of the City Subdivision Regulations, a landscaping and maintenance plan may be required for common areas and parkland. Section 5-050.4 also requires a boulevard landscaping plan to be reviewed and approved prior to final platting. The draft covenants, conditions, and restrictions state the Heron's Landing Homeowners Association would be responsible for maintenance of common areas and the secondary commuter trail. A recommended condition of approval is for the subdivider to submit a landscape and maintenance plan and boulevard landscaping plan to be approved by the City Parks and Recreation Department prior to final plat filing of the first phase.
6. The subdivider is proposing covenants, conditions, and restrictions as a way to manage affairs of the homeowners association and to communicate information and requirements to lot purchasers. City Subdivision Regulations Section 5-020.14.K. contains requirements for covenants including that the property owners' association be formed before any property is sold, the association is responsible for liability insurance, local taxes, and the maintenance of recreational and other facilities, and other matters. A recommended condition of approval is for the subdivider to submit final covenants, association bylaws, and articles of incorporation along with the final plat materials for the first phase.

Conclusion of Law:

1. Parkland dedication is required in this subdivision in accordance with the City Subdivision Regulations. The subdivider's proposal would meet the parkland dedication requirements if the conditions are imposed and met.
2. Parkland and common areas are proposed to be managed by a homeowners association. The City Subdivision Regulations require homeowners association documents to include specific provisions that will be reviewed prior to final platting of the first phase if the recommended condition is imposed and met.
3. The City Subdivision Regulations require plans for landscaping, maintenance, and boulevard landscaping, which will be reviewed and approved prior to final platting of the first phase if the recommended condition is imposed and met.

Schools

Findings of Fact

1. The subdivision will create up to 347 additional residential lots with an estimated addition of 65 – 174 school age children to Hellgate Elementary and Big Sky High School. Several school bus stops are located in close proximity to the subdivision. The application says Hellgate Elementary officials have stated capacity exists with completion of a new building in 2020, and this development expands their tax base. (*Subdivision Application, page 23; Bus Stops Exhibit; Project Summary, pages 6-7*)

Conclusion of Law:

1. No adverse impacts to schools requiring mitigation have been identified.

Fire Department

Findings of Fact:

1. The Missoula City Fire Department will serve the subdivision. The closest station is located at 3011 Latimer Street, approximately 2.5 miles from the subdivision. (*Subdivision Application, page 24*)
2. Subdivision Regulations Section 3-070.1 requires that water supply for fire protection be provided via a public or community water system with 1,000 gallons per minute minimum flow, or via residential sprinkler systems.
3. Water supply for fire protection for this subdivision is planned to be supplied via 20 new fire hydrants. A fire hydrant spacing exhibit provided with the subdivision application shows each hydrant and indicates a minimum 1,000 gallons per minute would be provided. Missoula City Fire Marshall Dax Fraser signed the exhibit, indicating approval. *Fire Hydrant Spacing Exhibit*
4. The Missoula City Fire Department regularly requires an addressing system to be developed that conforms to the addressing requirements of the City. All new buildings are assigned an address at the time of building permit approval, and are required to meet City standards for signage. *Subdivision Regulations Section 3-010.1.F*
5. A condition of approval requires the developer to provide plans for address signage and a fire hydrant plan subject to review and approval of the Missoula City Fire Department prior to final plat approval of the first phase. Fire hydrants shall be installed prior to combustible construction as required by the City Fire Department approved hydrant plan. *Subdivision Regulations Section 3-010.1F*

Conclusion of Law:

1. Fire service is available to the subdivision if the recommended condition of approval is imposed and met.

Law Enforcement

Findings of Fact:

1. The subdivision is located within the jurisdiction of the Missoula Police Department.
(*Subdivision Application page 24*)
2. The Missoula Police Department did not provide comments on the subdivision application.

Conclusion of Law:

1. Law enforcement service is expected to be available to the subdivision.

CRITERIA 3 AND 4: EFFECTS ON THE NATURAL ENVIRONMENT AND WILDLIFE AND WILDLIFE HABITAT

Findings of Fact:

1. The subject property was historically used for hay and livestock production. It does not have trees or significant vegetative cover. The property does not have naturally occurring surface water, high groundwater, or wetlands. The only water sources are two irrigation ditches.
Vicinity Map, Site Aerial, Field Observation, Subdivision Application page 12
2. The property does not contain critical plant communities or support vegetative species of concern. *Subdivision application page 13, Montana Natural Heritage Program Information, Tab 6*
3. The property is surrounded by residential development on three sides. It is located between Mullan Road and West Broadway in an area being planned for urban development. *Subdivision Application page 3, Draft Mullan Area Master Plan*
4. The property may support common wildlife mammals including rodents, deer, skunks, and fox. Potential bird species of concern in the area are yellow-billed cuckoo, bobolink, ferruginous Hawk and sharp-tailed grouse. Section 13.m of the covenants advises lot owners of potential issues associated with wildlife concerning pets, garbage, and other potential areas of conflict. *Subdivision Application page 15, Covenants, Conditions, and Restrictions*
5. The subdivision is not located adjacent to public lands and will therefore have no impact on public land uses, public land management policies, or public land access. *Vicinity Map Subdivision Application, page 9*
6. No riparian resources or regulated floodplain exist on the property. *Floodplain Map, Field Observation*
7. The subdivision application submittal contains a preliminary storm drainage report and hydrogeologic evaluation that assesses the risk to groundwater quality impacts from the use of sumps following a typical storm event. The evaluation concludes the use of sumps would result in no detectable concentrations in nitrate in groundwater beyond the site boundary. *Newfields Hydrogeologic Evaluation and Addendum*
8. Section 5-020.14.K of the City Subdivision Regulations requires that a management plan be developed for common areas and that the management plan address noxious weeds.
9. The covenants, conditions, and restrictions include a weed management and revegetation plan for the entire property that identifies numerous noxious weed species including spotted knapweed, Canada thistle, leafy spurge, houndstongue, and others. The plan recommends herbicide treatments and reseeding of exposed soils. A recommended condition of approval is the final covenants include the weed management and revegetation plan and evidence of plan implementation to be submitted to Development Services prior to final plat approval of

each phase. *Subdivision Application page 13, Weed Management and Revegetation Plan, Tab 7*

Conclusion of Law:

1. No impacts to the natural environment and wildlife habitat are foreseen as a result of this subdivision if the condition to manage noxious weeds is imposed and met.

CRITERION 5: EFFECTS ON PUBLIC HEALTH AND SAFETY

Findings of Fact:

Hazardous Land

1. Subdivision Regulations Section 3-010.2 requires the mitigation of hazards to subdivision development, including but not limited to flooding and slopes of 25% or more.
2. The subject property is outside of the FEMA-identified 1% annual chance flood hazard areas and floodplain. *Floodplain Map*
3. Outside of irrigation ditches, the property does not contain slopes of 25% or more. *Subdivision Application, page 13, Existing Conditions Map*

Wood Stoves

4. The property is located within an air stagnation zone. The Section 13. J. of the covenants, conditions, and restrictions includes language prohibiting wood burning devices (fire places, wood burning and pellet stoves, etc.) *Subdivision Application page 16, Covenants, Conditions and Restrictions*

Airport Influence Area

5. The property is located within an airport influence area of Missoula International Airport. A portion of the property is also within an extended approach and departure area. *Airport Influence Area Exhibit*
6. The preliminary plat includes the following statement, which is recommended to be included on each final plat in the Heron's Landing Subdivision:

This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Heron's Landing Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase.

Conclusion of Law:

1. If the airport influence area statement is printed on the plats, no adverse impacts to public health and safety are foreseen as a result of this subdivision.

**C.) COMPLIANCE:
SURVEY REQUIREMENTS**

Findings of Fact

1. The Seal of a Professional Land Surveyor or Engineer is required on all final plats, which states that the subdivision complies with part 4 of M.C.A. 76-3. Forthcoming review of the final plats will ensure compliance with state subdivision and platting law.

Conclusion of Law:

1. This proposal will meet the survey requirements of state law.

D) SUBDIVISION REGULATIONS

Findings of Fact

1. Subdivisions are required to comply with the local subdivision regulations provided for in part 5 of M.C.A. 76-3.

Conclusion of Law:

1. The plat will be brought into compliance with the local subdivision regulations if the requested variances are approved and the conditions of approval are imposed.

E) REVIEW PROCEDURE

Findings of Fact

1. Subdivisions are required to comply with the local subdivision review procedure provided for in Article 4 of the Missoula City Subdivision Regulations and the Montana Subdivision and Platting Act.
2. The public hearing before the Missoula Consolidated Planning Board is scheduled for August 18, 2020. The Missoula City Council hearing is scheduled for September 14, 2020.
3. Development Services staff sent notices of the public hearings by certified mail to adjacent property owners and the subdivider on July 30, 2020. Five posters were placed on the property August 3, 2020. Legal notice of the public hearings was published in the Missoulian August 2nd and 9th. Notice of a public hearing on this subdivision was posted on the property on August 3, 2020. All noticing occurred at least 15 days prior to the public hearings.
4. A decision of the governing body rejecting or approving a proposed subdivision may be appealed to the district court within 30 days of such decision. The application must specify the grounds upon which the appeal is made. An appeal may be made by the subdivider, a contiguous landowner, an owner of land within the City of Missoula who can establish a likelihood of material injury to property or its material value, or the City Council. In order to file an appeal, the plaintiff must be aggrieved by the decision, demonstrating that a specific personal and legal interest, as opposed to a general interest, has been or is likely to be specifically and injuriously affected by the decision.

Conclusion of Law:

1. This subdivision proposal has followed the necessary application procedure and has been reviewed within the procedures provided in Article 4 of the Missoula City Subdivision Regulations.

F) PROVISION OF EASEMENTS FOR UTILITIES:

Findings of Fact:

1. City Subdivision Regulations Section 3-060 requires that easements be provided for utilities, drainage, ditch, vehicular, and pedestrian access and that easements be reviewed and approved by the City Engineering Division.
2. Access to utilities is proposed to be provided to the subdivision from the north and south within public access and utility easements and public rights-of-way. *Preliminary Plat*
3. All utilities necessary to serve the subdivision, including water, sewer, electrical, phone and power, are planned to be located within public access and utility easements and public rights-of-way. *Preliminary Plat*

Conclusion of Law:

1. Utility services are available to this subdivision and the subdivision will be in compliance with the Subdivision Regulations if the recommended condition of approval is imposed and met.

E) PROVISION OF LEGAL AND PHYSICAL ACCESS:

Finding of Fact:

1. Legal and physical access is planned to be provided to the subdivision George Elmer Drive and Chuck Wagon Drive, which are publicly dedicated rights-of-way within the Missoula city limits. Each lot is designed with access to an alley or roadway that is proposed to be located within easements or rights-of-way of appropriate width, pending approval of certain variances. *Certificate of Survey No. 5699, Public Roadway and Public Utility Easement Agreement Document No. 200922632, Resolutions No. 7743, Resolution No. 6914, Preliminary Plat*

Conclusion of Law:

1. With the approval of certain variances, the subdivision proposal meets the legal and physical access requirements of the Subdivision Regulations.

F) VARIANCE REQUESTS

VARIANCE REQUEST #1:

A variance is requested from Section 3-020 Table .2A, which requires an Urban Collector roadway – George Elmer Drive -- to be located within a 90-foot wide right-of-way. The applicant requests to provide all required improvements within an 80-foot wide right-of-way.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing George Elmer improvements to be made within an 80-foot wide right-of-way, based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The proposed street improvements, including standard urban collector driving lanes, bike lanes, parking lanes, curbs and gutters, boulevards and pedestrian facilities, can all fit within the existing 80-foot right-of-way. The lots along George Elmer Drive are proposed with 20-foot access and utility easements that would allow for a meandering sidewalk and the proposed Secondary Commuter Trail, in addition to utilities. The traffic impact study concludes that turning lanes onto Heron's Landing Drive are not warranted. No impacts to other persons or property are expected. Based on these findings, granting this variance is not expected to result in a threat to the public safety, health, or welfare, and would not be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

The 80-foot right-of-way for George Elmer Drive north and south of the property already exists and was annexed into the City of Missoula in anticipation of future growth. This condition is fairly unique to the property and area. It is not applicable more generally to other property across the City or other areas of the City.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

This variance is not the result of physical surroundings or topographical conditions. It is the result of past decisions where it was determined 80 feet of right-of-way would be sufficient to provide efficient and effective transportation for future growth in this area. Requiring an additional 10 feet of right-of-way would not be consistent with the road section in the 44 Ranch development to the north. Such disparate treatment would result in a hardship to the landowner if the strict letter of the regulations were to be enforced.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent. The hardship is the result of past decisions where an 80-foot right-of-way was deemed sufficient to accommodate safe and efficient travel in this area.

VARIANCE REQUEST #2:

A variance is requested from Section 3-020 Table .2A, which requires an Urban Collector roadway – Chuck Wagon Drive -- to be located within a 90-foot wide right-of-way. The applicant requests to provide all required improvements within an 80-foot wide right-of-way.

RECOMMENDATION:

Development Services recommends **approval** of the variance allowing Chuck Wagon Drive improvements to be made within an 80-foot wide right-of-way, based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The proposed street improvements, including standard urban collector driving lanes, bike lanes, parking lanes, curbs and gutters, boulevards and pedestrian facilities, can all fit within the existing 80-foot right-of-way. The traffic impact study concludes that turning lanes into the subdivision are not warranted. No impacts to other persons or property are expected. Based on these findings, granting this variance is not expected to result in a threat to the public safety, health, or welfare, and would not be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

The 80-foot right-of-way for Chuck Wagon Drive north and south of the property already exists and was annexed into the City of Missoula in anticipation of future growth. This condition is fairly unique to the property and area. It is not applicable more generally to other property across the City or other areas of the City.

- C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.**

This variance is not the result of physical surroundings or topographical conditions. It is the result of past decisions where it was determined 80 feet of right-of-way would be sufficient to provide efficient and effective transportation for future growth in this area. Requiring an additional 10 feet of right-of-way would not be consistent with the road section in the 44 Ranch development to the north. Such disparate treatment would result in a hardship to the landowner if the strict letter of the regulations were to be enforced.

- D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.**

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

- E. The variance will not cause an increase in public costs.**

Approval of the variance will not cause an increase in public costs.

- F. The hardship has not been created by the applicant or the applicant's agent or assigns.**

The hardship has not been created by the applicant or the applicant's agent. The hardship is the result of past decisions where an 80-foot right-of-way was deemed sufficient to accommodate safe and efficient travel in this area.

VARIANCE REQUEST #3:

A variance is requested from Section 3-030.2.A.(2) Blocks, which states blocks may not exceed a maximum length of 480 feet in urban-suburban subdivisions. As shown on the block length variance exhibit, Block A (far eastern edge of the subdivision) is longer than 480 feet.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing Block A to be longer than 480 feet based on the following findings of fact:

FINDINGS:

- A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.**

Block A is proposed to be approximately 1,203 feet long. Land to the east of the proposed lots has been platted and developed without plans for a future road extension. However, there is an existing 15-foot wide public pedestrian / bike easement in the adjoining West Ranch Estates Subdivision. The Heron's Landing subdivider is proposing to provide a 10-foot wide non-motorized access and utility easement between lots 258 and 259 to generally align with this pedestrian /bike easement. The new easement would be a benefit to public safety, health and the general welfare. Granting the variance would not be injurious to other persons or property.

- B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.**

The subdivision to the east is already platted and developed. It does not include a street extension to the Heron's Landing property so there would be no point in providing a street extension from Heron's Landing to the east. This is a condition that is unique to the property and not applicable generally to other property.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

This variance is the result of a development pattern made years ago on the subdivision to the east. The subdivider has proposed to break up the block by providing a 10-foot non-motorized easement that will allow connection to the east. Enforcing the strict letter of the subdivision regulations to require the developer to further break up the block would result in a hardship.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent. The hardship is the result of past decisions where no connection from the adjoining subdivision to this property was provided.

VARIANCE REQUEST #4:

A variance is requested from Section 3-030.2.A.(2) Blocks, which states blocks may not exceed a maximum length of 480 feet in urban-suburban subdivisions. As shown on the block length variance exhibit, Blocks B, C, D, E, F, G, and J are longer than 480 feet.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing Blocks B, C, D, E, F, G, and J to be longer than 480 feet based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The variance request states the subdivision road network has been designed in coordination with the City Police and Fire Departments. Every lot has reasonable access either via street, alley, or both. Each of these blocks is planned with one or more pedestrian corridor in common area to allow for connectivity through the subdivision. There is no reason to believe that granting the variance would result in a public safety or health threat, negatively impact the public welfare, or be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

The curved shape of the existing Chuck Wagon Drive right-of-way, the presence of the existing George Elmer Drive right-of-way, the Flynn Lowney irrigation ditch, and the shape / dimensions of the property in relation to these features present design challenges. This situation is unique to the property and not generally applicable to other properties. The variance request states that longer blocks, along with the proposed pedestrian corridors, are a design solution to these conditions.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

This variance request is a result of existing rights-of-way, the irrigation ditch, and the shape and dimensions of the property. The proposed design allows for a reasonable level of access and connectivity with lots of varying sizes that would allow for a mixture of housing types. Given the conditions of the property and measures proposed by the subdivider to allow for connectivity and access, enforcing the strict letter of the law would result in an undue hardship.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent. The hardship is the result of past decisions regarding transportation corridor design, property boundaries, and the Flynn Lowney Irrigation Ditch.

VARIANCE REQUEST #5:

A variance is requested from Section 3-030.2.A.(2) Blocks, which states blocks may not exceed a maximum length of 480 feet in urban-suburban subdivisions. As shown on the block length variance exhibit, Block H is longer than 480 feet.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing Block H to be longer than 480 feet based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The variance request states the subdivision road network has been designed in coordination with the City Police and Fire Departments. Every lot has reasonable access either via street, alley, or both. A common area is proposed to provide pedestrian connection through the block, with several of the lots facing the common area. There is no reason to believe that granting the variance would result in a public safety or health threat, negatively impact the public welfare, or be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

The curved shape of the existing Chuck Wagon Drive right-of-way and the Flynn Lowney irrigation ditch present design challenges. This situation is unique to the property and not generally applicable to other properties. The variance request states that longer blocks are a design solution to these conditions.

- C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.**

This variance request is a result of existing right-of-way and irrigation ditch as well as design choices. The proposed design allows for a reasonable level of connectivity and lots of varying sizes that would allow for a mixture of housing types. Given the conditions of the property, enforcing the strict letter of the law would result in an undue hardship.

- D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.**

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

- E. The variance will not cause an increase in public costs.**

Approval of the variance will not cause an increase in public costs.

- F. The hardship has not been created by the applicant or the applicant's agent or assigns.**

The hardship has not been created by the applicant or the applicant's agent. The hardship is the result of past decisions regarding transportation corridor design, property boundaries, and the Flynn Lowney Irrigation Ditch.

VARIANCE REQUEST #6:

A variance is requested from Section 3-030.2.A.(2) Blocks, which states blocks may not exceed a maximum length of 480 feet in urban-suburban subdivisions. As shown on the block length variance exhibit, Block I is longer than 480 feet.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing Block I to be longer than 480 feet based on the following findings of fact:

FINDINGS:

- A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.**

The variance request states the subdivision road network has been designed in coordination with the City Police and Fire Departments. Every lot has alley access and street frontage. A Secondary Commuter Trail is proposed along the Flynn Lowney Ditch through this block, which would allow connectivity from Roundup Drive to Chuck Wagon Drive and on through the subdivision. There is no reason to believe that granting the variance would result in a public safety or health threat, negatively impact the public welfare, or be injurious to other persons or property.

- B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.**

The north extent of the block allows for an extension of Lariat Loop, which continues across Roundup Drive to the west. The property dimensions do not allow for connection to the southern leg of Lariat Loop. The Flynn Lowney Irrigation Ditch bisects this block, providing a design challenge. These conditions are unique and not applicable generally to properties.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

This variance request is a result of existing Lariat Loop right-of-way and irrigation ditch as well as design choices. The proposed design allows for a reasonable level of connectivity and lots of varying sizes that would allow for a mixture of housing types. Given the conditions of the property, enforcing the strict letter of the law would result in an undue hardship.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent. The hardship is the result of past decisions regarding transportation corridor design, property boundaries, and the Flynn Lowney Irrigation Ditch.

VARIANCE REQUEST #7:

A variance is requested from Section 3-020.15.D.1, which requires sidewalks adjacent to all streets, and Section 3-020.15.F(6)(b), which states that rights-of-way and easements for trails may not be less than 10 feet wide if adjacent to the roadway. The subdivider is proposing to construct a separated 10-foot wide Secondary Commuter Trail instead of a standard sidewalk within an additional 6 ½-foot easement extending from the 60-foot street rights-of-way along Nesting Lane and Heron's Landing Drive. The location of the trail is shown on the block length variance exhibit and the circulation plan exhibit.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing the proposed Secondary Commuter Trail as proposed in the application based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The proposal is to provide a 10-foot wide, concrete, separated trail instead of a 5-foot sidewalk along subdivision roadways. Nesting Lane and Heron's Landing Drive are proposed to have 60-foot rights-of-way, which include boulevards. The trail would be located north of the boulevards, which would result in a separated bike and pedestrian path. According to the application, the 10-foot wide Secondary Commuter Trail would only require an additional 6 ½-foot easement instead of the required 10 additional feet. The subdivider plans to provide enhanced crossings at Chuck Wagon Drive and George Elmer Drive and make all crossings in accordance with industry standards with review and approval by Parks and Recreation. Based on agency comments from the Engineering and Parks and Recreation, there is no reason to believe that granting the variance would result in a public safety or health threat, negatively impact the public welfare, or be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

A portion of the trail is planned to be located along the Flynn Lowney Irrigation Ditch and there has been discussion about continuing the trail along the ditch through the property. However, as the ditch leaves the property to the north, space was not reserved in the adjacent 44 Ranch development to extend the trail so another alignment is necessary. Instead, the trail is proposed to follow the ditch through Heron's Landing from Roundup Drive to Chuck Wagon Drive, then run east along Nesting Lane, along the 4-acre park area, and north and east along Heron's Landing Drive before crossing George Elmer Drive and heading north and east again and ultimately crossing the ditch onto Bell Tower Road. This provides a reasonable route given site conditions that are unique and not applicable generally to other properties.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

The trail would provide a community asset of greater benefit than a standard sidewalk. Based on the plans submitted with the application, additional easement is not necessary for maintenance so requiring it would result in an unnecessary hardship by diminishing the land area for lot development and common area.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent.

VARIANCE REQUEST #8:

A variance is requested from Section 3-020 Table .2A, which requires 70-foot rights-of-way for Low Density Urban Local streets with average daily traffic up to 2,500 vehicle trips. Based on average daily traffic projections in the traffic impact study, Heron's Landing Drive, Nesting Lane, and Audubon Trail (Loop) are proposed to be built in accordance with City standards (10-foot driving lanes, 7-foot parking lanes, curbs and gutters, 7-foot boulevards and 5-foot sidewalks) within 60-foot rights-of-way instead of 70.

RECOMMENDATION:

Development Services recommends **approval** of the variance, allowing the streets to have 60-foot rights-of-way instead of 70, but only if an additional one-foot access and utility easement is provided along the outer edge of each right-of-way to allow for sidewalk maintenance. The recommendation is based on the following findings of fact:

FINDINGS:

A. The granting of this variance does not result in a threat to the public safety, health, or welfare, and is not injurious to other persons or property.

The proposal would allow the streets to be built in accordance with City standards for Low Density Urban Local streets including driving lanes, parking lanes, curbs and gutters, boulevards and sidewalks. This would not result in a threat to public health, safety, or welfare, or be injurious to other persons or property.

B. The conditions upon which the request for variance are based are unique to the property for which the variance is sought and are not applicable generally to other property.

The conditions are unique to this subdivision in that additional right-of-way for turning lanes is not required now and is unlikely to be necessary in the future based on the configuration of the subdivision and projected traffic flows. This is not necessarily the case in other subdivisions.

C. Because of the physical surroundings, particular shape, or topographical conditions of the specified property involved, a hardship to the owner will result if the strict letter of the regulations is enforced.

Granting the variance would allow more area to be used for lot development. It is not necessarily due to physical surroundings, shape, or topography, but would benefit the future lot owners. The hardship is that additional right-of-way is not necessary to provide for this subdivision now and in the future.

D. The variance will not in any manner violate the provisions of the Missoula City Zoning Ordinance or the Growth Policy.

Granting the variance would not in any manner violate provisions of the City zoning ordinance, the Growth Policy, or other plans for the area.

E. The variance will not cause an increase in public costs.

Approval of the variance will not cause an increase in public costs.

F. The hardship has not been created by the applicant or the applicant's agent or assigns.

The hardship has not been created by the applicant or the applicant's agent.

III. RECOMMENDED MOTIONS

1. **APPROVAL** of the variance request from Section 3-020 Table .2A, allowing George Elmer Drive improvements to be made within the existing 80-foot right-of-way instead of a 90-foot right-of-way.
2. **APPROVAL** of the variance request from Section 3-020 Table .2A, allowing Chuck Wagon Drive improvements to be made within the existing 80-foot right-of-way instead of a 90-foot right-of-way.
3. **APPROVAL** of the variance request from Section 3-030.2.A.(2), allowing Block A to be longer than 480 feet.
4. **APPROVAL** of the variance request from Section 3-030.2.A.(2), allowing Blocks B, C, D, E, F, G, and J to be longer than 480 feet.
5. **APPROVAL** of the variance request from Section 3-030.2.A.(2), allowing Block H to be longer than 480 feet.
6. **APPROVAL** of the variance request from Section 3-030.2.A.(2), allowing Block I to be longer than 480 feet.
7. **APPROVAL** of the variance request from Section 3-020.15.D.1, allowing a 10-foot wide Secondary Commuter Trail along street rights-of-way within an additional 6 ½-

foot easement.

8. **APPROVAL** of the variance request from Section 3-020 Table .2A allowing Heron's Landing Drive, Nesting Lane, and Audubon Trail (Loop) to be built within 60-foot rights-of-way instead of 70, so long as an additional one-foot access and utility easement is provided along the outer edge of each right-of-way to allow for maintenance.
9. **APPROVAL** of the **Heron's Landing Phased Subdivision Plat and Application**, based on the findings of fact and subject to the recommended conditions of approval in the staff report.

IV. RECOMMENDED CONDITIONS OF SUBDIVISION APPROVAL

Streets, General

1. All street and non-motorized improvements shall be designed and built in accordance with City of Missoula Public Works Standards and Specifications and City of Missoula Subdivision Regulations (except as modified by variance). All plans must comply with Americans with Disabilities Act requirements. All plans must be reviewed and approved by the City Engineer in accordance with City policies. *City Subdivision Regulations Section 3-020.2*
2. The subdivider shall provide a street naming exhibit to be reviewed and approved by Development Services prior to final plat filing of the first phase. *Subdivision Regulations Section 3-020.12*
3. The subdivider shall provide a street signage plan in accordance with the Manual on Uniform Traffic Control Devices to be reviewed and approved by the City Engineer and City Fire Department prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-020.4(H)(2)*
4. The following statement shall appear on the face of each plat, in the covenants, and on each instrument of conveyance:
"Acceptance of a deed for a lot within this subdivision shall constitute the assent of the owners to any future SID/RDID, based on benefit, for the upgrading of streets within this subdivision, including but not limited to paving, curbs and gutters, non-motorized facilities, street widening and drainage facilities" *City Subdivision Regulations Section 5-050.4(M&N)*
5. All proposed rights-of-way shall be dedicated to the public on the face of each plat and approved by the City Engineer. *City Subdivision Regulations Section 3-020.3.B*
6. All proposed easements, except as modified by these conditions, shall be shown on the face of each plat and identified for their width and purpose, including easements for vehicular and pedestrian access, utilities, and irrigation ditches. *City Subdivision Regulations Section 3-060.1*

Specific Streets

7. George Elmer Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to George Elmer Drive shall be constructed prior to final plat

approval of the first east phase or phase W2, W3, or W4, whichever is platted first. *Subdivision Regulations Table .2A modified by variance.*

8. Chuck Wagon Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to Chuck Wagon Drive shall be constructed prior to final plat approval of Phase W1, W5, W6 or W7. *Subdivision Regulations Table .2A modified by variance.*
9. Heron's Landing Drive, Nesting Lane, and Audubon Loop shall be designed and built to Low Density Urban Local Street standards including two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within 60-foot rights-of-way. The subdivider shall provide an additional access and utility easement at least one foot wide along the outer edge of the sidewalks and secondary commuter trail along these streets to allow for maintenance. *Subdivision Regulations Table .2A modified by variance, Correspondence with City Engineer.*

Drainage

10. The subdivider shall submit complete grading and drainages plan prior to final plat approval of the first phase showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities shall be constructed in accordance with the approved plan and accommodate the planned runoff from all upgradient phases. *City Subdivision Regulations Section 5-020.11*

Transit

11. The subdivider shall petition for the property to be included in the Missoula Urban Transportation District prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-010.7 and 3-020.1, City of Missoula Annexation Policy*

Water System and Sewer System

12. The subdivider shall submit plans for water supply and sewage disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase. Construction of all water supply and sewer systems shall be in accordance with City policies. *City Subdivision Regulations Sections 3-070.01 and 3-070.04*

Solid Waste

13. The subdivider shall submit plans for solid waste disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase. *City Subdivision Regulations Sections 3-070.01*

Parkland

14. The subdivider shall meet the parkland dedication requirement as depicted on the Phasing Plan Exhibit and on the Parkland Dedication Exhibit of the application by providing 5.14 acres of

dedicated common area to be maintained by the Heron's Landing Homeowners Association. *City Subdivision Regulations Section 3-080.3.A*

15. The subdivider shall draft an agreement for review and approval of the Parks and Recreation Department and City Attorney to provide for the dedication of land and/or payment of money prior to final platting of each phase. The agreement shall provide for different circumstances including where more than the required land is dedicated per phase, where an insufficient amount of land is dedicated per phase and cash is also required to make up for the insufficient amount of land, and where refunds may be issued by the City when more land is dedicated than needed to meet the dedication requirement. The agreement shall be submitted, reviewed and approved prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-080.6*
16. When cash is proposed to be provided instead of land, the amount shall be equal to the fair market value of the amount of land that is statutorily required to be dedicated for that phase. The fair market value shall be determined by a Montana certified general real estate appraiser, hired and paid by the subdivider. Fair market value means the value of the unsubdivided, unimproved land based on the zoning designation that applies to the property at that time. The City reserves the right to require a separate appraisal for each phase. *City Subdivision Regulations Section 3-080.7*
17. The subdivider shall submit a park and common area landscape and maintenance plan and a boulevard landscaping plan to be reviewed and approved by the City Parks and Recreation Department prior to final plat filing of the first phase. *City Subdivision Regulations Section 5-050.4*

Covenants, Conditions, and Restrictions

18. Final covenants, conditions, and restrictions meeting the requirements of City Subdivision Regulations Section 5-020-14.K shall be submitted for review and approval prior to final plat filing of the first phase. *City Subdivision Regulations Section 5-020-14.K*

Non-Motorized Transportation Facilities

19. The subdivider shall provide five-foot sidewalks along all street frontages (except for where the Secondary Commuter Trail is to be located) and at the proposed mid-block locations depicted on the circulation plan exhibit. The subdivider shall provide a 10-foot Secondary Commuter Trail in the locations, dimensions, and within the rights-of-way and easements proposed in the preliminary plat phased subdivision submittal and approved by City Council. All sidewalk and trail plans, including specifications for ADA accessibility and safe street crossings, shall be reviewed and approved by the City Engineering and Parks and Recreation departments prior to approval of the first phase. Construction of the non-motorized transportation facilities shall occur as proposed in the application submittal and as required to serve each phase. *City Subdivision Regulations Section 3-020.15 and Table .2A*

Fire Protection

20. The subdivider shall provide plans for address signage and a fire hydrant plan for review and approval prior to final plat filing of the first phase. All approved fire protection improvements shall be installed in accordance with the approved plans. *City Subdivision Regulations Section 3-010.1.F*

Noxious Weeds

21. The Weed Management and Revegetation Plan for Heron's Landing shall be appended to the covenants, conditions and restrictions. The subdivider shall provide evidence of plan implementation and noxious weed control prior to final plat filing of each phase. *City Subdivision Regulations Section 5-020.14.K*

Airport Influence Area

22. Each final plat shall include the following statement:
This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Heron's Landing Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase. *City Subdivision Regulations Section 3-010.2*

Easements

23. Each final plat shall show utilities within easements and public rights-of-way for review and approval by the City Engineering Division prior to final plat filing of each phase. *City Subdivision Regulations Section 3-060.*

Zoning

24. The Heron's Landing Neighborhood Character Overlay Zoning District shall be adopted concurrent with City Council approval of the subdivision request based on the findings.

**ATTACHMENT A
HERON'S LANDING SUBDIVISION
FINAL PLAT REQUIREMENTS**

If City Council preliminarily approves the proposed subdivision, the preliminary approval applies to the subdivision as proposed on the preliminary plat and in the application packet, as amended by any conditions of approval. Development Services and other applicable agencies will review for the following items, in addition to conditions of approval, Subdivision Regulations Section 5-060, and the final plat checklist, prior to final plat approval in order to ensure compliance with the subdivision regulations, other applicable regulations, and the proposed preliminary plat and submittal packet:

Grading and Drainage

- A.** As per Section 5-020.11 of the City Subdivision Regulations, the subdivder shall submit a complete grading and drainage plan that meets Montana DEQ standards prior to final plat approval, subject to review and approval of the City Engineer.

ATTACHMENT B SUBDIVISION PROJECT HISTORY

Project: Heron's Landing Subdivision
Applicant: Mullan Road Partners, LLC
Representative: Ryan Salisbury, P.E., WGM Group

	Dates		
Pre-application Meeting	3/14/2019		
Element	<u>Submitted</u> 11/05/2019	<u>Complete</u>	
Sufficiency	<u>Submitted</u>	<u>Sufficient</u>	
Governing Body Submittal	<u>Submitted</u>	<u>60-day Deadline</u>	
Extension Granted	No		
Planning Board			
LUP	(Pre-public hearing information item)		
City Council	Public Hearing		
Public Notice	<u>Posted</u>	<u>APOs Sent</u>	<u>Legal Ad in Missoulian</u>
Plat Approval Expiration Date			

A N N E X A T I O N A N D I N I T I A L Z O N I N G R E P O R T

EXECUTIVE SUMMARY

CASE PLANNER: Dave DeGrandpre
Planning Supervisor

REVIEWED AND APPROVED BY: Mary McCrea
Planning Manager

PUBLIC HEARINGS: CC: September 14, 2020

AGENDA ITEM: Annexation and Zoning Upon Annexation to R5.4 Residential for 72.11 acres of land legally described as Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M.

APPLICANT & OWNER: Gary Schnell
Mullan Road Partners, LLC
970 W. Broadway, Ste. E
Jackson, WY 83001

REPRESENTATIVE: Ryan Salisbury
WGM Group
1111 E. Broadway
Missoula, MT 59802

LOCATION OF REQUEST: North of Mullan Road, south of the 44 Ranch Subdivision, along both sides of Chuck Wagon Drive and George Elmer Drive.

GROWTH POLICY: The applicable regional plan is the *Our Missoula: City Growth Policy 2035*, which recommends a land use designation of “Residential Medium – 3 to 11 Dwelling Units Per Acre”.

Surrounding Land Uses	Surrounding Zoning
North: Residential	Special District - 44 Ranch
South: Residential / Vacant	C-RR1 Rural Residential (County)
East: Residential	C-RR1 Rural Residential (County)
West: Residential	Special District - 44 Ranch and C-RR1 Rural Residential (County)

**Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13,
Township 13 North, Range 20 West, P.M.M.
Resolution to Annex and Zoning upon Annexation
August 18, 2020**

I. RECOMMENDED MOTIONS

Land Use and Planning – August 19, 2020

1. ADOPT a resolution of intention to annex and incorporate within the boundaries of the City of Missoula certain parcels of land described as Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M., and zone the property RT5.4 Residential, subject to the recommended conditions of annexation approval, and set a public hearing for September 14, 2020.

Public Hearing – September 14, 2019

1. ADOPT a resolution to annex and incorporate within the boundaries of the City of Missoula certain parcels of land described as Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M., and zone the property RT5.4 Residential, subject to the recommended conditions of annexation approval.

II. RECOMMENDED CONDITIONS

Streets, General

1. All street and non-motorized improvements shall be designed and built in accordance with City of Missoula Public Works Standards and Specifications and City of Missoula Subdivision Regulations (except as modified by variance). All plans must comply with Americans with Disabilities Act requirements. All plans must be reviewed and approved by the City Engineer in accordance with City policies.
2. The subdivider shall provide a street naming exhibit to be reviewed and approved by Development Services prior to final plat filing of the first phase.
3. The subdivider shall provide a street signage plan in accordance with the Manual on Uniform Traffic Control Devices to be reviewed and approved by the City Engineer and City Fire Department prior to final plat filing of the first phase.
4. The following statement shall appear on the face of each plat, in the covenants, and on each instrument of conveyance:
“Acceptance of a deed for a lot within this subdivision shall constitute the assent of the owners to any future SID/RSID, based on benefit, for the upgrading of streets within this subdivision, including but not limited to paving, curbs and gutters, non-motorized facilities, street widening and drainage facilities.”
5. All proposed rights-of-way shall be dedicated to the public on the face of each plat and approved by the City Engineer.
6. All proposed easements, except as modified by these conditions, shall be shown on the face of each plat and identified for their width and purpose, including easements for vehicular and pedestrian access, utilities, and irrigation ditches.

Specific Streets

7. George Elmer Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to George Elmer Drive shall be constructed prior to final plat approval of the first east phase or phase W2, W3, or W4, whichever is platted first.
8. Chuck Wagon Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to Chuck Wagon Drive shall be constructed prior to final plat approval of Phase W1, W5, W6 or W7.
9. Heron's Landing Drive, Nesting Lane, and Audubon Loop shall be designed and built to Low Density Urban Local Street standards including two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within 60-foot rights-of-way. The subdivider shall provide an additional access and utility easement at least one foot wide along the outer edge of the sidewalks and secondary commuter trail along these streets to allow for maintenance.

Drainage

10. The subdivider shall submit complete grading and drainage plans prior to final plat approval of the first phase showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities shall be constructed in accordance with the approved plan and accommodate the planned runoff from all upgradient phases.

Transit

11. The subdivider shall petition for the property to be included in the Missoula Urban Transportation District prior to final plat filing of the first phase.

Water System and Sewer System

12. The subdivider shall submit plans for water supply and sewage disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase. Construction of all water supply and sewer systems shall be in accordance with City policies.

Solid Waste

13. The subdivider shall submit plans for solid waste disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase.

Parkland

14. The subdivider shall meet the parkland dedication requirement as depicted on the Phasing Plan Exhibit and on the Parkland Dedication Exhibit of the application by providing 5.14 acres of dedicated common area to be maintained by the Heron's Landing Homeowners Association.

15. The subdivider shall draft an agreement for review and approval of the Parks and Recreation Department and City Attorney to provide for the dedication of land and/or payment of money prior to final platting of each phase. The agreement shall provide for different circumstances including where more than the required land is dedicated per phase, where an insufficient amount of land is dedicated per phase and cash is also required to make up for the insufficient amount of land, and where refunds may be issued by the City when more land is dedicated than needed to meet the dedication requirement. The agreement shall be submitted, reviewed and approved prior to final plat filing of the first phase. When cash is proposed to be provided instead of land, the amount shall be equal to the fair market value of the amount of land that is statutorily required to be dedicated for that phase. The fair market value shall be determined by a Montana certified general real estate appraiser, hired and paid by the subdivider. Fair market value means the value of the unsubdivided, unimproved land based on the zoning designation that applies to the property at that time. The City reserves the right to require a separate appraisal for each phase.
16. The subdivider shall submit a park and common area landscape and maintenance plan and a boulevard landscaping plan to be reviewed and approved by the City Parks and Recreation Department prior to final plat filing of the first phase.

Covenants, Conditions, and Restrictions

17. Final covenants, conditions, and restrictions meeting the requirements of City Subdivision Regulations Section 5-020-14.K shall be submitted for review and approval prior to final plat filing of the first phase.

Non-Motorized Transportation Facilities

18. The subdivider shall provide five-foot sidewalks along all street frontages (except for where the Secondary Commuter Trail is to be located) and at the proposed mid-block locations depicted on the circulation plan exhibit. The subdivider shall provide a 10-foot Secondary Commuter Trail in the locations, dimensions, and within the rights-of-way and easements proposed in the preliminary plat phased subdivision submittal and approved by City Council. All sidewalk and trail plans, including specifications for ADA accessibility and safe street crossings, shall be reviewed and approved by the City Engineering and Parks and Recreation departments prior to approval of the first phase. Construction of the non-motorized transportation facilities shall occur as proposed in the application submittal and as required to serve each phase.

Fire Protection

19. The subdivider shall provide plans for address signage and a fire hydrant plan for review and approval prior to final plat filing of the first phase. All approved fire protection improvements shall be installed in accordance with the approved plans.

Noxious Weeds

20. The Weed Management and Revegetation Plan for Heron's Landing shall be appended to the covenants, conditions and restrictions. The subdivider shall provide evidence of plan implementation and noxious weed control prior to final plat filing of each phase.

Airport Influence Area

21. Each final plat shall include the following statement:
This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Heron's Landing Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety

risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase.

Easements

22. Each final plat shall show utilities within easements and public rights-of-way for review and approval by the City Engineering Division prior to final plat filing of each phase.

III. PROJECT SUMMARY

Introduction

Development Services received from Ryan Salisbury a request on behalf of property owner Gary Schnell of Mullan Road Partners, LLC for annexation of 72.11 acres into the City of Missoula, and zoning upon annexation of RT5.4 Residential.

Property Information

1. The subject property has no address assigned. It is located north of Mullan Road, south of the 44 Ranch Subdivision, and along both sides of George Elmer Drive and Chuck Wagon Drive.
2. The property is adjacent to City limits to the north. The rights-of-way for George Elmer Drive and Chuck Wagon Drive have already been annexed into the city limits. Other adjacent parcels remain under Missoula County jurisdiction.
3. Upon annexation, the subject property would become part of City Council Ward 2, and the Captain John Mullan Neighborhood Council.
4. The legal description of the property is Tracts 1 and 2 of COS No. 5963 in the SE 1/4 of Section 12 and the N 1/2 of Section 13, Township 13 North, Range 20 West, P.M.M.
5. The subject property is currently vacant and was historically used for agriculture. The only significant improvements are irrigation ditches and appurtenant facilities.
6. Parcels adjacent to the subject property to the north, east, and west are used for residential purposes. Parcels to the south are residential and agricultural.
7. The subject property is within the BUILD grant area and the Mullan Master Plan area. The draft Mullan Master Plan shows this property as planned for residential development.
8. The subject property has frontage on two public rights-of-way: George Elmer Drive and Chuck Wagon Drive, which are functionally classified as collectors.
9. The property falls under floodplain classification Zone X, Area of Minimal Flood Hazard. No natural or human-made hazards are known to exist on or in the vicinity of the property.
10. City water and sewer are available to the property. Any new development will be required to meet all applicable Missoula Municipal Codes and will be required to connect to City water and sewer.

Annexation Request

11. The property owner, Mullan Road Partners, LLC, filed Petition 10005, requesting the annexation of this property.
12. The subject property is inside the Urban Growth Area, the Wastewater Facilities Service Area, and the Air Stagnation Zone.
13. The subject property will be added to the service area for Missoula hospitals and the City Fire and Police Departments.

Annexation Policy

14. The subject property is part of Annexation Area A on the City's Annexation Policy Map. Areas so designated meet the majority of the City's criteria determining priority for annexation.

Growth Policy and Zoning

15. The applicable regional plan is Our Missoula: City Growth Policy 2035 which recommends a land use designation of Residential Medium Density – 3 to 11 Dwelling Units Per Acre.
16. Areas designated as Residential Medium Density – 3 to 11 Dwelling Units Per Acre are intended to fit with many already established residential neighborhoods. The corresponding zoning districts are: RT10, R8, R5.4, and RT5.4, all of which are residential zoning districts.
17. The current County zoning that applies to this parcel is C-RR1, a rural residential district with a minimum lot size of one acre.
18. The requested City zoning upon annexation for this parcel is RT5.4 Residential. Staff supports this request, as it aligns with the Growth Policy recommendation for this area.

Statutory Requirements

19. Section 7-2-4211 MCA requires municipalities to include the full width of any public street or road right-of-way that are adjacent to the property being annexed.
20. The adjacent public rights-of-way for George Elmer Drive and Chuck Wagon Drive have already been annexed into the City of Missoula.
21. Concurrent with the annexation and initial zoning of this property are applications for re-zoning and preliminary approval of a phased subdivision. The proposed conditions of annexation match the proposed conditions of preliminary plat approval for the phased Heron's Landing Subdivision.
22. The City will meet the statutory requirements for a petition method annexation in regards to MCA 7-2-4601 – 4625 and the MMC 20.85.040(l)(2) by considering the petition, adopting a resolution of intent and scheduling a public hearing regarding the zoning upon annexation, and advertising public notice for at least 15 days prior to the public hearing with the appropriate recommended zoning. The final step for council will be to adopt a resolution to adopt or deny the annexation request.

Zoning Upon Annexation

23. MCA 76-2-203 allows a municipality to conduct a hearing on the annexation in conjunction with a hearing on the zoning of the property proposed for annexation. Title 20 Zoning Ordinance, Section 20.85.040(l)(2) outlines the three review criteria taken from MCA 76-2-203 which may be considered for zoning upon annexation. According to the Title 20, "The zoning district classification assigned at the time of annexation must:
 - a. Authorize land uses comparable to the land uses authorized under the county zoning classification that applied to the property immediately before it was annexed in the city;
 - b. Authorize land uses that are consistent with the land uses approved by the Board of County Commissioners or the County Board of Adjustment; or
 - c. Be consistent with the land use and zoning recommendations for the subject areas, as set forth in the *Growth Policy*."
24. The proposed RT5.4 Residential zoning is an implementing district of the Growth Policy Future Land Use Map designation of Residential Medium Density – 3 to 11 Dwelling Units Per Acre, meeting the requirements of Criterion 2c.

25. Based on compliance with Criteria 20.85.040(l)(2)(c), staff recommends annexation of the subject property, and zoning upon annexation of the subject property of RT5.4 Residential upon annexation, subject to the recommended conditions of approval.
26. If the City Council does not approve the request to annex the subject property and/or the zoning upon annexation of the subject property to RT5.4 Residential, the Resolution to Annex and the zoning upon annexation of the property shall become null and void, and the property shall revert to its original status in the County of Missoula.

IV. ATTACHMENTS

1. Annexation Exhibit A

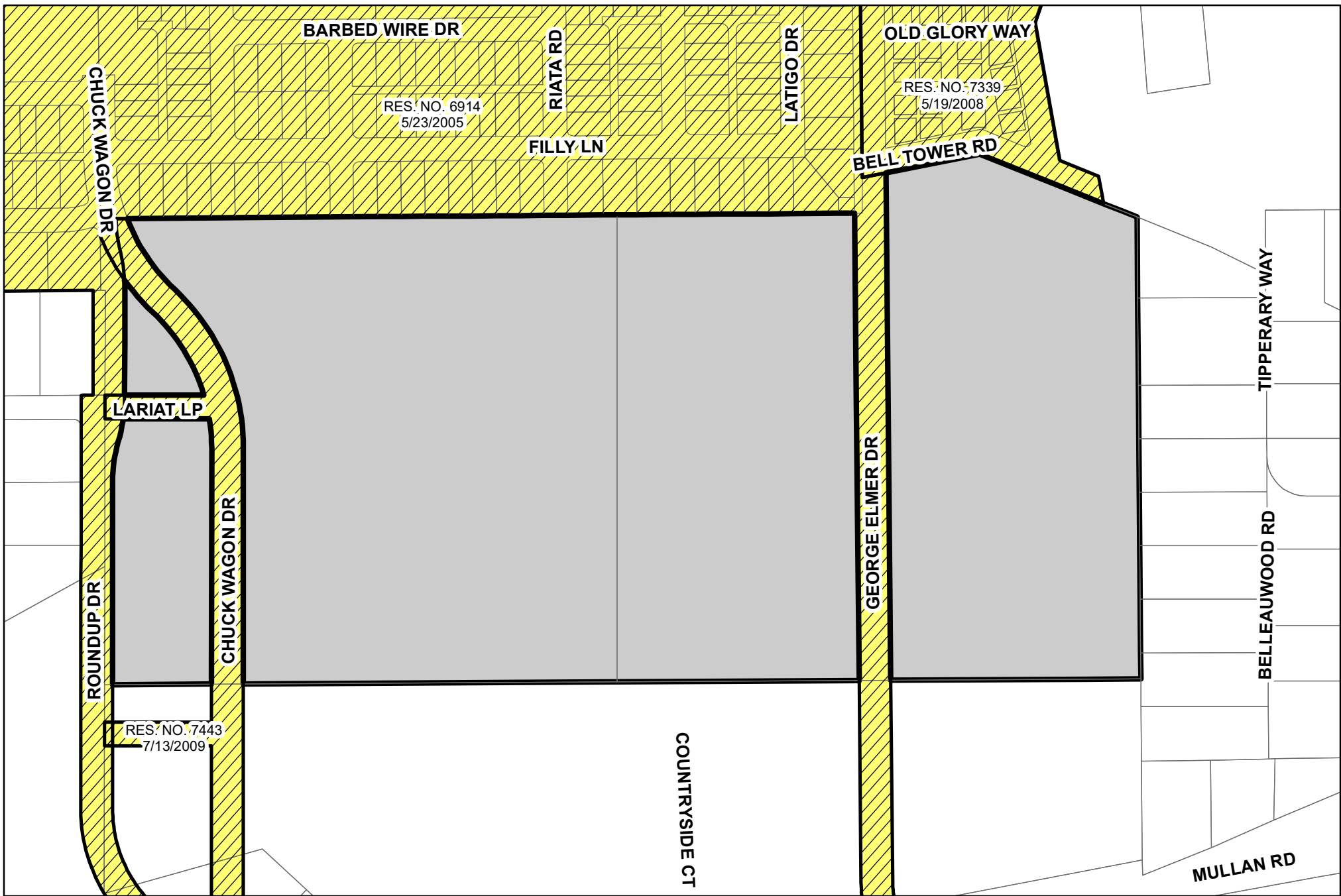






Exhibit A

Tracts 1 & 2 Certificate of Survey 5963

All Located in Sections 12 & 13, T.13 N., R.20 W., P.M.M.

Prepared by: CITY OF MISSOULA GIS SERVICES

Legend

-  Proposed Annexation
-  Annexation Resolutions
-  City Limits
-  Parcel Boundaries

Return to: City Clerk
City of Missoula
435 Ryman Street
Missoula MT 59802-4297

PETITION NO. _____
BEFORE THE CITY COUNCIL
CITY OF MISSOULA

PETITION FOR ANNEXATION TO CITY

SUID#: 3292109
652707
GeoCode# 04-2199-13-2-01-04-0000
04-2199-13-2-01-03-0000

Dated this 21st day of October, 2019.

COME NOW the undersigned and respectfully petitions the City Council of the City of Missoula requesting city annexation of the following real property into the City of Missoula.

The petitioner(s) requesting City of Missoula annexation of the property described herein hereby mutually agree with the City of Missoula that immediately upon annexation of the land all City of Missoula municipal services will be provided to the property described herein on substantially the same basis and in the same manner as such services are provided or made available within the rest of the municipality prior to annexation.

Petitioner(s) hereby agrees and submits the real property described herein to municipal taxation and assessments upon annexation, including but not limited to sanitary sewer utility assessments, in the same manner as other private property within the city is taxed and assessed for municipal tax, assessment and utility service purposes.

Petitioner(s) hereby states that there is no need to prepare a Municipal Annexation Service Plan for this annexation pursuant to Section 7-2-4610, MCA since the parties are in agreement as to the provision of municipal services to the property requested to be annexed.

LEGAL DESCRIPTION OF PROPERTY TO BE ANNEXED:

Please see attached Exhibit A.

PROPERTY ADDRESS:

The parcels have no current physical address.

Mullan Road Partners, LLC

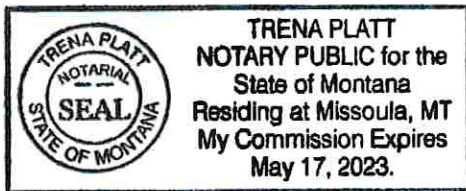
By: _____

Title: Vice President of Operations

STATE OF MONTANA)
) ss.
County of Missoula)

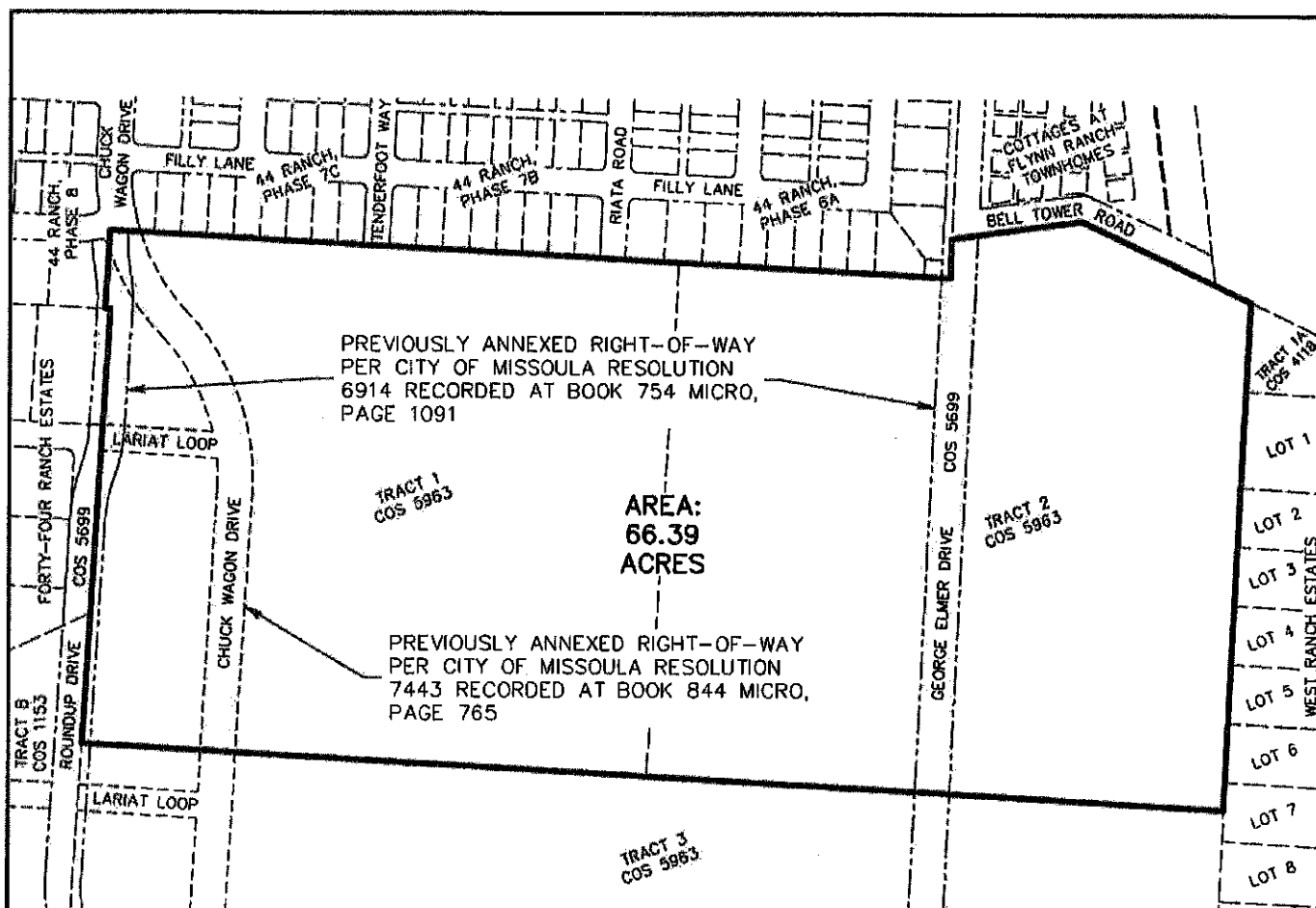
On this 21st day of October, 2019, before me the undersigned, a Notary Public for the State of Montana, personally appeared Gary Schnell, Vice President of Operations, known to me personally (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name is subscribed to the within instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Official Seal on the day, month, and year in this certificate first above written.



SS _____

(SEAL)



LEGAL DESCRIPTION *****

TRACTS 1 AND 2 OF CERTIFICATE OF SURVEY NO. 5963,
ON FILE AND OF RECORD IN MISSOULA COUNTY, MONTANA;
LOCATED IN THE NORTH HALF OF SECTION 13, TOWNSHIP
13 NORTH, RANGE 20 WEST, PRINCIPAL MERIDIAN,
MONTANA;

EXCEPTING THEREFROM PORTIONS OF ROUNDUP DRIVE AND
GEORGE ELMER DRIVE RIGHTS-OF-WAY PREVIOUSLY
ANNEXED PER CITY OF MISSOULA RESOLUTION 6914, BOOK
754 MICRO, PAGE 1091, AND A PORTION OF CHUCK WAGON
DRIVE RIGHT-OF-WAY PREVIOUSLY ANNEXED PER CITY OF
MISSOULA RESOLUTION 7443, BOOK 844 MICRO, PAGE 765,
BOTH ON FILE AND OF RECORD IN MISSOULA COUNTY,
MONTANA;

CONTAINING 66.39 ACRES, MORE OR LESS.



EXHIBIT "A"
LOCATED IN THE N 1/2 OF SECTION 13,
T. 13 N., R. 20 W., P.M., M.
MISSOULA COUNTY, MONTANA



WGM GROUP
WWW.WGMGROUP.COM

PROJECT: 18-11-01
FILE NO: 181101_annex.dwg
FILE PATH: R:\Projects\181101\181101.dwg
LAYOUT: SH1
SURVEYED: ---
DESIGN: ---
DRAFT: CED
APPROVE: CH
DATE: OCTOBER 22, 2019
SHEET: 1 OF 1 SHEETS



HELLGATE ELEMENTARY SCHOOL

DISTRICT NO. 4
2385 FLYNN LANE
MISSOULA, MONTANA 59808
(406)728-5626 FAX (406)728-5636

August 20, 2020

Dave DeGrandpre
WGM Group
1111 E Broadway
Missoula, MT 59802

Dear Mr. DeGrandpre:

It has come to my attention that periodically comments are made about Hellgate Elementary and the school district's ability or lack of ability to accommodate more students that may enroll in the school district from potential residential development within the Hellgate Elementary boundaries. For the record, I have not been asked nor am I taking a position one way or the other as to the wisdom of any residential development project within the school district boundaries. My role is to simply supply information, as I see it from the school district's perspective, as to current student enrollment and the school district's ability to absorb additional students in the years to come.

As Superintendent of Hellgate Elementary, I believe the following to be true in terms of student enrollment and the school district's ability to accommodate more students. Currently, the school district enrollment stands at 1,530 students (Kindergarten through 8th Grade). The completion of the new middle school, that opened on August 28, 2019, has increased the school district's capacity to comfortably accommodate another 270 students which would push the student enrollment to approximately 1,800 students (Kindergarten through 8th Grade). If "push came to shove", the school district, on its 43 acre campus, could accommodate an additional 200 students which would push the school district's student enrollment to around 2,000 students.

Should student enrollment approach 2,000 students, thus placing approximately 500 students in each building, it would be crowded. No question about that. However, the school district has done this in the past, before the new middle school was built, with each of the three existing school buildings housing close to 500 students in each building. Ideally, I would like the school district to stay within the 1,800 student level but there is room to accommodate more students, if necessary.

Should you need any further information from me, please do not hesitate to contact me at (406) 728-5626.

Sincerely,

Douglas Reisig, Ed.D.
Superintendent, Hellgate Elementary
Missoula, Montana 59808

From: Mary Maynard
To: [Dave DeGrandpre](#)
Cc: [Alan Maynard](#); bukomaynard@gmail.com
Subject: Rezoning - Heron's Landing
Date: Tuesday, August 11, 2020 4:59:57 PM

The purpose of this email is to provide comment and protest the proposed rezoning of 72 acres east of Roundup Drive from the current C-RR1 to RT5,4. Specifically the land east of Roundup should remain C-RR1 and NOT REZONED. The current roads and connection to Mullan Road cannot safely handle this huge volume of homes.

A condition of the approval of the 44 Ranch subdivision north of 44 Ranch Estates was that ½ acre lots would surround 44 Ranch Estates. See the June 2019 meeting minutes where Nick Kaufman was asked if 1/2 acre lots would surround 44 Ranch Estates and his response was yes. Yet, the city allowed the developer to sell lots less than ½ acres directly north of 44 Ranch Estates. If the city rezones the land east of Roundup Drive, and pursuant to the current plans, ½ acre lots do not surround 44 Ranch Estates. Please, do not let another development be allowed to ruin the current neighborhood. There is no need to allow for rezoning. As property owners and citizens we have a right to live in a safe environment. Rezoning for multifamily housing will ruin the current homes and devalue our property, along with providing an unsafe environment.

The proposal summary submitted by Heron's Landing states that it will be similar to the Ranch Club development. There are no \$275,000 homes at the Ranch Club, nor area there multiplex or multi family homes. Who would build or buy a home with a value of \$700,000 next to a home valued at \$275,000. The Heron's Landing proposal has numerous flaws and errors and should not be allowed.

The Herron Landing's subdivision should not be allowed to begin until the connection of Chuck Wagon Drive and Mullan road has been completed. The developer of 44 Ranch and the City of Missoula have delayed this connection for years. When the 44 Ranch development north of 44 Ranch Estates was proposed it was approved with the condition that Chuck Wagon Drive was to be constructed and connected to Mullan Road with turn lanes. The developer of 44 Ranch delayed in building Chuck Wagon. Now, an additional subdivision (with rezoning) is attempting to seek approval. Yet, the original conditions of the development have yet to be completed – turn lanes from Mullan Road at the intersection with Chuck Wagon. Further, there is another subdivision, Remington Flats, that is seeking approval. Yet, the connection to Mullan nor the light at George Elmer have been completed (yet started).

When Heron's Landing subdivision begins, it should start with homes being built near George Elmer Drive because of its connection to Mullan Road. The city has a number of traffic studies done (one by Abelin) which identify the issue with traffic and the intersection of Chuck Wagon and Mullan (currently no turn lane) For the safety concerns, the traffic light at George Elmer and Chuck Wagon's connection to Mullan Road MUST BE COMPLETED prior to the beginning of additional subdivisions. The includes more phases of 44 Ranch, Heron's Landing and Remington Flats. At the very least, Chuck Wagon should connect to Mullan with turning lanes and any development of Heron's Landing should begin east of Chuck Wagon and connect to George Elmer first (not Chuck Wagon). Currently

the intersection at Mullan and Chuck Wagon is extremely dangerous. To date, WGM has yet to submit a final plan to the state of Montana for approval. This dangerous intersection must be completed prior to any more/new developments. The City of Missoula should not continue to be allowed to rezone and develop without addressing safety concerns of traffic.

Please reconsider what you are doing to the community, our home values and our safety when you look at rezoning. There is no need to rezone this property and there are numerous reasons to keep the zoning as is.

Thank you for your consideration,

Mary and Alan Maynard

From: Susan Roberts
To: [Dave DeGrandpre](#)
Subject: Heron"s Landing
Date: Saturday, August 15, 2020 5:51:38 PM

The purpose of this email is to express concern regarding the rezoning of 72 acres east of Roundup Drive off of Mullan Road.

We are currently building a home near the 44 Ranch Estates. We purchased our property in large part due to the C-RR1 zoning. Had we known that this could be changed before we could even finish building our home, we would have continued to look elsewhere. We believe this is a major change and will devalue the investment we are locked into.

Please reconsider the assurances (promises) you have made to existing homeowners who made decisions based on C-RR1.

Kent and Susan Roberts

From: Tricia Monaco
To: [Dave DeGrandpre](#)
Subject: Re: 44Ranch STOP duplex...
Date: Sunday, August 9, 2020 9:47:04 PM

The email I sent below I was not specific to indicate what we're furious about is that Kory Mytty is trying to change that field development from single family homes to apartments.

Thank you
The Monacos

Dear Dave,

We just moved into our brand new single family house which we built and we were told when we purchased this land that the field east of our homes on the right side of Roundup Rd was also going to be single family homes. We are absolutely furious and would have NEVER Purchased or built our home here in 44 Ranch had we known the developer was not being honest! We beg of you to PLEASE put an immediate STOP to this dishonest type of construction! We were lied to and this news is not going to fly well around this neighborhood!!! I'm sickened that Corey Mytty can even try to do such a thing after selling all these lots misleading his buyers. My daughter just purchased a lot by us and they break go Round this week. We are all furious!!

Thank you for your efforts to put a stop to this insanity.

5601 Brumby Lane
Kelvin & Tricia Monaco

From: Brittany Heinz
To: [Dave DeGrandpre](#)
Subject: Rezoning of Chuck Wagon Drive
Date: Sunday, August 9, 2020 9:34:02 PM

Hello,

I'm currently a resident in 44 Ranch on Hereford Place. I am extremely unhappy to hear of possible row housing being put in on Chuck Wagon Drive. This is a great neighborhood where my children run around and are safe. Putting row housing in will increase crime and traffic. Putting my children at risk. I have worked hard in my life to be able to afford to live in this great neighborhood and I am against this rezoning in every possible way. If this rezoning happens there is no way that my family will be staying in this neighborhood. Please understand that the families that live here and have worked hard to be able to live here do not want apartments in their back yard. Please feel free to call me if you have any questions on where I and the whole 44 ranch subdivision stands on this issue. My number is 406-546-6573

Brittany Christiansen

Sent from my iPhone

From: Lynette Haskins
To: [Dave DeGrandpre](#)
Subject: 44 Ranch STOP REZONING
Date: Sunday, August 9, 2020 10:06:19 PM

Dear Dave,

My husband and I are breaking ground this week to build our forever home in 44 Ranch, near my parents that just built in the fall of 2019. We were just informed of the fact that Corey Mytty is trying to rezone the land that's east of our homes on the right side of Roundup Rd that we were told was going to be single family homes. We are absolutely furious and would have NEVER Purchased or started building our home here in 44 Ranch had we known the developer was not being honest! We were already lied to about the fact that our house was supposed to be right across the street from what was going to be a huge amazing park. Now we found out that it's a tiny strip of no houses but not a park. We are already livid with the lies that he's been getting away with! We beg of you to PLEASE put an immediate STOP to this dishonest type of construction! We were lied to and this news is not going to fly well around this neighborhood!!! I'm sickened that Corey Mytty can even try to do such a thing after selling all these lots misleading his buyers. Having it rezoned and doing what he's wanting to is just ridiculous and brings no value to the current homeowners of this beautiful neighborhood!

Thank you for your effort to put a stop to this insanity!

Lynette & Cody Haskins

From: Rebecca St. Peter
To: [Dave DeGrandpre](#)
Subject: Herons landing annexation/rezoning
Date: Sunday, August 9, 2020 9:59:16 PM

To whom it may concern,

I am a citizen and homeowner of the city of Missoula I am writing to urge you to NOT rezone the area of herons landing, but to keep it zoned for single family housing. The area off Mullan road would not be suitable for apartments or other low income housing because it is not located within walking distance to any amenities or resources. If you have paid attention at all to the local real estate market you would know that there is a great need for single family homes in Missoula.

Thank you for your time.

Respectfully,

Rebecca St. Peter

From: Samantha Gunderson
To: [Dave DeGrandpre](#)
Subject: 44 Ranch Subdivision Anexation and Rezoning
Date: Sunday, August 9, 2020 10:14:27 PM

Hello Dave,

I am currently an owner in the 44 Ranch subdivision of Missoula, and wanted to voice my concerns about the proposed rezoning of the 72 acres south of the division. The proposed 347 residential lots would be a density increase that would overwhelm the current and proposed infrastructure changes, making it extremely difficult to navigate the division streets as well as Mullan Road. I am concerned with the number of people that would inhabit an area with currently 1 road going East into town, and only a second proposed road with the connection to Broadway. There are already times during the day where it is almost impossible to turn East onto Mullan, especially during the winter months. This rezoning proposal of multi-family style units would congest the area even further, making it more difficult than it already is.

My other concern with the type of housing that is being proposed is the increase in potential rental units, and transitional housing that would create inconsistencies with the current dwellings being built in the division, and the future construction of the proposed units. Currently we have single-family units in our division, some of which are rentals, but still adhere to the architectural aspects of single-family homes. Adding courtyard/patio style dwellings, row houses and townhome/duplex style dwellings would decrease the desire to live in a development specifically designed with single-family homes, thus decreasing the property values of those who already reside in this subdivision.

My final concern is that this is a very child-friendly subdivision, with hundreds of kids who are frequently out and about with their friends. Adding the proposed 347 residential units greatly increases the population density, which in turn increases the traffic within the subdivision streets. That will increase the danger of those children being injured as a result of the increased frequency of cars on the road.

The proposed rezoning will bottleneck the already congested streets coming out of the 44 Ranch Development, as many people work in town around the same time. This bottlenecking not only has an impact on those who live in the division, but for those who live further west on Mullan, who have only one route to drive into town. Assuming one car per dwelling (and maybe more for transitional housing, as many people have roommates), the increase in population density will overwhelm the current and proposed infrastructure. There will be a greater danger to the children who have a wonderful area and neighborhood to play in, and will decrease the property value of the homes that are already built, and will continue to be built within the development.

Thank you for your time, and I sincerely hope you reconsider the proposed rezoning.

Samantha Morton

From: Travis Gauer
To: [Dave DeGrandpre](#)
Subject: 44 Ranch Rezoning Project
Date: Monday, August 10, 2020 9:31:03 AM

Good morning Mr. DeGrandpre,

My name is Travis Gauer and I live on Hereford Pl in the 44 Ranch subdivision. I am writing you to express my concern with the proposed rezoning of the area east of Roundup Drive. My wife and I just had a home built a few months ago so we are still fairly new to the area. When we decided to buy the lot in 44 Ranch, we did our research on the surrounding area, which played a role in our final decision. At the time, the area being discussed was zoned for single family homes, and we understood that it was only a matter of time that this area would be developed. However, with this proposed development, it is only logical that this will drop the value of our home and that is a big concern for us.

Another issue I have with your proposal of rezoning this area for multi family dwellings and row houses, is the infrastructure in the area. As things currently stand, it is often very difficult to turn on to Mullan Road. With the addition of the large number of additional residents that this proposal would create, I am very concerned for not only the George Elmer and Roundup Drive access points, but the larger surrounding area as well. I think it would be an absolute must that stop lights be added for the residents to be able to better access Mullan Road not only at George Elmer and or Roundup Drive, but at Flynn lane as well. Has anything been discussed with Hellgate Elementary school? With other development booming in the area, I am concerned they will not be able to handle this additional influx of students without some extensive planning. Our son attends Hellgate Elementary and this outstanding school is the largest factor as to why we continue to live in this area. We are concerned that additional planning and thought needs to be taken before expanding the capacity of student enrollment. I understand that additional affordable housing is a big issue in Missoula, but I only ask that these factors are considered before implementing the change.

I really appreciate your time and consideration, and I realize there are many factors related to this decision. I just wanted to speak up and voice my concerns as a resident of the area.

Have a great day,

Travis Gauer

Project Report

12 July 2020 - 10 August 2020

Engage Missoula

Heron's Landing Annexation, Rezoning, and Subdivision



Visitors Summary

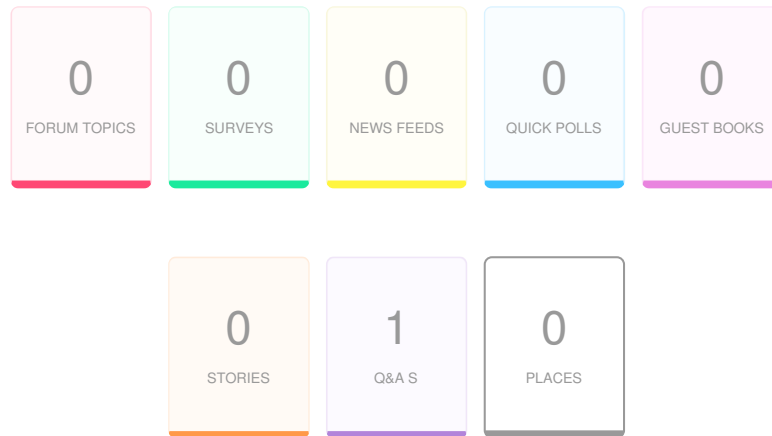


Highlights

TOTAL VISITS	MAX VISITORS PER DAY	
35	12	
NEW REGISTRATIONS		
2		
ENGAGED VISITORS	INFORMED VISITORS	AWARE VISITORS
3	3	25

Aware Participants	25	Engaged Participants	3		
Aware Actions Performed	Participants	Engaged Actions Performed	Registered	Unverified	Anonymous
Visited a Project or Tool Page	25				
Informed Participants	3	Contributed on Forums	0	0	0
Informed Actions Performed	Participants	Participated in Surveys	0	0	0
Viewed a video	0	Contributed to Newsfeeds	0	0	0
Viewed a photo	0	Participated in Quick Polls	0	0	0
Downloaded a document	0	Posted on Guestbooks	0	0	0
Visited the Key Dates page	0	Contributed to Stories	0	0	0
Visited an FAQ list Page	0	Asked Questions	3	0	0
Visited Instagram Page	0	Placed Pins on Places	0	0	0
Visited Multiple Project Pages	0	Contributed to Ideas	0	0	0
Contributed to a tool (engaged)	3				

ENGAGEMENT TOOLS SUMMARY



Tool Type	Engagement Tool Name	Tool Status	Visitors	Contributors		
				Registered	Unverified	Anonymous
Qanda	Questions and Public Comment	Published	3	3	0	0

QANDA

Questions and Public Comment

Visitors 3	Contributors 3	CONTRIBUTIONS 3
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RichardDombrowski

05 August 20

In 2005 the existing neighborhood of 44 Ranch Estates filed a legal protest with The Missoula County Office of planning and grants with respect to the planned development of the 44 Ranch development surrounding our neighborhood. After many hours and meetings with the County planning and zoning concessions were agreed to limit density around our existing development to two houses per acre and establishing Chuck Wagon Drive as a collector street to carry traffic in the future. With these agreed changes the protest was lifted and approval granted for the subdivision to move forward. A letter signed by WGM, Mr. Nick Kaufman dated May 11, 2005 summarizes these points and again stated that only 2 dwelling units per acre will be built adjacent to Roundup Drive. In review of the Herons Landing plat map the lots adjacent to Roundup Drive on the east side of roadway are only 8900 square feet or less than the half acre size stipulated by the past agreement with the County planning and zoning office. The 44 Ranch Estate neighborhood expects the City and County to meet the past agreement which was required to lift our protest. The density requirements of a single row of half acre lots around the neighborhood was not development specific to only 44 Ranch and was an agreement with the County and City of Missoula to respect our neighborhood character and property values. We request the developer resubmit the plat with a single row of half acre lots which border our East property lines along Roundup Drive. Respectfully submitted Richard Dombrowski. Resident 44 Ranch Estates.



Publicly Answered

Your comment has been received and sent to the case planner, Dave DeGrandpre.

QANDA

Questions and Public Comment



Steve Bleecker

10 August 20

To whom in may concern, To start, I would try to impress upon you the sentiment and dialogue during and after the public meeting held on June 12, 2019, where neighbors first learned of Heron's Landing. In no uncertain terms, this development and in particular, the small lot sizes, multi-unit structures and traffic control plans, were and are quite unpopular among those who have laid roots in this area off Mullan. I have spoken with dozens of neighbors, many of whom have sent their own letters no doubt, who speak of the same concerns. I will attempt to point out specific issues in the latter part of this letter. I am not schooled in the details of development and won't claim to be an expert in many things but hope the overall discontent received from myself and others will further your commitment to not only ensure this project checks all the required boxes but that also the hundreds of neighbors and their concerns/values play a major role in the development moving forward. The developer of 44 Ranch, north of 44 Ranch Estates, was required to maintain ½ acre lots on those adjacent to 44 Ranch Estates; this condition should carry over to Heron's Landing. Those currently platted (3 thru 14) range from 8,575 to 12,631 sq ft; should be a minimum of 21,780 sq ft. Per the mayor's office regarding the secured \$13M BUILD grant: "Work on the BUILD grant, which includes improvements on George Elmer Drive and a new controlled intersection (signal or roundabout) at Mullan Road, are expected to begin next spring." The first phase of Heron's Landing should begin adjacent to George Elmer, a complete arterial with funds secured for further improvements, rather than an incomplete Chuck Wagon Drive. Nearly all of the surrounding homes (to Heron's Landing) consist of detached single family. Heron's Landing should have continuity with its surroundings and maintain this same standard. Approval and rezoning should include detached single family only. The current proposal nearly maxes out the residential medium density at 10 dwellings per acre (max is 11). I understand this may fall under the threshold however there is no need for this. Keep in mind, there are still approximately 270 future lots planned within 44 Ranch (Phase 10 thru 19). To close, Heron's Landing, or any future development should consider the foundation of those developments before it and the areas surrounding it. This area is filled with higher quality builds and rooted single family homes. This volume of medium density, and in particular the areas of high density/townhomes, brings lower quality builds and higher chance of those becoming rentals, etc. That is not what exists here nor is it wanted. I urge you to consider all things, and with them not only this single residents words, but all of those received at this time. I truly appreciate your service and consideration in this matter. Best, Steve Bleecker 2185 Roundup Dr 406-360-3862



Publicly Answered

Your comment has been received and sent to the case planner, Dave DeGrandpre.

QANDA

Questions and Public Comment

Q

coralbeck

10 August 20

I am a home owner on Roundup Drive. I am writing to express concerns about the plans for this development. In previous plans submitted, the area was to be zoned for single family homes. The plan being proposed for rezoning and annexation includes multifamily housing projects of 347 homes. Mullan road is currently congested with traffic and there have been several accidents, one involving a child being hit by a car. Mullan road is not developed with traffic lights to accommodate this many homes. I am concerned that adding multiple family housing units will change the nature of the neighborhood. I did not purchase a home to be located next to a large apartment complex. Mullan Road is already congested with multiple apartments at Mullan and Reserve. It has become difficult to manage the traffic and merge from Reserve street on to Mullan because of the density of housing. The Hellgate School district is already attempting to accommodate students from the increased growth of homes in the area. The school has become so large, that children are not able to develop solid childhood relationships with classmates, because of multiple classrooms needed to accommodate the ages of students (ie. multiple 4th grade classes) and then children switching to a new set of peers the following year. The school is larger than many schools in big cities. Planning and zoning for this area should be mindfully considered. While affordable housing is needed in Missoula, planning for the Heron project should not include large apartment complexes that result in congested housing, which will lower the property value of the houses surrounding the area. Thank you, Coral Beck 406-273-3324

A

Publicly Answered

Your comment has been received and sent to the case planner, Dave DeGrandpre.

From: Brandy Cheff
To: [Dave DeGrandpre](#)
Subject: Heron's Landing Annexation, Rezoning, and Subdivision
Date: Sunday, August 9, 2020 9:53:03 PM

Hello Dave,

I just received some paperwork on the proposed rezoning on the property located North of Mullan Road and South of 44 Ranch along Chuck Wagon Drive. We recently built in 44 Ranch and we cannot express enough how upset we are to hear of the possibility of row housing being built in our neighborhood. We chose 44 Ranch because it is a family friendly neighborhood where our children, along with many neighborhood children, can ride their bikes and play safely outside. Allowing row housing and frankly just packing as many dwellings/people as possible into this area will not only create a massive amount of additional traffic but also more crime, in return putting my children at risk. We purchased our lot with the current zoning and we were under the impression that single family homes would be built there. Developers are not thinking about safety, traffic or Hellgate Elementary school. If you put row housing and cram as many people into housing over here where on earth do you expect all those kids to attend school? My child currently goes to Hellgate and it is already overcrowded even with the brand new middle school. These things need to be considered BEFORE any new development is approved instead of greedy people just thinking about their own pockets. Find a solution for schooling, fix the traffic issues BEFORE adding development after development.

We are 1000% against this rezoning and I can say the majority of the other homeowners in 44 Ranch, 44 Ranch Estates and the surrounding areas would feel the same if they were properly notified.

Brandy and Kris Marshall

From: Barbara Fossen
To: [Dave DeGrandpre](#)
Subject: Application to subdivide 72 Acres (George Elmer and Chuck Wagon)
Date: Monday, August 10, 2020 9:13:11 AM

I wanted to submit my comments against the proposed change in zoning from single family to RT5.4 which I understand to be two unit/townhouses based on these review criteria:

- Schools: Hellgate elementary is already oversized and often capacity is full. The district cannot support 347 new homes which would likely have children
- the effect on motorized transportation: obviously traffic would be largely increased to an already busy system
- this subdivision would not conserve the value of existing properties nearby

Thank you for your consideration. I know this is a tough topic and local residents are against a large subdivision.

Barbara Fossen
2055 Roundup Dr.
Missoula MT 59808

Sent from my iPhone

From: Blake Morton
To: [Dave DeGrandpre](#)
Subject: 44 Ranch Subdivison Rezoning Concerns
Date: Monday, August 10, 2020 12:23:30 AM

Dave,

As a first-time homeowner in the 44 Ranch subdivision in Missoula, I am contacting you today to voice my concerns about the proposed rezoning of the 72 acres south of the neighborhood.

The proposal to add nearly 350 residential lots south of the 44 Ranch subdivision (particularly transitional housing) raises three major areas of concerns that I hope are considered before making your decision.

My first concern is that a significant increase in the number of residents means a similar increase to the amount of traffic. With Mullan being the primary means of accessing Reserve, Broadway, and other areas of Missoula, the area is already facing long wait times when turning onto Mullan in either direction due to the amount of traffic. The increased population in such a condensed area will only lead to more traffic incidents and is a major safety concern, especially in the winter months. Assuming at least one car per residence (with many having more) being added to the area may add to the current challenges and exacerbate these issues further.

My second concern is the type of properties in the proposed rezoning. Currently, the neighborhood is sought after for the inherent benefits of single family homes: safety, consistency, and community. The proposed housing solution to add a large number of apartments or shared residence properties doesn't serve families in the same way the neighborhood was designed. The addition of these types of residences may ultimately reduce the property value and desirability of the area as a whole.

My final concern is that adding the proposed housing may negatively impact the community and its safety. While there are some retired and older residents in the subdivision, the majority of people are families with small or young children. One of the reasons the neighborhood is so desirable is because of its safety. Being set back from Mullan means there is less traffic and danger to children in the neighborhood. With the proposed 347 residential lots, the inherent dangers of that additional traffic may drastically reshape the dynamics of the area.

In summary, the proposed rezoning of the 347 residences will likely add to the bottlenecking experienced on Mullan and interior roads, reduce the desirability and property values of those already in the neighborhood (as well as future homes), and is a safety concern for families and their children in the area.

Thank you for your time and the consideration of these issues.

Best,

Blake Morton

From: brian_richichi@yahoo.com
To: [Dave DeGrandpre](#)
Subject: Heron's Landing Rezoning Complaint
Date: Monday, August 10, 2020 2:34:15 PM

Dave,

I want to voice my opinion and let you know that I am opposed to the rezoning of Heron's Landing. I do not agree with the rezoning that will result in multiple townhomes/apartments being constructed in front of my home. I live at 5034 Bell Tower road and these multifamily homes would be constructed directly across the road from my home.

Brian

From: jenniferbarnard@eralambros.com
To: [Dave DeGrandpre](#)
Subject: Heron's Landing Annexation, Rezoning, Subdivision
Date: Thursday, August 13, 2020 8:33:22 PM
Importance: High

Hello Dave,

My apologies for not meeting the requested deadline for commentary, please consider including my comments though they are a bit late.

The magic of Missoula is disappearing. Talk to the people that have lived here for 10+ years, they will almost resoundingly agree... mismanaged development and growth is partially responsible for killing the magic of Missoula and it's heartbreaking.

Zoning restrictions reinforce property value. Transition from higher density to lower density is a must and it seems like developers are pushing to *draw an imaginary line between the two*. Upholding property values is a must. Having one acre lots, where my home is currently located, adjacent to 6 homes per acre **will bring down the value** of the homes in Forty Four Ranch Estates and the surrounding areas. It also **wrecks the aesthetic** of the established county neighborhoods. A staggered buffer around these established neighborhoods is essential. A minimum of .5 acre lots should be adjacent to and surround Forty-Four Ranch Estates as promised during the development of 44 Ranch by the developers and the city at that time. Open space is a must! Wildlife interface is a must! I used to see so much more wildlife but over the past 2 years it has **dwindled to almost nothing**. Heron's landing is just that... it's literally where the Herons land and gulp up gophers...*they will disappear soon like everything else*. I've watched a fox family be raised for the last 6 years consecutively, until the encroaching development over the past 2 years has **eliminated her**. No more fox den.

Also, as a licensed Realtor I would like to share that home buyer's are **seeking refuge in single family, low density zoning**. *People are stressed to the max, they need more space to retreat to, especially now that children are "distance learning" and parent's are working from home*. Now more than ever people are looking for larger homes, larger lots, more open space to help **cope** with all the changes that the Covid virus has inflicted. I've had client's say... "after being in my home, with no real idea of what the future holds regarding things going back to normal, I've realized that we need more space so that we are not on top of each other."

The Flynn -Lowney ditch is a good gauge that mirrors the change in density. My property is located almost at the tail end of the ditch before it terminates back into the Clark Fork River. I've watched the ditch over the years and have witnessed **the amount of concerning refuse and debris increase steadily over the years**. The occasional plastic bag or water bottle or random piece of Styrofoam would float by but we are now seeing **alcohol bottles and have even retrieved used**

needles from the ditch. This is a perfect illustration of the negative impact of increasing density.

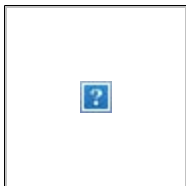
The proposed rezoning and annexation and increased density for Heron's landing is **concerning and upsetting** at the least. I live in Forty Four Ranch Estates, we purchased our home on a 1 acre lot in April of 2013. Our primary criteria in purchasing was:

- Single family residence outside the city limits
- Home located in residential zoning that does not allow multi-family development
- Home on a larger lot, .5 acre or larger
- Cul-d-sac or location not on a through street

We have a child (now young adult) **with special needs that will live with us indefinitely** and finding a home that meets the above criteria was two-fold: First and foremost- SAFETY, secondly- freedom to explore in an area with less commotion and overall noise than that of a congested neighborhood. Sensory issues were a huge consideration, we were very intentional in looking for the right location. **This community seriously lacks supports and services for special needs children and adults and their families.** In a similar way to that of the "age-in-place" and "zero step construction" movement; families of individuals with disabilities have **more to consider in securing housing that fits the unique needs of their family. Our next-to-nothing options are being further jeopardized and compromised by the proposed changes...**

Thank you for considering my commentary.

Sincerely,



Jennifer Barnard, Realtor

Cell: 406-529-7644

<https://www.era.com/ERA-Lambros-Real-Estate-992c/J>

From: John Hancock
To: [Dave DeGrandpre](#)
Cc: [Barbara Blanchard](#)
Subject: Heron's Landing Public Comment
Date: Thursday, August 6, 2020 8:00:18 AM

Dave:

Thank you for your call yesterday. As promised, what follows are my written comments about the Heron's Landing subdivision from what I understood about the project early in 2020.

Rather than send this as a pdf, I sent it this way so that you can simply read, print or forward as necessary. WGM picked up a physical copy at a Capt. John Mullan meeting and to assure Ryan Salisbury received it I sent it to him via email.

There has been no response from WGM.

As time marched on, homeowner documents like CCR's have become available for public review. In the Declaration of Covenants Page 14, letter R reads as follows:

"Water Ditches and Water Rights. The Lots have no surface water rights. To the extent water ditches adjoin any Lot, the water in such ditches is not the property of the Owner nor the Association, and they are not allowed to use such water for any purpose or to interfere with the delivery of water through such ditch. No structures (e.g., bridges, barriers or diversions) or vegetation shall be placed in a manner that will interfere with the construction, operation, maintenance, repair and inspection of any water ditch. In the event of an emergency concerning a ditch (e.g., ditch berm breaks or leaks, the ditch is blocked and starts overflowing its banks), the affected Owner should contact _____ at (406) ____ - _____."

The blank information for both a reliable contact and a working telephone number is unacceptable.

Here is the total letter.

Mr. Ryan Salisbury
WGM Group, Inc.
1111 E. Broadway.
Missoula, MT 59802

Subject: Review of Heron's Landing subdivision

Dear Ryan,

On January 9, 2020, members of the Captain John Mullan Leadership Team met with our two Ward 2 city council representatives and Tom Zavitz, a senior planner with the City of Missoula. We gained further insight into the Mullan Area Master Plan, the BUILD Grant and what is currently known about the status of the Heron's Landing subdivision. In subsequent

email, you confirmed the slides seen in a public meeting last spring at Crosspoint Church are current. We understand future revisions are likely as the subdivision process moves forward.

The main purpose of this letter is to provide input about our concerns based on those slides providing ongoing meaningful input both on current and future slide revisions. This letter is neither for, nor against, the development. It seeks to discuss a number of public safety issues.

WGM had a major hand presenting the compelling case for BUILD Grant funding. Few days go by without local news discussing a wealth of projects and issues throughout Missoula. With some affection we think that WGM is an acronym for:

We Get Missoula

We recognize and understand you are trying to work with a broad array of challenges chief among them affordability and density while dealing with the complexing of the approval process.

Obviously, you are deservedly proud of four testimonials appearing on your website including from leaders like Ellen Buchanan, Doug Reisig, Ed Toavs, and Steve King.

Clearly WGM does mean **We Get Missoula!**

On our end, this community council is faced with gaining an understanding of unprecedented number of projects and issues facing Ward 2, an area where significant growth is occurring. The implications of the BUILD Grant brings into sharp focus issues relative to housing, traffic safety, public transportation, parks, bike paths, trails, and snow removal. This letter seeks a reply to see if how Heron's Landing Project supports a vision of how these changes might impact these issues. Incorporating these changes serves to make a good project better!

BUILD grant implications:

Connecting Mullan Rd. to West Broadway makes George Elmer Dr. a new traffic "corridor" allowing:

- Residents to reach their homes from two directions.
- Residents and other commuters can reach commercial businesses at, near, or on the north end of George Elmer Drive, or roads coming off of it.
- A speedier route to Missoula International Airport potentially siphons traffic away from Reserve Street through the George Elmer "corridor" bypassing traffic signals, lowering driving distance at a higher rate of speed.

Safety

Our George Elmer Dr. “corridor” concerns focus on safety issues. The Heron’s Landing site layout slides dated April 22, 2019 shows substantial development of “Row House” along George Elmer Dr. Lots 170 – 177, 190 – 202, 217 – 231 and 250 – 256 are classified that way. That makes 43 of the 55 proposed “Row House” units or 78% overall.

A smaller number (10) or 20% of your total Duplex structures are likewise shown facing George Elmer Rd.

We feel this concentration is large a burden to impose on George Elmer Dr. considering a public school bus travels though it to pick up students at nearby 44 Ranch.

Whether you agree with the above or not, we ask you support a reduced speed limit from the present 45 MPH to 25 MPH. This is not unprecedented as Van Buren north into the Rattlesnake area imposes the same limit.

Steps to lower speed limits have already commenced. Mirtha Becerra is looking into a speed zone traffic study. There is no guarantee that the limit will be lowered.

She also advised us that the city is committed to installing, a roundabout at the intersection of George Elmer and Cattle Drives within two years.

No similar device is shown on the Heron’s Landing Site Layout slide at the intersections permitting a turn toward the nearly 4-acres of dedicated park that may also include attractive gardens. If a significant traffic calming device is not installed, consider installing a rectangular flashing beacon similar to one shown at the north end of the subdivision and support a lower speed limit of 25 MPH.

This greatly improves safety for the estimated 101 Heron’s Landing homeowners living on both sides of George Elmer Dr.

Snow Removal

The city prioritizes snow removal along George Elmer Dr., in part, because it is a major school bus route. The aforementioned “Row House” makes snow removal more difficult with the addition of on street parking. As you may recall, there was considerable vocal opposition to parking on George Elmer when presented at the Crosspoint Church hearing last spring. Equally unclear is whether the alleyways permit parking? Small garages, limited or no alley parking forces people to resort to street parking. We want to avoid scenarios involving people driving over the top of snow berms, making a U-turn to proceed to the George Elmer/Mullan intersection.

We examined the “Opinion of Probable Cost” that you reviewed on July 22, 2019, noting a widening of Mullan Rd to 44 Ranch. We want to understand the beginning and end points of the 1,955 LF proposed along George Elmer Dr. along with the 3” asphalt section? As you know the BUILD Grant received less funding than requested. Total asphalt and widening is estimated at \$1,425,195. Is any or a portion of this cost being shifted to home buyers in the event that the full cost of these improvements remains unfunded?

Mountain Line

One element seen in the presentation Mullan Rd Master Plan is the need to expand bus service on George Elmer once it connects with Broadway. We see a western route turning northbound from Mullan Rd. onto George Elmer Rd. At Broadway it can turn toward Missoula International Airport or return to the main downtown Missoula depot.

On this point, we ask that a conversation take place where the most likely locations are for bus stops. Determination should be made if a bus route will be in both directions. Once the eventual route is established, we want you to paint curbs red denoting a No Parking Zone. We are NOT asking you to install the stops, signage or windscreens.

Mr. Zavitz mentioned that a consulting firm was being hired to examine issues like this and hold public hearings in 2020. We recognize your need to move forward in a substantial way with the subdivision and may conflict with the timing of this issue. The red stripe marker idea strikes us as a good compromise.

If the establishment of bus service cannot be established prior to the start of construction, consider building homes along your eastern and western subdivision boundaries. This allows for additional bus route planning to occur utilizing the red stripe and disclose it to buyer(s).

Park Allotment & Funding Consideration

As a former resident of Flynn Ranch, coupled with your observations of the park at 44 Ranch, you see significant differences in the both the aesthetic qualities and recreational opportunities of the two parks. One is barren land, the other contains exciting recreational opportunities driven by homeowner funding and later rewarded with additional funds. All of this occurred prior to the formation of any HOA Board at 44 Ranch.

“We Get Missoula” understood the value of garden plots including it with the initial announcement of subdivision plans. That should prove very appealing aiding home sales. City representatives tell us that the Heron’s Landing Park is for public use, not limited to just HOA residents. In the early stages of project development homeowners, particularly those with children will find recreational opportunities by walking or biking to 44 Ranch.

The park at 44 Ranch will also have an influx of use from the Remington Flats subdivision. They are currently negotiating a cash-in-lieu of arrangement alleviating the need to build a park but contributing to ongoing recreational usage. Whether those funds ever reach 44 Ranch to upgrade or replace recreational equipment as it requires replacement is currently unknown.

We ask that strong consideration be given to the following idea, and, if rejected, please forward the reason to us.

1. Establishment of a per home recreation fee not to exceed \$100 per household collected by the developer at the time of sale.
2. Hold collected funds in an interest bearing checking account requiring two signatures for any withdrawal.
3. Set an expiration date for the funds to be used.
4. Make clear to the homebuyer of the existence of these funds. Let them form a Heron's Landing Recreation committee to make periodic decisions on how best to use the money within this park.

Self-Funding Recreation Benefits

While not designed to provide total recreational funding, it provides "seed" money for recreational expansion within the subdivision. It eliminates door-to-door and GoFundMe campaigns having uncertain results. It removes some pressure from potential overuse of the 44 Ranch facilities balancing usage among two large subdivisions.

It also alleviates some recreational funding pressure faced by a newly formed HOA Board of Directors when the developer turns over management to the association. That board typically is initially involved with any number of pressing issues relating to CC&R's, assessing the adequacy of current operating income, costs, and reserves. This one-time per household recreation fee allows the board to concentrate on these issues since a recreational opportunities exists due to this funding arrangement. Under the worst case scenario, the board may have some amount of unspent money and it would take up the issue of how to spend it in the time originally allotted for full disbursement or the original funds collected.

Flood Potential and the Hellgate Valley Irrigation District (Company)

Ryan, you visited and took notes regarding a single home flood situation occurring in Flynn Ranch in close proximity to an irrigation ditch. This next section puts ditch overflow issues into perspective. Its intent is warn and safeguard the interests of Heron's Landing homeowners.

As shown in the site layout slides, proposed homes are planned for both sides of the Flynn-Lowney “irrigation ditch.” A determination of total homes affected is unavailable as that slide does not show all of the ditch running through or bordering the subdivision. Here is a bit of history concerning the district, the company responsible for running and maintaining it.

The Hellgate Valley Irrigation District (HVID) was formed in 1919 “when other farmers in the area expressed interest from the Flynn Lowney Ditch and its laterals, according to a document made part of the Flynn Ranch dispute. The ditch itself is operated by the Hellgate Valley Irrigation Company. Water rights are typically not granted to individual property owners or to a homeowner association. Typically, from the center of the ditch extending to some point on both sides of it, an easement is granted to which no homeowner may build upon.

The ditch company, Hellgate Valley Irrigation Company, has an understandable interest in keeping the canal free of grass clippings, weeds, tree limbs and occasional beaver dams that impede water flow. It hires a ditch rider, currently Race Pruyn to clear these obstructions by releasing water that flushes the system to rid it of obstructions while physically removing debris that water cannot move.

There is no form of communication going to existing water rights users, or the general public when water is released or maintenance occurs. Records are not kept pertaining to the location or type of maintenance performed on the ditch or its aging equipment. During a deposition Race Pruyn stated this is a part time job paying \$1,000 annually. He mentioned “self-calving” 200 head of cattle 30 miles east of **Helena**.

In 2019, a debris complaint was filed against the company when it piled along George Elmer Dr. in an area separating Heron’s Landing and Flynn Ranch. It took a city compliance officer, Charmel Owens, and Brian Hensel, Deputy Director of Public Works – Streets, nearly a month to work out details to resolve this. There is a critical lack of protection that may cause a potential drowning at that location due to inefficient construction limiting public access as the water flows west. Pictures of that debris and danger to children are available upon request.

Financial solvency and water flow issues affecting the Hellgate Valley Irrigation Company are highly questionable. Minutes produced during an Interim meeting of the company held on November 14, 2018 present a disturbing picture. The minutes were written by Maureen Edwards, who is the company secretary. She has served on the board since 1998 and serves as its Secretary since 2010. Here is what she reported:

Fellow board member Mike Flynn reported the potential of a \$10,000 fine resulting from new regulations regulating use of concrete blocks used earlier in the ditch that need to be removed due to new regulations. There was support among its board members to pay the money to the “Redevelopment Agency” to solve the problem, she wrote.

Ms. Edwards pointed out that without a substantial increase in dues the company would exhaust \$7,000 in bank proceeds held in the account with approximately \$3,000 in dues receivable. One member, Mike Flynn, suggested doubling the dues. Ms. Edwards quickly added that “if we raise fees we need to improve our service as the water availability the last 2 years (2017 – 2018) was ‘sporadic and unreliable.’ The company has not been billed nor has the \$10,000 fee been paid as of January 16, 2020, according to Chris Behan, MDA’S Assistant Director.

During that meeting, another member, Rollette Pruyn, father of the ditch rider, mentioned that “silt buildup” was making the ditch harder to fill impacting flow. In fact, some areas along the entire ditch attempt to move water uphill. That proved to be a contributing factor in the Flynn Ranch case, though water there comes for a lateral supplied by the Flynn-Lowney ditch. The ditch, rider confirmed water flow issues in his deposition.

The city of Missoula’s position on Flynn Ranch matter was articulated in an email following inspection by Mr. Don Verrue. On February 22, 2018 Verrue wrote he *“visited with the ‘attorney’s office’ and found that the irrigation ditches are regulated by state statute which means city ordinances cannot be applied over the irrigation ditches.”* (Italics for emphasis). My initial appeal to the city was not aimed at regulating ditches. The goal was to prohibit any removal of berms or diversion devices prior to either residential or commercial occupancy.

Mr. Verrue stated *“he will work with our staff in recommending caution to developers who develop near irrigation ditches and suggest communicating with the irrigation ditch authority during the development stage and constructing new homes that abut active irrigation ditches.”*

Assuming you have received guidance on this issue, please send us a copy of it. The job is even more difficult if lots adopt the 44 Ranch sales method of selling lots to several builders who may unaware of the overall flood potential.

Your CC&R’s or other governing documents must be consistent with how overgrowth and weed issues beyond the homeowner’s immediate property line are to be disposed of.

Another critical factor to convey whoever builds homes is making sure the property slopes so that water empties into the ditch. Negative drainage was a major contributing cause of the Flynn Ranch overflow.

A different solution...

Another option exists that substantially lessens the need to rely heavily on the availability of either limited resources or personnel of the company. In a letter to Missoula Development

Services in June 2017 discussing the Flynn Ranch flood, Ms. Edwards told them that she had been approached by one of the developers (Flynn Ranch) about the possibility of installing a culvert. She thought “it was a great idea” if the culvert’s size matched the carrying capacity of the ditch in high water situations. She also favored it since it eliminated open and unprotected areas where children potentially can fall into the ditch. The developer chose to do nothing. The culvert allows city plows to do their job without creating snow dams, an event that occurred in 2019, in the ditch since it is likely buried beneath dirt.

The installation of a well-designed and buried culvert eliminates both safety and flooding concerns for an undetermined number of homeowners.

Without a culvert

If the culvert option is not utilized, several questions must be answered by both the developer and one or more building contractors:

Does the Hellgate Valley Irrigation Company have the financial resources and personnel necessary to protect homes built within Heron’s Landing from flooding?

Should any flood incident occur what individual(s) can be relied upon to reduce flow at either head gates or some other method on a 24 hour, 7-day basis during the irrigation season?

Does the ditch company have liability insurance to defend itself, if named in a lawsuit?

Implications of Failure to conduct due diligence on this issue.

Given the anticipated quality workmanship and installation of a local park, the last issue on any homeowners mind might be one arising from a Flynn Lowney Irrigation Ditch overflow. Even if the developer prohibits crawl spaces or basements, the next obvious place for water to enter is at the surface causing significant damages to floors, carpets, drywall and personal property.

Many homeowners are unaware that homeowner policies exclude water damages caused by flood or surface water intrusion. To mitigate damages immediate water extraction must occur and is best handled by water restoration companies equipped to do so. Fans and dehumidifiers are often so noisy forcing home based business or families to find alternative working and living arrangements. These expenses are not paid by the homeowner policy since the cause of loss is also not covered.

Equally troubling in this analysis is who potentially is available to answer an emergency call, much less act in the event this occurs. In the Flynn Ranch case, the homeowner began a

frantic online search and fortunately reached someone who acted quickly. Unlike Missoula Water, the Hellgate Valley Irrigation Company has few employees and lacks a specific emergency response telephone number or team to effectively deal with this situation. The homeowner may not be home at the time of the incident losing valuable time that significantly increases the loss.

The homeowner carries the burden of seeking legal advice, obtaining engineering reports, and home appraisals to build a case. Attorneys do not generally take these cases on a contingency fee basis. Out of pocket expenses can quickly soar and may go beyond the financials of the homeowner. In the Flynn Ranch case, the Montana Department of Revenue refused to grant temporary tax relief for the diminished value of the home. If an attempt to sell the property occurs prior to resolution of the claim the nature and extent of damages must be disclosed to the future buyer. Adding to the loss is time away from work to attend depositions, mandatory mediation, and court dates. No Interest is typically paid on lost investment opportunity when the claim is resolved.

Homeowners look to suit the developer, a separate builder, if applicable, or the Hellgate Valley Irrigation Company. In most instances these organizations have liability insurance and their defense costs are covered by the insurer.

In a recent email you indicated that the developer “is planning to sell and not necessarily build homes.” You added, that similar to the homes sold in 44 Ranch “their lots are actually sold direct to builders for spec homes” that meet quality workmanship standards sought by the developer. It is a workable approach but adds a layer of complexity to this particular issue.

It is too early to say if the entire block of lots near the ditch will be purchased by a singular builder. However, if multiple builders are involved there is an absolute need to coordinate grading efforts so that **drainage is always away from the home.** Will that level of cooperation exist among multiple builders?

Water is often a powerful attraction to children. Demonstrate that protection is built into the housing plan that addresses this important safety concern. All things considered, the culvert is a vast improvement for all concerned.

End Notes

The Captain John Mullan Leadership Council has access to various photos, depositions and written documents and mediations supporting the difficulties discussed relative to flooding. We have pointed toward other aspects of the project that need further discussion and or revisions. In the end, we all want to make a good project better. We hope you will examine it as well.

Sincerely,

Note: This was hand delivered to Nick Kaufman Feb. 24th at a Capt. John Mullan meeting.

Finally, I am willing to meet with any city staff member that wants a better understanding of the George Elmer corridor and the proposed subdivision. Again, I do not oppose the project but want modifications, outlined above, to be part of the approval process.

Sincerely,

John Hancock
721-2789

cc: Barb Blanchard, Flynn Ranch HOA President

Planning Board Summary

Adopt the Heron's Landing Neighborhood Character Overlay District, Apply the Overlay to Tracts 1 and 2 of COS 5963, and Preliminarily Approve the Heron's Landing Phased Subdivision Plat and Application

Planning Board Recommendations:

On Tuesday, August 18, 2020 with 9 members present, the Missoula Consolidated Planning Board voted 8 ayes, 0 nays, and 1 abstention to recommend adoption of the Heron's Landing Neighborhood Character Overlay District and to 'overlay' or apply the new zoning rules onto the base RT5.4 Residential zoning on Tracts 1 and 2 of Certificate of Survey No. 5963 based on the findings of fact in the rezoning staff report.

In separate motions, the Missoula Consolidated Planning Board also voted 7 ayes, 1 nay, and 1 abstention to recommend approval of the 8 variance requests and to preliminarily approve the Heron's Landing Phased Subdivision plat and application subject to recommended conditions based on the findings of fact in the subdivision staff report.

Planning Board's Recommended Motions:

Zoning

Approve the adoption of an ordinance to establish the Heron's Landing Neighborhood Character Overlay District and to rezone the subject property from RT5.4 Residential to RT5.4 Residential with a Heron's Landing Neighborhood Character Overlay District based on the findings of fact in the staff report.

Subdivision

1. **Approval** of the variance request to allow the right-of-way width for George Elmer Drive to be 80 feet instead of 90.
2. **Approval** of the variance request to allow the right-of-way width for Chuck Wagon Drive to be 80 feet instead of 90.
3. **Approval** of the variance request to allow Block A on the block length variance exhibit to be longer than 480 feet.
4. **Approval** of the variance request to allow Blocks B, C, D, E, F, G, and J on the block length variance exhibit to be longer than 480 feet.
5. **Approval** of the variance request to allow Block H on the block length variance exhibit to be longer than 480 feet.
6. **Approval** of the variance request to allow Block I on the block length variance exhibit to be longer than 480 feet.
7. **Approval** of the variance request to allow a 10-foot secondary commuter trail within an additional 6 ½-foot easement instead of a sidewalk along portions of Nesting Lane, Heron's Landing Drive and George Elmer Drive.

8. **Approval** of the variance request to allow Heron's Landing Drive, Audubon Loop, and Nesting Lane to have 60-foot rights-of-way instead of 70.
9. **Preliminary Approval** of the Heron's Landing Phased Subdivision plat and application.

Planning Board's Recommended Conditions of Subdivision Approval:

The Planning Board recommended the following conditions of approval, as listed in the staff report.

Streets, General

1. All street and non-motorized improvements shall be designed and built in accordance with City of Missoula Public Works Standards and Specifications and City of Missoula Subdivision Regulations (except as modified by variance). All plans must comply with Americans with Disabilities Act requirements. All plans must be reviewed and approved by the City Engineer in accordance with City policies. *City Subdivision Regulations Section 3-020.2*
2. The subdivider shall provide a street naming exhibit to be reviewed and approved by Development Services prior to final plat filing of the first phase. *Subdivision Regulations Section 3-020.12*
3. The subdivider shall provide a street signage plan in accordance with the Manual on Uniform Traffic Control Devices to be reviewed and approved by the City Engineer and City Fire Department prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-020.4(H)(2)*
4. The following statement shall appear on the face of each plat, in the covenants, and on each instrument of conveyance:
"Acceptance of a deed for a lot within this subdivision shall constitute the assent of the owners to any future SID/RSID, based on benefit, for the upgrading of streets within this subdivision, including but not limited to paving, curbs and gutters, non-motorized facilities, street widening and drainage facilities" *City Subdivision Regulations Section 5-050.4(M&N)*
5. All proposed rights-of-way shall be dedicated to the public on the face of each plat and approved by the City Engineer. *City Subdivision Regulations Section 3-020.3.B*
6. All proposed easements, except as modified by these conditions, shall be shown on the face of each plat and identified for their width and purpose, including easements for vehicular and pedestrian access, utilities, and irrigation ditches. *City Subdivision Regulations Section 3-060.1*

Specific Streets

7. George Elmer Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to George Elmer Drive shall be constructed prior to final plat approval of the first east phase or phase W2, W3, or W4, whichever is platted first. *Subdivision Regulations Table .2A modified by variance.*
8. Chuck Wagon Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to Chuck Wagon Drive shall be constructed prior to final plat approval of Phase W1, W5, W6 or W7. *Subdivision Regulations Table .2A modified by variance.*

9. Heron's Landing Drive, Nesting Lane, and Audubon Loop shall be designed and built to Low Density Urban Local Street standards including two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within 60-foot rights-of-way. The subdivider shall provide an additional access and utility easement at least one foot wide along the outer edge of the sidewalks and secondary commuter trail along these streets to allow for maintenance. *Subdivision Regulations Table .2A modified by variance, Correspondence with City Engineer.*

Drainage

10. The subdivider shall submit complete grading and drainage plan prior to final plat approval of the first phase showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities shall be constructed in accordance with the approved plan and accommodate the planned runoff from all upgradient phases. *City Subdivision Regulations Section 5-020.11*

Transit

11. The subdivider shall petition for the property to be included in the Missoula Urban Transportation District prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-010.7 and 3-020.1, City of Missoula Annexation Policy*

Water System and Sewer System

12. The subdivider shall submit plans for water supply and sewage disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase. Construction of all water supply and sewer systems shall be in accordance with City policies. *City Subdivision Regulations Sections 3-070.01 and 3-070.04*

Solid Waste

13. The subdivider shall submit plans for solid waste disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first phase. *City Subdivision Regulations Sections 3-070.01*

Parkland

14. The subdivider shall meet the parkland dedication requirement as depicted on the Phasing Plan Exhibit and on the Parkland Dedication Exhibit of the application by providing 5.14 acres of dedicated common area to be maintained by the Heron's Landing Homeowners Association. *City Subdivision Regulations Section 3-080.3.A*
15. The subdivider shall draft an agreement for review and approval of the Parks and Recreation Department and City Attorney to provide for the dedication of land and/or payment of money prior to final platting of each phase. The agreement shall provide for different circumstances including where more than the required land is dedicated per phase, where an insufficient amount of land is dedicated per phase and cash is also required to make up for the insufficient amount of land, and where refunds may be issued by the City when more land is dedicated than needed to meet the dedication requirement. The agreement shall be submitted, reviewed and approved prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-080.6*

16. When cash is proposed to be provided instead of land, the amount shall be equal to the fair market value of the amount of land that is statutorily required to be dedicated for that phase. The fair market value shall be determined by a Montana certified general real estate appraiser, hired and paid by the subdivider. Fair market value means the value of the unsubdivided, unimproved land based on the zoning designation that applies to the property at that time. The City reserves the right to require a separate appraisal for each phase. *City Subdivision Regulations Section 3-080.7*
17. The subdivider shall submit a park and common area landscape and maintenance plan and a boulevard landscaping plan to be reviewed and approved by the City Parks and Recreation Department prior to final plat filing of the first phase. *City Subdivision Regulations Section 5-050.4*

Covenants, Conditions, and Restrictions

18. Final covenants, conditions, and restrictions meeting the requirements of City Subdivision Regulations Section 5-020-14.K shall be submitted for review and approval prior to final plat filing of the first phase. *City Subdivision Regulations Section 5-020-14.K*

Non-Motorized Transportation Facilities

19. The subdivider shall provide five-foot sidewalks along all street frontages (except for where the Secondary Commuter Trail is to be located) and at the proposed mid-block locations depicted on the circulation plan exhibit. The subdivider shall provide a 10-foot Secondary Commuter Trail in the locations, dimensions, and within the rights-of-way and easements proposed in the preliminary plat phased subdivision submittal and approved by City Council. All sidewalk and trail plans, including specifications for ADA accessibility and safe street crossings, shall be reviewed and approved by the City Engineering and Parks and Recreation departments prior to approval of the first phase. Construction of the non-motorized transportation facilities shall occur as proposed in the application submittal and as required to serve each phase. *City Subdivision Regulations Section 3-020.15 and Table .2A*

Fire Protection

20. The subdivider shall provide plans for address signage and a fire hydrant plan for review and approval prior to final plat filing of the first phase. All approved fire protection improvements shall be installed in accordance with the approved plans. *City Subdivision Regulations Section 3-010.1.F*

Noxious Weeds

21. The Weed Management and Revegetation Plan for Heron's Landing shall be appended to the covenants, conditions and restrictions. The subdivider shall provide evidence of plan implementation and noxious weed control prior to final plat filing of each phase. *City Subdivision Regulations Section 5-020.14.K*

Airport Influence Area

22. Each final plat shall include the following statement:
This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Heron's Landing Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase. *City Subdivision Regulations Section 3-010.2*

Easements

23. Each final plat shall show utilities within easements and public rights-of-way for review and approval by the City Engineering Division prior to final plat filing of each phase. *City Subdivision Regulations Section 3-060.*

Zoning

24. The Heron's Landing Neighborhood Character Overlay Zoning District shall be adopted concurrent with City Council approval of the subdivision request based on the findings.

Planning Board Discussion:

Planning Board discussion included the following:

- The application does not adequately address impacts to wildlife and wildlife habitat and the natural environment. We have lost too much agricultural land already. Habitat for bird species was not adequately considered.
- Frustration that the Mullan Area Master Plan is moving forward at the same time as this application and uncertainty whether this application complies with the plan.
- Airport officials recently spoke to the board about NOT wanting a lot of wildlife in the area.
- This is not sprawl. The City is developing and connecting transportation corridors to serve this growth. Development here makes sense if there is a growth boundary.
- If we are going to develop this area it should be denser.
- On balance, this project complies with the growth policy, a plan developed through a robust public outreach process. This project would help to address housing needs.
- Farmland should be more strongly incorporated into this project. An acre or 1.5 acres can feed a lot of people. The subdivider is encouraged not to eliminate the irrigation ditch.

See the Planning Board Minutes for further Planning Board discussion.

From: Karen Wilson
To: [Dave DeGrandpre](#)
Subject: Grant Creek zone request
Date: Tuesday, August 25, 2020 9:06:27 PM

Mr Grandepre, I submitted my concerns with the zoning change to the Grant Creek acreage prior to the first hearing. While I have been unable to log into subsequent meetings online, I am concerned that the traffic concerns for Stonebridge drive are being overlooked by the interstate intersection issues.

Once again, I would urge you to consider how your own experience, sitting on the back porch of your condo that you own with essentially no traffic passing by, to 222/hour over a 16 hour period with the zoning as is, and 322/hour over a 16 hour period with the 950 units. This greatly impacts this immediate neighborhood which is currently quiet and peaceful which was why the property was attractive to me in the first place. I fear this will reduce my property value as it will be much less desirable with the full build out if allowed.

Seems concerns have been aired about those needing more affordable housing. There is also DESIRABLE housing needed and this project will impact mine as such! Seems very unfair to current owners, and the Grant Creek neighborhood plan in general. Sincerely, Karen Wilson

Sent from my iPhone

From: Steven & Rebekah Bleecker
To: caps@missoulacounty.us; [Jessica Miller](#); [Grp. City Council and City Web Site](#); [Mayor Staff](#); [Kevin Slovark](#); [Mike Haynes](#); [Dave DeGrandpre](#)
Cc: [Mary Maynard](#); [44 Ranch Estates Neighbors](#); [Ryan Salisbury](#); [Alan Maynard](#); [Lisa Helean](#); [RICHARD DOMBROUSKI](#)
Subject: Re: Heron's Landing
Date: Wednesday, August 26, 2020 9:51:36 PM

City/County Officials,

I too question points of information presented however think it's important to clarify, we recognize that WGM is a private company acting as planner and owners representative, not in a governing capacity.

It is the responsibility of our local planners and governing bodies to review previous conditions of approval and commitments made by them, not only by WGM.

I echo and have reattached the comment made on the engagemissoula page by our neighbor Rich recounting the 2005 legal protest. Rather than paraphrasing, I encourage you to review and vet the information presented.

I'm sure everyone on this thread prefers to avoid legal action. We ask that our claim is reviewed and if sound, responded to in kind.

 engagemissoula.com



Q

In 2005 the existing neighborhood of 44 Ranch Estates filed a legal protest with The Missoula County Office of planning and grants with respect to the planned development of the 44 Ranch development surrounding our neighborhood. After many hours and meetings with the County planning and zoning concessions were agreed to limit density around our existing development to two houses per acre and establishing Chuck Wagon Drive as a collector street to carry traffic in the future. With these agreed changes the protest was lifted and approval granted for the subdivision to move forward. A letter signed by WGM, Mr. Nick Kaufman dated May 11, 2005 summarizes these points and again stated that only 2 dwelling units per acre will be built adjacent to Roundup Drive. In review of the Herons Landing plat map the lots adjacent to Roundup Drive on the east side of roadway are only 8000 square



the east side of roadway are only 8900 square feet or less than the half acre size stipulated by the past agreement with the County planning and zoning office. The 44 Ranch Estate neighborhood expects the City and County to meet the past agreement which was required to lift our protest. The density requirements of a single row of half acre lots around the neighborhood was not development specific to only 44 Ranch and was an agreement with the County and City of Missoula to respect our neighborhood character and property values. We request the developer resubmit the plat with a single row of half acre lots which border our East property lines along Rounup Drive. Respectfully submitted Richard Dombrowski. Resident 44 Ranch Estates.

RichardDombrowski asked, 21 days ago

I appreciate your thoughtful consideration.

Thank you in advance,

Steve Bleecker
2185 Roundup Dr
406-360-3862

Sent from my iPhone

On Aug 26, 2020, at 4:24 PM, Mary Maynard <bukomaynard@gmail.com> wrote:

Please forward this email to all planning board members. Thank you.

On August 18, 2020 a planning board meeting was held regarding Heron's Landing. During the meeting and public comment there were comments concerning 1/2 acre lots surrounding 44 Ranch Estates (which are all 1 acre lots). A few board members asked Nick Kaufman why the residence of 44 Ranch Estate thought 1/2 acre lots were a condition for the surrounding subdivisions. Mr. Kaufman was dishonest and stated he would **never** tell the residents of 44 Ranch Estates that they would be surrounded by 1/2 acre lots. The board approved the subdivision under misinformation.

Please see attached Meeting Record from June 12, 2019, page 5. Nick states "half acre tracts up against 44 Ranch Estates."

There are a number of meeting minutes and letters from WGM that state 1/2 acre lots will surround 44 Ranch

Estates. At every meeting that Nick Kaufman and WGM attended with the residents of 44 Ranch Estate it was stated that 1/2 lots would surround 44 Ranch Estates.

If you would like me to locate other meeting minutes where it was a condition to approve the subdivisions, that 44 Ranch Estate would be surrounded by 1/2 acre lots, I can obtain them. Or, maybe Mr. Kaufman can provide them to you as he stated he could during the board meeting.

Therefore, the planning board approved this subdivision with misinformation provided by Mr. Kaufman, and the lots next to 44 Ranch Estates are not 1/2 acres.

Can you please let me know what can be done at this point?

Thank you. I appreciate your willingness to address this issue.

Mary Maynard
44 Ranch Estates

On Wed, Aug 26, 2020 at 4:06 PM Mary Maynard <bukomaynard@gmail.com> wrote:

Please forward this email to all planning board members. Thank you.

On August 18, 2020 a planning board meeting was held regarding Heron's Landing. During the meeting and public comment there were comments concerning 1/2 acre lots surrounding 44 Ranch Estates (which are all 1 acre lots). A few board members asked Nick Kaufman why the residence of 44 Ranch Estate thought 1/2 acre lots were a condition for the surrounding subdivisions. Mr. Kaufman was dishonest and stated he would **never** tell the residents of 44 Ranch Estates that they would be surrounded by 1/2 acre lots. The board approved the subdivision under misinformation.

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There are a number of meeting minutes and letters from WGM that state 1/2 acre lots will surround 44 Ranch Estates. At every meeting that Nick Kaufman and WGM attended with the residents of 44 Ranch Estate it was stated that 1/2 lots would surround 44 Ranch Estates.

If you would like me to locate other meeting minutes where it was a condition to approve the subdivisions, that 44 Ranch Estate would be surrounded by 1/2 acre lots, I can obtain them. Or, maybe Mr. Kaufman can provide them to you as he stated he could during the board meeting.

Therefore, the planning board approved this subdivision with misinformation provided by Mr. Kaufman, and the lots next to 44 Ranch Estates are not 1/2 acres.

Can you please let me know what can be done at this point?

Thank you. I appreciate your willingness to address this issue.

Mary Maynard
44 Ranch Estates

<Meeting Minutes June 12, 2019.pdf>

From: Mary Maynard
To: [Steven & Rebekah Bleecker](#)
Cc: caps@missoulacounty.us; [Jessica Miller](#); [Grp. City Council and City Web Site](#); [Mayor Staff](#); [Kevin Slovarp](#); [Mike Haynes](#); [Dave DeGrandpre](#); [44 Ranch Estates Neighbors](#); [Ryan Salisbury](#); [Alan Maynard](#); [Lisa Helean](#); [RICHARD DOMBROUSKI](#); engen@montana.com
Subject: Re: Heron's Landing
Date: Thursday, August 27, 2020 9:18:25 AM
Attachments: [2005 Email.pdf](#)

Please see attached email from Nick Kaufman dated May 11, 2005. This is the same information that Mr. Bleecker addressed. I wanted to lay the foundation for the statement which is in the form of Mr. Kaufman's email.

Mr. Kaufman was not forthcoming with the correct facts when he explained to the planning board that Mike Flynn would never allow him to agree to 1/2 acre lots (or two dwellings units per acre). The lots between Roundup and Chuck Wagon, which is on the west side of Heron's Landing, must be 1/2 acre lots.

Please provide this information to the planning board and the city council. What needs to be done to correct this wrong?

Thank you,

Mary Maynard

From: fran mcdermott
To: [Dave DeGrandpre](#)
Subject: FW: rezone and Subdivide
Date: Friday, August 28, 2020 11:01:43 AM

Sent from [Mail](#) for Windows 10

From: [fran mcdermott](#)
Sent: Friday, August 28, 2020 10:59 AM
To: degrandpred@ci.mis
Subject: rezone and Subdivide

Greetings: We live on Filly Lane and back up to the area Heron' landing. The weeds there are a problem...there is a lot of what I call Bull Thistle which is not rated noxious but has blanketed our neighborhood with seeds...so many that some residents thought it is cotton. There has been a purple haze of plants leading me to believe that is spotted knapweed. (I do not want to fight my way through the thistles to find out. At the very least these weeds should be knocked down. My other concern is the irrigation ditch runs behind our property...will that be moved when development happens.

I and a number of neighbors have complained to the weed control authorities about the weeds. We received a lame answer that he did not know how to reach the owners of the property. I plan to share that with the county commissioners. Please respond if there will be any future help in controlling the weeds.

Sincerely,
Frances and John McDermott
5381 Filly Lane
406 656 9230

Sent from [Mail](#) for Windows 10

Return to: City Clerk
City of Missoula
435 Ryman Street
Missoula MT 59802-4297

RESOLUTION NUMBER _____

A resolution to annex and incorporate within the boundaries of the City of Missoula, Montana certain parcels of land described as Tracts 1 and 2 of Certificate of Survey No. 5963 located in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West, Principal Meridian Montana, P.M.M. and zone the property RT5.4 Residential, based on the findings of fact in the staff report, subject to the conditions of annexation approval as amended by City Council.

LEGAL DESCRIPTION: Tracts 1 and 2 of Certificate of Survey No. 5963 located in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West, PMM, Missoula County, Montana as shown on Exhibit A attached hereto and made a part hereof.

WHEREAS, Mullan Road Partners, LLC, owner of 100% of the property described herein as Tracts 1 and 2 of Certificate of Survey No. 5963, located in the SE ¼ of Section 12 and the N ½ of Section 13, Township 13 North, Range 20 West, has filed Petition No. 10005 with the City Clerk requesting annexation and waiving the need to prepare a service plan for the annexation; and

WHEREAS, it is the Missoula City Council's decision to consider this petition for annexation pursuant to the statutory annexation by petition method set forth in Title 7 Chapter 2 Part 46 Section 4601 (3)(a)(ii) Montana Code Annotated (MCA); and

WHEREAS, the herein described property is within the City of Missoula Utility Service Area boundary, the City has current and future capacity to serve the property and development; and the owners/developers will pay all costs to extend the municipal sewer and water service to the property; and

WHEREAS, the municipal sanitary sewer system, water system, police, fire protection, parks and other municipal services are available to the tracts described; and

WHEREAS, the Chuck Wagon Drive and George Elmer Drive right-of-way adjacent to the boundaries of the parcels are already within the municipal boundary of the City of Missoula; and

WHEREAS, the City Council desires the annexation and zoning of the herein described property be conditioned upon annexation, subject to the following conditions:

Streets, General

1. All street and non-motorized improvements shall be designed and built in accordance with City of Missoula Public Works Standards and Specifications and City of Missoula Subdivision Regulations (except as modified by variance). All plans must comply with Americans with Disabilities Act requirements. All plans must be reviewed and approved by the City Engineer in accordance with City policies.

2. The subdivider shall provide a street naming exhibit to be reviewed and approved by Development Services prior to final plat filing of the first phase.
3. The subdivider shall provide a street signage plan in accordance with the Manual on Uniform Traffic Control Devices to be reviewed and approved by the City Engineer and City Fire Department prior to final plat filing of each applicable phase.
4. The following statement shall appear on the face of each plat, in the covenants, and on each instrument of conveyance:

“Acceptance of a deed for a lot within this subdivision shall constitute the assent of the owners to any future SID/RSID, based on benefit, for the upgrading of streets within this subdivision, including but not limited to paving, curbs and gutters, non-motorized facilities, street widening and drainage facilities”
5. All proposed rights-of-way shall be dedicated to the public on the face of each plat and approved by the City Engineer.
6. All proposed easements, except as modified by these conditions, shall be shown on the face of each plat and identified for their width and purpose, including easements for vehicular and pedestrian access, utilities, and irrigation ditches.
7. Street lighting shall be installed within the subdivision along Chuck Wagon Drive and George Elmer Drive in accordance with the Missoula Public Works Standards and Specifications Manual. The subdivider shall install lighting along Chuck Wagon Drive and George Elmer Drive prior to filing any plat that abuts those streets as part of that phase’s required improvements. Prior to final plat filing of the first phase, the subdivider shall petition to create a new street light improvement district.

Specific Streets

8. The Heron’s Landing Phased Subdivision is located within the Mullan BUILD project area and George Elmer Drive, which provides access to the subdivision property, is planned to be improved as part of the Mullan BUILD project. Federal funds are planned to pay for a portion of the Mullan BUILD improvements. Funding mechanisms are currently being explored to pay for the remainder of the improvements. The funding mechanisms may include, but are not limited to, a special improvement district, impact fee, latecomers fee, or cost share agreements that allow the City of Missoula and Missoula County to recover the cost of constructing infrastructure from the properties that benefit from the Mullan BUILD project. To the extent that such funding mechanisms(s) is created in accordance with state law and applicable principles of land use law, the subdivider, successors, and assigns shall participate in and be bound by the fees assessed and not oppose the creation of or participation in such a district.
9. Chuck Wagon Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to Chuck Wagon Drive from back of curb to back of curb shall be reviewed and approved adjacent to Phase W1 prior to final plat approval of Phase W1. All improvements to Chuck Wagon Drive from back of curb to back of curb north of Phase W1 shall be reviewed and approved prior to final plat approval of the third west phase. All other street improvements including boulevards and sidewalks shall be reviewed and approved prior to final plat approval of each adjacent phase.
10. Heron’s Landing Drive, Nesting Lane, and Audubon Loop shall be designed and built to Low Density Urban Local Street standards including two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks (except where the Secondary Commuter Trail is to be located) within 60-foot rights-of-way. The subdivider shall provide an additional access and utility easement at least one foot wide along the outer edge of the sidewalks and secondary commuter trail along these streets to allow for maintenance.

Drainage

11. The subdivider shall submit a complete grading and drainage plan prior to final plat approval of each applicable phase showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities shall be constructed in accordance with the approved plan and accommodate the planned runoff from all upgradient phases.

Transit

12. The subdivider shall petition for the property to be included in the Missoula Urban Transportation District prior to final plat filing of the first phase.

Water System and Sewer System

13. The subdivider shall submit plans for water supply and sewage disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of each applicable phase. Construction of all water supply and sewer systems shall be in accordance with City policies.

Solid Waste

14. The subdivider shall submit plans for solid waste disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of each applicable phase.

Parkland

15. The subdivider shall meet the parkland dedication requirement as depicted on the Phasing Plan Exhibit and on the Parkland Dedication Exhibit of the application by providing 5.14 acres of dedicated common area to be maintained by the Heron's Landing Homeowners Association.
16. The subdivider shall draft an agreement for review and approval of the Parks and Recreation Department and City Attorney to provide for the dedication of land and/or payment of money prior to final platting of each phase. The agreement shall provide for different circumstances including where more than the required land is dedicated per phase, where an insufficient amount of land is dedicated per phase and cash is also required to make up for the insufficient amount of land, and where refunds may be issued by the City when more land is dedicated than needed to meet the dedication requirement. The agreement shall be submitted, reviewed and approved prior to final plat filing of the first phase.
17. When cash in lieu of parkland is proposed, the amount shall be equal to the fair market value of the amount of land that is statutorily required to be dedicated for that phase. The fair market value shall be determined by a Montana certified general real estate appraiser, hired and paid by the subdivider. Fair market value means the value of the unsubdivided, unimproved land based on the zoning designation that applies to the property at that time. The City reserves the right to require a separate appraisal for each phase.
18. The subdivider shall submit a park and common area landscape and maintenance plan and a boulevard landscaping plan to be reviewed and approved by the City Parks and Recreation Department prior to final plat filing of each applicable phase.

Covenants, Conditions, and Restrictions

19. Final covenants, conditions, and restrictions meeting the requirements of City Subdivision Regulations Section 5-020-14.K shall be submitted for review and approval prior to final plat filing of the first phase.

Non-Motorized Transportation Facilities

20. The subdivider shall provide five-foot sidewalks along all street frontages (except for where the Secondary Commuter Trail is to be located) and at the proposed mid-block locations depicted on the circulation plan exhibit. The subdivider shall provide a 10-foot Secondary Commuter Trail in the locations, dimensions, and within the rights-of-way and easements proposed in the preliminary plat

phased subdivision submittal and approved by City Council. All sidewalk and trail plans, including specifications for ADA accessibility and safe street crossings, shall be reviewed and approved by the City Engineering and Parks and Recreation departments prior to final plat filing of each applicable phase. Construction of the non-motorized transportation facilities shall occur as proposed in the application submittal and as required to serve each phase.

21. The subdivider shall provide a five-foot ADA accessible asphalt path connecting to existing sidewalks north of Heron's Landing along Chuck Wagon Drive in conjunction with Phase W1 and George Elmer Drive in conjunction with Phase W2 as depicted on the Phase Plan Exhibit.

Fire Protection

22. The subdivider shall provide plans for address signage and a fire hydrant plan for review and approval prior to final plat filing of each applicable phase. All approved fire protection improvements shall be installed in accordance with the approved plans.

Noxious Weeds

23. The Weed Management and Revegetation Plan for Heron's Landing shall be appended to the covenants, conditions and restrictions. The subdivider shall provide evidence of plan implementation and noxious weed control prior to final plat filing of each phase.

Airport Influence Area

24. Each final plat shall include the following statement:

This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Heron's Landing Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase.

WHEREAS, the tracts described herein are currently zoned C-RR1 Residential in the County and the recommended zoning in the City is RT 5.4 Residential in accordance with MCA 76-2-303 (3)(a) and Missoula Municipal Code criterion 20.85.040(I)(2c), it is the intention of the City of Missoula to annex this property with the recommended city zoning. FURTHER, the parcel is situated adjacent to City Council Ward Area No. 2 and the Captain John Mullan Neighborhood Council District, and it is the intention of the Council to add this parcel to said Ward and Neighborhood Council District; and

WHEREAS, in the judgment of the City Council of the City of Missoula, it is deemed to be in the best interest of the City of Missoula, the inhabitants thereof and the current and future inhabitants of the tracts and parcels of land described herein, which have petitioned for annexation and are within the urban growth boundary, that the boundaries of the City of Missoula shall be extended to include the same within the corporate limits.

NOW THEREFORE BE IT RESOLVED that it is the decision of the City Council of the City of Missoula to incorporate and annex into the City's jurisdictional boundary the herein described property, apply city zoning as stated within, and assign the property to the said Ward and Neighborhood Council District; and

BE IT FURTHER RESOLVED that the City Clerk, pursuant to Section 76-2-303 and 7-1-4127 MCA, published in the newspaper of general circulation in the City of Missoula, which newspaper is nearest to the said land being considered for annexation, at least once a week for two successive weeks on 8/30/2020 and 9/6/2020, a notice that a resolution on intention to annex the subject property was duly and regularly passed and that for a period of 15-days after the first publication of the notice, the City Clerk accepted expressions of approval or disapproval in writing of this proposed alteration of the boundaries of the city and zoning until 5:00 p.m. on 9/21/2020 and that a City Council public hearing was held Monday, 9/14/2020 at 6:00 p.m. at the regularly scheduled City Council meeting; and

BE IT FURTHER RESOLVED that if the city annexation of any lot(s), parcel(s), block(s) or tract(s) of land annexed into the city pursuant to this city annexation resolution or any provision of this resolution is ever held to be invalid or unconstitutional, the City Council hereby declares that any such decision shall not affect the validity of the annexation of the remaining lot(s), parcel(s), block(s) or tract(s) of land annexed into the city or the remaining provisions of this resolution. The City Council hereby declares that it would have passed this resolution and annexed each lot(s), parcel(s), block(s) or tracts(s) of land into the city as well as each provision of this resolution irrespective of the fact that the annexation of any one or more lot(s), parcel(s), block(s) or tract(s) of land annexed into the city or provision of this resolution may have been declared invalid or unconstitutional, and if for any reason the annexation of any lot(s), parcel(s), block(s), tract(s) of land or any provision of this resolution should be declared invalid or unconstitutional, then the annexation of the remaining lot(s), parcel(s), block(s) or tracts(s) of land and resolution provisions are intended to be and shall be in full force and effect as enacted by the City Council.

PASSED AND ADOPTED this 21st day of September, 2020.

ATTEST:

APPROVED:

Martha L. Rehbein, CMC
City Clerk

John Engen
Mayor

(SEAL)

Potential changes to conditions of preliminary approval for the Heron's Landing Phased Subdivision Plat and Application

September 11, 2020

Note 1: Montana Code Annotated (MCA) Section 76-3-604(9)(a) states review and approval, conditional approval, or denial of a proposed subdivision may occur only under those regulations in effect at the time a subdivision application is determined to contain sufficient information for review. The Heron's Landing Phased Subdivision application was deemed sufficient for review on May 14, 2020. The City of Missoula Subdivision Regulations Amended June 28, 2010 and 2019 Montana Subdivision and Platting Act were in effect at that time. The 2019 Montana Subdivision and Platting Act includes provisions for phased subdivisions in Section 76-3-617. Those provisions apply to the Heron's Landing Phased Subdivision.

Note 2: The Heron's Landing Phased Subdivision application includes a phasing plan that lists the anticipated platting of W phases to the west of George Elmer Drive and E phases to the east of George Elmer Drive. The subdivider has indicated the sequence of final platting depends in part on construction of George Elmer Drive, which is planned to be developed as part of the Mullan BUILD project. The City of Missoula acknowledges that under 76-3-617, MCA the subdivider may seek to amend the phasing plan in the future, following review and approval by City Council.

Streets, General

1. All street and non-motorized improvements shall be designed and built in accordance with City of Missoula Public Works Standards and Specifications and City of Missoula Subdivision Regulations (except as modified by variance). All plans must comply with Americans with Disabilities Act requirements. All plans must be reviewed and approved by the City Engineer in accordance with City policies. *City Subdivision Regulations Section 3-020.2*
2. The subdivider shall provide a street naming exhibit to be reviewed and approved by Development Services prior to final plat filing of the first phase. *Subdivision Regulations Section 3-020.12*
3. The subdivider shall provide a street signage plan in accordance with the Manual on Uniform Traffic Control Devices to be reviewed and approved by the City Engineer and City Fire Department prior to final plat filing of ~~the first~~ each applicable phase. *City Subdivision Regulations Section 3-020.4(H)(2)*
4. The following statement shall appear on the face of each plat, in the covenants, and on each instrument of conveyance:
"Acceptance of a deed for a lot within this subdivision shall constitute the assent of the owners to any future SID/RDSID, based on benefit, for the upgrading of streets

within this subdivision, including but not limited to paving, curbs and gutters, non-motorized facilities, street widening and drainage facilities” *City Subdivision Regulations Section 5-050.4(M&N)*

5. All proposed rights-of-way shall be dedicated to the public on the face of each plat and approved by the City Engineer. *City Subdivision Regulations Section 3-020.3.B*
6. All proposed easements, except as modified by these conditions, shall be shown on the face of each plat and identified for their width and purpose, including easements for vehicular and pedestrian access, utilities, and irrigation ditches. *City Subdivision Regulations Section 3-060.1*
- ~~6.7. Street lighting shall be installed within the subdivision along Chuck Wagon Drive and George Elmer Drive in accordance with the Missoula Public Works Standards and Specifications Manual. The subdivider shall install lighting along Chuck Wagon Drive and George Elmer Drive prior to filing any plat that abuts those streets as part of that phase’s improvements. Prior to final plat filing of the first phase, the subdivider shall petition to create a new street light improvement district. *Missoula Public Works Standards and Specifications Manual Section 7.3.6*~~

Specific Streets

- ~~7.8. George Elmer Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to George Elmer Drive shall be constructed prior to final plat approval of the first east phase or phase W2, W3, or W4, whichever is platted first. *Subdivision Regulations Table .2A modified by variance.* The Heron’s Landing Phased Subdivision is located within the Mullan BUILD project area and George Elmer Drive, which provides access to the subdivision property, is planned to be improved as part of the Mullan BUILD project. Federal funds are planned to pay for a portion of the Mullan BUILD improvements. Funding mechanisms are currently being explored to pay for the remainder of the improvements. The funding mechanisms may include, but are not limited to, a special improvement district, impact fee, latecomers fee, or cost share agreements that allow the City of Missoula and Missoula County to recover the cost of constructing infrastructure from the properties that benefit from the Mullan BUILD project. To the extent that such funding mechanism(s) is created in accordance with state law and applicable principles of land use law, the subdivider, successors, and assigns shall participate in and be bound by the fees assessed and not oppose the creation of or participation in such a district. (*Montana Code Annotated 76-3-510*)~~
9. Chuck Wagon Drive through the length of the subdivision shall be improved to Urban Collector (with parking) standards as proposed including two 10-foot drive lanes, 6-foot bike lanes, 8-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks within the existing 80-foot wide right-of-way. All improvements to Chuck

Wagon Drive from back of curb to back of curb shall be ~~constructed~~ reviewed and approved adjacent to Phase W1 prior to final plat approval of Phase W1, ~~W5, W6 or W7~~. All improvements to Chuck Wagon Drive from back of curb to back of curb north of Phase W1 shall be reviewed and approved prior to final plat approval of the third west phase. All other street improvements including boulevards and sidewalks shall be reviewed and approved prior to final plat approval of each adjacent phase.
Subdivision Regulations Table .2A modified by variance.

10. Heron's Landing Drive, Nesting Lane, and Audubon Loop shall be designed and built to Low Density Urban Local Street standards including two 10-foot drive lanes, 7-foot parking lanes, curb and gutter, 7-foot boulevards, and 5-foot sidewalks (except where the Secondary Commuter Trail is to be located) within 60-foot rights-of-way. The subdivider shall provide an additional access and utility easement at least one foot wide along the outer edge of the sidewalks and secondary commuter trail along these streets to allow for maintenance. *Subdivision Regulations Table .2A modified by variance, Correspondence with City Engineer.*

Drainage

11. The subdivider shall submit complete grading and drainage~~s~~ plan~~s~~ prior to final plat approval of the first each applicable phase showing proposed grades of streets, proposed drainage facilities, and a storm water pollution prevention plan for all lots, blocks, and other areas meeting Montana DEQ standards and subject to approval of the City Engineer. All drainage facilities shall be constructed in accordance with the approved plan and accommodate the planned runoff from all upgradient phases.
City Subdivision Regulations Section 5-020.11

Transit

12. The subdivider shall petition for the property to be included in the Missoula Urban Transportation District prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-010.7 and 3-020.1, City of Missoula Annexation Policy*

Water System and Sewer System

13. The subdivider shall submit plans for water supply and sewage disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of Environmental Quality prior to final platting of the first each applicable phase. Construction of all water supply and sewer systems shall be in accordance with City policies. *City Subdivision Regulations Sections 3-070.01 and 3-070.04*

Solid Waste

14. The subdivider shall submit plans for solid waste disposal for review and approval of the City Engineer, City/County Health Department, and Montana Department of

Environmental Quality prior to final platting of ~~the first~~each applicable phase. *City Subdivision Regulations Sections 3-070.01*

Parkland

15. The subdivider shall meet the parkland dedication requirement as depicted on the Phasing Plan Exhibit and on the Parkland Dedication Exhibit of the application by providing 5.14 acres of dedicated common area to be maintained by the Heron's Landing Homeowners Association. *City Subdivision Regulations Section 3-080.3.A*

16. The subdivider shall draft an agreement for review and approval of the Parks and Recreation Department and City Attorney to provide for the dedication of land and/or payment of money prior to final platting of each phase. The agreement shall provide for different circumstances including where more than the required land is dedicated per phase, where an insufficient amount of land is dedicated per phase and cash is also required to make up for the insufficient amount of land, and where refunds may be issued by the City when more land is dedicated than needed to meet the dedication requirement. The agreement shall be submitted, reviewed and approved prior to final plat filing of the first phase. *City Subdivision Regulations Section 3-080.6*

17. When cash ~~is proposed to be provided instead of land in lieu of parkland is~~ proposed, the amount shall be equal to the fair market value of the amount of land that is statutorily required to be dedicated for that phase. The fair market value shall be determined by a Montana certified general real estate appraiser, hired and paid by the subdivider. Fair market value means the value of the unsubdivided, unimproved land based on the zoning designation that applies to the property at that time. The City reserves the right to require a separate appraisal for each phase. *City Subdivision Regulations Section 3-080.7*

18. The subdivider shall submit a park and common area landscape and maintenance plan and a boulevard landscaping plan to be reviewed and approved by the City Parks and Recreation Department prior to final plat filing of ~~the first~~each applicable phase. *City Subdivision Regulations Section 5-050.4*

Covenants, Conditions, and Restrictions

19. Final covenants, conditions, and restrictions meeting the requirements of City Subdivision Regulations Section 5-020-14.K shall be submitted for review and approval prior to final plat filing of the first phase. *City Subdivision Regulations Section 5-020-14.K*

Non-Motorized Transportation Facilities

20. The subdivider shall provide five-foot sidewalks along all street frontages (except for where the Secondary Commuter Trail is to be located) and at the proposed mid-

block locations depicted on the circulation plan exhibit. The subdivider shall provide a 10-foot Secondary Commuter Trail in the locations, dimensions, and within the rights-of-way and easements proposed in the preliminary plat phased subdivision submittal and approved by City Council. All sidewalk and trail plans, including specifications for ADA accessibility and safe street crossings, shall be reviewed and approved by the City Engineering and Parks and Recreation departments prior to ~~approval~~ final plat filing of ~~the first each applicable~~ phase. Construction of the non-motorized transportation facilities shall occur as proposed in the application submittal and as required to serve each phase. *City Subdivision Regulations Section 3-020.15 and Table .2A*

~~20.21.~~ The subdivider shall provide a five-foot ADA accessible asphalt path connecting to existing sidewalks north of Heron's Landing along Chuck Wagon Drive in conjunction with Phase W1 and George Elmer Drive in conjunction with Phase W2 as depicted on the Phasing Plan. Subdivision Application Phasing Plan

Fire Protection

~~24.22.~~ The subdivider shall provide plans for address signage and a fire hydrant plan for review and approval prior to final plat filing of ~~the first each applicable~~ phase. All approved fire protection improvements shall be installed in accordance with the approved plans. *City Subdivision Regulations Section 3-010.1.F*

Noxious Weeds

~~22.23.~~ The Weed Management and Revegetation Plan for Heron's Landing shall be appended to the covenants, conditions and restrictions. The subdivider shall provide evidence of plan implementation and noxious weed control prior to final plat filing of each phase. *City Subdivision Regulations Section 5-020.14.K*

Airport Influence Area

~~23.24.~~ Each final plat shall include the following statement:

This property is in the airport influence area and subject to the requirements of the Airport Influence Area Resolution. The Heron's Landing Subdivision may also be within an extended approach and departure zone for a proposed second runway as shown in the Airport Authority's 2004 plan and lot owners should be aware of the resultant safety risk. Lot owners should consult the airport layout plan and any relevant documents to determine the status of the proposed runway location at the time of purchase. *City Subdivision Regulations Section 3-010.2*

Easements

~~24.~~ ~~Each final plat shall show utilities within easements and public rights-of-way for review and approval by the City Engineering Division prior to final plat filing of each phase. City Subdivision Regulations Section 3-060.~~

Zoning

25. The Heron's Landing Neighborhood Character Overlay Zoning District shall be adopted concurrent with City Council approval of the subdivision request based on the findings.

Missoula City Council Administration and Finance Committee Minutes

September 16, 2020

11:15 AM

To register to attend and/or comment: <https://ci-missoula-mt.zoom.us/calendar/list>

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Members present: Stacie Anderson, Mirtha Becerra, John P. Contos, Heather Harp, Jordan Hess, Gwen Jones (chair), Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, Bryan von Lossberg, Heidi West

1. ADMINISTRATIVE BUSINESS

1.1 Roll Call

1.2 Approval of the Minutes

1.2.1 Minutes from the August 26, 2020 meeting

The minutes were approved as submitted.

2. PUBLIC COMMENT

Jones - Reviewed call in information for public comment. Seeing none.

3. COMMITTEE BUSINESS

3.1 Appointment to the Public Art Committee

Jones - The Mayor is nominating Hailey Kern to the Public Art Committee. The Mayor could not be here today. Ms. Kern is a huge volunteer in our community and will bring energy to the committee. Let the record show that Heidi West has joined the meeting. Are there any comments? Seeing none.

Merritt - Made the recommended motion.

Moved by: Julie Merritt

Confirm the Mayor's appointment of Hailey Kern to the Public Art Committee to fill a vacated term beginning immediately and expiring on June 30, 2022.

AYES: (10): Stacie Anderson, Mirtha Becerra, John Contos, Heather Harp, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, and Heidi West

ABSENT: (2): Jordan Hess, and Bryan von Lossberg

Vote results: Approved (10 to 0)

3.2 Local Option Fuel Tax Interlocal Agreement with Missoula County

Jones - Jeremy Keene is here today to talk to us about the local option fuel tax.

Jeremy Keene, Director, Public Works Department - We have an interlocal agreement with Missoula County for the local option tax gas authorized by the State of Montana. It will bring in approximately \$1.1 million annually split between the city and County minus administrative costs. The county will collect this new tax this fall. The first disbursement will be next spring. Questions?

Sherrill - Will you remind everyone how this money can be used?

Keene - The state statute was reviewed. It is broad. We anticipate using this for street maintenance and our capital improvement program (CIP).

Harp - How are you going to prioritize those projects?

Keene - This will be part of our budget process; a portion to our maintenance fund and part to our CIP process.

Merritt - How did we arrive at a 50/50 split with the County?

Keene - It was a local political decision. The County has slightly more road miles than the City and the City has a greater population than the County so a 50/50 split was decided on.

Vasecka - Don't we also get a State gas tax? If that is true, what is the total amount we will get?

Keene - We get two additional State taxes: the State gas tax and BaRSAA (Bridge and Road Safety and Accountability Act). I don't know the State gas tax amount, but we get about \$1 million from BaRSAA. They are both larger revenues than this will be.

Becerra - Can this money be used for our complete streets resolution - non-motorized?

Keene - Sidewalks are part of our streets but we cannot use it for stand alone bike paths. When we do a sidewalk project that we subsidize we can use it there.

Harp - Please remind us what our needs are for transportation maintenance?

Keene - Deferred maintenance is about \$7 million a year. We are doing a survey to look at this in a more scientific way. We will need to supplement the street maintenance budget to maintain our service. We need to put more money into maintenance and this is one of the ways we can do that. We choose what condition of the streets we are willing to accept. Most streets now are at a 60 - 70% range.

Jones - We have talked about how we don't put enough money into our streets. This will be helpful. We have a freeze/thaw cycle that chews up our streets.

Anderson - The voters realize that we do need to put more investment into our roads - that is why this passed. I'm glad to see this come through.

Moved by: Julie Merritt

Approve and authorize the Mayor to sign an Interlocal Agreement with the Missoula County to define roles and responsibilities of the County and the City in the collection, administration, and distribution of revenues from the Local Option Fuel Tax.

AYES: (10): Stacie Anderson, Mirtha Becerra, John Contos, Heather Harp, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, and Heidi West

ABSENT: (2): Jordan Hess, and Bryan von Lossberg

Vote results: Approved (10 to 0)

4. ADJOURNMENT

11:31am

Missoula City Council Land Use and Planning Committee Minutes

September 16, 2020

1:15 pm

To register to attend and/or comment: <https://ci-missoula-mt.zoom.us/calendar/list>

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Members present: Mirtha Becerra, John P. Contos, Heather Harp, Jordan Hess, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, Heidi West

Members absent: Stacie Anderson, Bryan von Lossberg

1. ADMINISTRATIVE BUSINESS

The meeting was called to order at 1:16 pm.

1.1 Roll Call

1.2 Approval of the Minutes from 8/26, 9/2, and 9/9/20

The minutes were approved as submitted..

1.2.1 Minutes from August 26, 2020

1.2.2 Minutes from September 2, 2020

1.2.3 Minutes from September 9, 2020

2. PUBLIC COMMENT

There was no public comment.

3. COMMITTEE BUSINESS

3.1 Referral – Staff Report for 365-375 Scott Street Group Living Conditional Use

Kaitlin McCafferty with Development Services presented the staff report on 365-375 Scott Street Group Living Conditional Use. The owner of the subject property is 1029 W Pine Partnership (Jerry Dirnberger), represented by Jules Landis with In2itive Architecture.

The applicant is proposing two group living structures with 23 bedroom suites that have shared kitchen and gathering spaces, for a total of 46 suites on this parcel.

Ms. McCafferty showed the location of the subject property and reviewed the zoning. The subject property is zoned C1-4 Neighborhood Commercial/DE-D Design Excellence Overlay: Gateway. According to Title 20, Section 20.10.020, a Group Living use requires conditional use approval to operate in the C1-4 zoning district. Title 20 defines Group

Living as "Residential occupancy of a dwelling by other than a 'household' typically providing communal kitchen/dining facilities."

Our Missoula Growth Policy designates the property for urban center land use. Urban center is a land use that's intended to address the concentration of downtown uses, including commercial office, retail, arts and entertainment, eating and drinking establishments, and residential uses.

Ms. McCafferty showed the current condition of the site, and a current schematic of the proposed projects. There will be two buildings, both with 23 bedroom suites, with shared kitchen and living spaces. The allowable density for group living use is calculated per Title 20, and includes 2.7 residents per 1000 square feet in parcel area in this zoning district. The subject property is just above 17,000 square feet, allowing for 47 residents on this property. Forty-six bedroom suites are proposed. One resident per bedroom suite would be permitted.

In order to comply with Title 20 requirements on density, staff is recommending a condition of approval requiring the applicant limit the density to one resident per bedroom suite, and provide a copy of the lease agreement that includes this restriction prior to building permit approval.

The site plan was reviewed, as were the proposed parking and bike parking spaces to be provided.

There are two proposed conditions of approval for this conditional use, including that the property shall comply with all applicable portions of Title 20, and that the applicant shall restrict density to one resident per bedroom suite.

The committee discussed concerns over bike theft in multi-family dwellings. Jules Landis, on behalf of the applicant, stated that it was their intent to make this long-term bike parking with a roof and a fence. The details about how vehicle parking will be allocated at the property have not been ironed out yet.

The committee asked about the intended demographic group. Jules Landis stated that this site is intended to be a co-housing or "pod style" living arrangement, very similar to dorms on college campuses. The target would include employees of the businesses in the surrounding area: the hospital, retail, and restaurants.

Title 20 requires density be kept at one person per bedroom suite. There was some discussion about how that would be enforced.

Mary McCrea with Development Services clarified that this particular section of Title 20 had not anticipated the pod living arrangement. Group living typically applies to community residential facilities. Title 20 puts limits on density to help address public facility and service demands, and prevent overcrowding.

A committee member expressed their concern about accessibility to the upper floors of the proposed structures.

In terms of parking, there was a question as to whether Fresh Market had been approached about a shared parking agreement. Marie with In2itive stated that the owner has approached Montana Glass but not Fresh Market.

The committee asked about the possibility of a manager living on site, and what the price point of the units would be. Mr. Landis stated that the owner has considered having a manager on site, and that the goal of the cost per unit is to make it affordably priced; it's aimed at under market to make it accessible to all.

The committee returned to the question of one resident per room. It was clarified that that enforcement is outside the city's ability to monitor. Ms. McCrea further explained that the intent of the condition is that the applicant show that they can comply with the zoning density restriction by providing the lease agreement; it is up to the owner to enforce that agreement. If there's a problem with overcrowding, it may come up as a violation and the City would then have to work with the property owner to bring it in compliance.

There was no public comment.

Pre-public hearing; informational only.

3.2 Referral – Staff Report for 2275 N Reserve Street Tavern and Casino Conditional Use

Cassie Tripard with Development Services provided a staff report concerning 2275 N Reserve St Tavern and Casino Conditional Use, brought forth by Jeff Maphis of JCM Architecture on behalf of Club Properties LLC. She reviewed the location and its current zoning: C2-4 Community Commercial. The project was reviewed for compliance with Design Excellence standards and was found to comply.

Our Missoula Growth Policy recommends a land use design of regional commercial and services for this site. Areas designated as such are for commercial uses that serve the needs of the broader region.

Ms. Tripard showed photos of the existing structure. While Title 20 landscaping chapter was not triggered by the proposed plan, the owner will voluntarily improve landscaping. She reviewed the proposed site plan. The building footprint will not change aside from an added vestibule area at the rear entry. There will be no increase in required parking. Renderings of the proposed project were shown.

Ms. Tripard reviewed the conditional use review criteria, including if the proposed use has compatible operating characteristics with the surrounding neighborhood. The existing lighting will remain, but if any new site or building lights are installed, it must be reviewed by Development Services. The site is not expected to generate additional traffic.

The condition of approval for this conditional use includes that the site shall comply with all applicable portions of Title 20 and Design Excellence Review approval.

There was no public comment.

Pre-public hearing; informational only.

4. ADJOURNMENT

Meeting was adjourned at 1:53 pm.

Missoula City Council Parks and Conservation Committee Minutes

September 16, 2020

10:30 AM

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Members present: Stacie Anderson, Mirtha Becerra, John P. Contos, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill (chair), Sandra Vasecka, Heidi West

Members absent: Heather Harp, Jordan Hess, Bryan von Lossberg

Others present: Staff Present: Corena Maurer, Jolanda Cummings, Cara Grewell, David Selvage

1. ADMINISTRATIVE BUSINESS

1.1 Roll Call

1.2 Approval of the Minutes from August 26, 2020

The minutes were approved as submitted.

2. PUBLIC COMMENT

None.

3. COMMITTEE BUSINESS

3.1 Agreement – County/City Fairgrounds trail

David Selvage presented the proposed Fairgrounds Trail Agreement.

Heidi West joined the meeting.

Mr. Selvage discussed what the agreement will cover.

Stacie Anderson joined the meeting.

Amber Sherrill is excited about the agreement and the amenities it will bring.

Julie Merritt states the maps attached to the agreement are clear and need to be resent.

Sandra Vaseka asked who is responsible for maintenance. Mr. Selvage stated Parks & Recreation is and will continue to be the responsible party.

Gwen Jones provided some history and context to the agreement. This agreement creates connectivity.

Moved by: Julie Merritt

approve the County-City Agreement for Fairgrounds trails and authorize the Mayor to sign agreement.

AYES: (9): Stacie Anderson, Mirtha Becerra, John Contos, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, and Heidi West

ABSENT: (3): Heather Harp, Jordan Hess, and Bryan von Lossberg

Vote results: Approved (9 to 0)

4. ADJOURNMENT

The meeting was adjourned at 10:42 am.

Submitted by: Corena Maurer

City of Missoula Parks & Recreation

Missoula City Council Public Safety and Health Committee Minutes

September 16, 2020

9:00 AM

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Watch live on Spectrum Cable Channel 190

Members present: Stacie Anderson (chair), John P. Contos, Mirtha Becerra, Heather Harp, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, Heidi West

Members absent: Jordan Hess, Bryan von Lossberg

1. ADMINISTRATIVE BUSINESS

Stacie begins the meeting at 9:04 am and shares with public how to participate in today's meeting.

1.1 Roll Call

1.2 Approval of the Minutes for August 26, 2020

Minutes for the August 26th meeting have some edits and amendments to make. Stacie asked if there are any other amendments than Ms. Merritt's. Seeing none, minutes are approved with noted amendments.

3. COMMITTEE BUSINESS

3.1 Update from Criminal Justice Coordinating Council and Criminal Justice Services Division-Jail Data Analysis, Update on Mobile Crisis Unit, Intro to Jail Review Team

Stacie moved to the regular agenda item, which is an update from the Criminal Justice Services Division regarding jail data analysis, as well as a quick update on the mobile crisis unit.

Stacie turns the meeting to fellow safety health co-chair, Julie Merritt, who is the one who brought forward this referral to introduce this item. Julie thanks, Stacie and introduces Kristen Jordan with the Criminal Justice Services Division to give an update on the Jail Review Team (JRT) and Quinn Ziggler, the data analyst for that department. He's going to give an update on the jail population data that they've been tracking.

Kristen Jordan first notes that the division has changed its name recently. Previously the Criminal Justice Coordinating Council, the name was identified as being very confusing because there's also the Criminal Justice Coordinating Council Policy Advisory Board, which was something they helped facilitate and administer. The division has changed its name recently to the Criminal Justice Services Division.

Kristen gave a quick Mobile Crisis Team (MCT) update: "The project is rolling along at a really good pace. Just as a quick reminder, our division put out an RFP for this project, which was awarded to Missoula City Fire Department. The model that we're basing our mobile crisis team off of is kind of a now-famous model called CAHOOTS. Which is a mobile crisis team based out of Eugene OR that's been functioning for nearly 20 years. We're gonna have two teams of three consisting of one mental health professional, one EMT, and one case manager. The case manager will not be part of the front-line staff but will instead provide follow-up services in the days and weeks after the initial 911 call. Missoula Fire is contracting with Partnership Health Center who will be providing the mental health professionals and the case managers and the oversight required with supervising those types of positions."

The timeline for this project is very tight. Fire has already hired the EMTs for this project and Partnerships Health is advertising right now. Fire is planning on having teams on the ground by mid October, which is a little later than we'd anticipated, but they really are moving as quickly as they can and there's still some training and policies and procedures that need to be put in place.

Data Collection for this pilot is really quite heavy and it will be used modify the program as needed along the way. It will also be used to inform the hard ask to the city and the county next budget cycle to ensure the program has ongoing permanent financial support. That is a quick update on mobile crisis. Are there any questions?

No questions.

Kristen moved on to discuss the Jail Review Team (JRT), which may be a bit of a new concept to this committee. JRTs exist all over the country. They work to safely reduce jail populations by taking a look at who's sitting in jail in a pretrial status that might be a good candidate for early release. Around 80 to 85% of jail occupants are in the pretrial status, which means they have not yet been found guilty of a crime. The unintended consequences of pretrial incarceration may include losing a job or secure housing and losing children and/or pets. There may be additional fines and fees related to the operation and a general disconnect from the community, which is key to defendants' success during a legal process. Some defendants are placed in jail pretrial because of a perceived risk of safety to the community. We're not asking for a review on folks like this. Others are there for various reasons, including but not limited to an inability to pay their cash bail or inability to get a chemical dependency evaluation. They also identified a struggle many face - paying for a particular condition of release, such as a requirement for an anger management class; they can't obtain a certificate until they're able to pay for the course, which can be cost-prohibitive. Review teams provide an opportunity for crucial criminal and legal stakeholders to regularly examine the jail population to see if there are cases that can be expedited in one way or another. Since it costs us, here in Missoula County, \$115 per night per inmate, the JRT also plays an important role in keeping costs down. Missoula's daily review team has a representative from the public defender's office, a representative from the jail, a representative from probation and parole, a representative from the city attorney's office, and representatives from the county attorney's office. The team's been meeting for about a year, and we're still trying to find the best way forward. We now have three types of meetings to cut down on meeting times. The first is just for city misdemeanors, and the city prosecutor will attend

that one every week. The next week is for county attorney for misdemeanors and felonies. Then we'll have our county prosecutors the following week.

The JRT is starting to focus on five to ten defendants per week who appear to have perhaps a high cash bail. Particularly because research shows that if cash bail isn't paid within two to three days, the defendant is most likely unable to pay and will remain incarcerated until trial. So, Kristen notes, we're looking at people with high bail and folks who've been to jail perhaps a little bit longer than it seems like they should be. We're starting this approach this week. This is a really brief introduction to our jail review team and Kristen asked if there were any questions.

Stacie says there are no questions from the committee and thanks Kristen for the really thorough job.

Kristen turns it over to Quinn Ziegler, the data analyst for their division, and has been working really hard and looking at trends in our current jail, pre COVID and during COVID to present and update on what's happening in our local jails.

Stacie thanks Kristen again and notes that Ms. Heather Harp has joined the meeting. She also noted that at this point the Youtube live stream is not currently running and apologizes for the technical issues, but we'll continue to move on. She welcomes Mr. Ziegler and turns the meeting over to him.

Quinn shares his screen with the committee. "I'm going to talk today a little bit about the population growth that we witness at the Missoula County Detention Facility over the past six months. For those of you that weren't able to join the presentation that I gave earlier in July, it's largely going to be the same, but with some updated data for July and August. Overall the takeaways in terms of what we're seeing in the trends are largely the same."

Quinn displays a graph noting what is happening with the jail's daily population. The top chart is what the daily population is at the detention facility from January 1 of this year through August 31. He points out that on March 17, we start to see a drop in jail population; there is a drop from a high of 182 individuals to a low of 97 by April 2. "This change in our jail population is initiated by changing the admissions policy at the detention facility. The change bars the admission of any individual charged with a nonviolent misdemeanor or failure to appear where the underlying charges a nonviolent misdemeanor. Between the start of April and about April 17, the population remains around its lowest point. We're sort of floating around that 97 to about 108 individuals incarcerated per day. After April 17, that's where we see the daily population climb and climb consistently to reach the high 140s by the end of June. So since that last presentation I gave, the population sort of stabilized and at that point and largely remained at the mid 130s to mid 140s through July and August. The tail end of August really particularly concentrated on the last week we see the population increase again hitting a high of 170 on August 31 which is the highest daily population we have seen at the jail in this post COVID era.

"Since my last presentation, the population actually stabilized at that point and largely remained in the mid 130s to mid 140s through July and August. But as you'll see here on the tail end of August, really, particularly concentrated in the last week, we see the population increase significantly, again, actually hitting a high of 170. On August, 31, which is the highest daily population we've seen at the jail, sort of in this post COVID era.

I'm going to direct your attention to the chart below. The changes in the daily population that we're seeing over this period are largely mirrored by the changes in the volume.

"Let me direct your attention to the chart below. The changes in the daily population we're seeing over this period are largely mirrored by the changes in the volume of individuals incarcerated at the facility due to a district court or felony hold. Those holds grew from 43% of all holds on April 7 to about 75% of all holds by the end of August. We don't see this same trend appear in our other populations. For example we do see that those are folks held for the Department of Corrections with no other local holds. So pre and post-COVID they remained largely stable in terms of the volume that we saw in the jail. Actually towards July and August, we start to see that population drop off a bit. We have seen some more minor increases in Municipal Court populations a bit as well as other, sort of a catch-all, this might be folks with a couple different holds. This also includes folks who are held for other jurisdictions or other counties. We've seen slight increases in those populations. Still, we haven't seen those return to any sort of pre-COVID levels. They account for a very small percentage of our jail population on a day to day basis; Justice Court misdemeanors as well. They are perennially a really small contributor to the jail population, and as anticipated they have a consistency to remain low.

"The takeaway here is that by the end of August, the volume of District Court holds is essentially returned to our pre-COVID levels. I think the point I want to make is: if the jail were to begin admitting individuals charged with nonviolent misdemeanors again, or we saw rebounds in some of our other populations, we can reasonably expect that the jail population would be back at or above what we saw in the pre-COVID era.

"Moving on, I want to focus specifically on the elderly population at the jail. Here, you see the same sort of chart that we saw on the slide earlier. This is our only population accepted, zoomed in on our period of growth. So, April 1 through August 31 of this year. The blue bottom line here represents 2020. And then we're comparing that to what we saw were the same time period last year in 2019. We can see that the growth rate between April 1 and August 31 shows a generally upward trend in both 2019 and 2020. I think this reasonably points to some of the seasonal fluctuations we might expect in the jail population. However, I would ask you to notice that the rate of growth in 2020 is quite a bit steeper than in 2019. By the end of August, the felony population, as discussed is more or less in line with what was here.

"We focus specifically on the pretrial population we see that this is even more true, where the volume in 2019 of our pretrial population is more or less stable throughout this time period, but in 2020, we see that the rate of growth is quite a bit steeper than in 2019. The difference in incarcerated pretrial individuals between 2019 and 2020 is about 55 individuals here on April 1. We can see by the time that we hit August, we actually are seeing more individuals incarcerated pretrial at the felony level than we did in 2019. Now the majority of our jail is folks on a pretrial are awaiting action status; they contribute to the majority of our jail population. We don't typically have as many sentence folks, and the opposite is true in terms of trends. Generally trending downward in 2020, relative to what we saw in 2019. But again, I just want to emphasize that the sentence population is a much smaller proportion of our jail population. Just typically that pretrial population.

"So the next sort of visual I want to draw your attention to below here is the average length of stay for individuals who are confined to the jail. And what I want to highlight in particular here are these two average lines in terms of the dashed line so the average

over this period. What we see here is that the average length of stay but a combined population approximately 102 days in 2020 is significantly higher in 2019, which is 83 days. So we're talking, approximately 19 days, that folks are staying longer on average, this year relative to last year. Now this can be attributable to a couple things. One of those is the hardening of the jail population. And what I mean by that is we have a higher proportion of more violent serious offenders, which are going to typically stay longer and typically bring that average up. But I also want to acknowledge that we've heard about backlogs in our court system, particularly in district court, delays due to COVID-19. And so folks are just potentially moving through our court system slower, they're experiencing more time potentially between hearings, they're experiencing more continuances in our court case. So as a result, they're just staying in jail longer than they would in non-COVID time.

"Now at the end of June, here, and then again at the end of August, we see the average length of stay for the confined population, sort of dip down into 2019 levels. I think this is sort of a combination of a reduction in that sentence population that I just talked about, in combination with an increase in new admissions; I'll talk about that a little bit in a minute. New admissions by nature are going to have a lower length of stay. These are people who are coming in off the street; they've just been arrested. By default, their length of stay on the day they are admitted is zero, so they're mathematically just going to bring that average down as we see more and more new admissions.

"Now moving over to the bottom right corner. This is sort of a different look, but it's looking at the percentage of our felony population that has been incarcerated for at least 30 days. So in 2020, on average, we're talking 68% of the combined felony population has been incarcerated for 30 days or more during this period. Last year, we were only at about 57%. If we look at just the pure volume, you can see, it's sort of difficult to make a trend. We have a bit of an ebb and flow over this period. But what we see is that the number of individuals incarcerated for 30 days or more in 2020 is lower than what we saw in 2019, but yet if we look down here at the average length of stay, on average that length of stay is longer. So the point here is that even if we have less people in jail, it's being offset by the fact that they are just staying longer, and being incarcerated for a longer period, particularly during that pretrial phase.

"So this leads us into what is happening over at District Court. Court data can be very difficult to work with just in terms of the format and the extraction of what data is available. So we don't have a ton of in-depth data on what is happening. Certainly, an important thing that we look at is what is happening with cases filed in verse, disposed. So we see that in 2020, our case filings are actually, for the most part, higher than they were in 2019. So we're seeing foreign cases coming in. In our dispositions, particularly in the sort of height of the COVID period say, April, May, and then maybe a little bit into June as well, are lower. So we're seeing more cases coming in, but not as many cases leaving. This certainly contributes to the idea that perhaps things at the court are processing as quickly as they typically do. And folks are staying longer. It also points to the fact that we are seeing more cases than we did for the same time period last year. So that also can certainly overburden the courts, make things take longer for everybody. So I think taking together what these data points suggest is that there's an existence of a population at the detention center that has become more stagnant, and is experiencing slower turnover than in 2019. Again, I want to stress that even though we're seeing less individuals in total incarcerated than we did in 2019, they're staying longer. That's going

to contribute to growth in our jail population as we move forward, and particularly as we add admissions.

"On the next slide here, we're looking at focusing on how many folks for felony charges are coming into the detention facility. On the top visual, we're looking at the rolling seven day average for felony bookings again for that same time period of April 1 through August 31 of this year compared to 2019. We see that from the start of April, we sort of climb slowly, but consistently to again whereby the end of August we're a little bit below, but we're really getting close to being on par with 2019 in terms of felony admissions. I think it's important to note the trends here - while the volume of bookings for 2020 for this period is largely lower than in 2019, we're seeing a more clear upward trend in the rate of bookings this year compared to last year. Now if we look at how do bookings compare to releases, this is looking at the rolling seven day average of felony bookings compared to felony releases and calculating the difference. So the important line here is the zero line. Anytime we're above zero, those are days where we're experiencing more admissions than we are releases, that's going to contribute to growth. And on the left here we have 2020, and on the right yep 2019. Again I want to highlight the trends here that it's slight in 2020, but we are trending upward. We're seeing more admissions relative to releases, again contributing to growth, whereas for this same period in 2019, this time of year we started to see a downward trend. Anytime we're above that zero line, we're experiencing some type of growth. And we're certainly seeing more periods of growth, but not as many periods of our population shrinking. Contributing with the fact that folks are staying longer, we sort of just have this recipe where we have different populations coming in, but they're both contributing to consistent growth in our population.

"The last slide that I'm going to touch on is looking at the composition of our jail population, specifically focusing on bookings. Our bookings per month are down compared to 2019 overall, but we're trending upward since April, or so, fairly consistently. Whereas in non-COVID times, we're typically very stable in the amount of bookings we see throughout this period. A couple populations that I want to highlight are violent offenses. Here we're seeing, on average, each month during this period, a much higher level of admissions for violent offenses than we are in 2019. For drug offenses were really on par with what we saw in 2019. Just take that into note when I talk about sort of a proportional composition of our jail population in a moment. So down here, what we're looking at is the share of bookings that we saw between April and August based on what an individual's highest charge was at the time of admission. The things that note here are that in 2020 proportionally, we're seeing many more violent admissions. We're also seeing higher admissions proportionally, not necessarily in terms of pure volume, but in terms of proportion, for drug offenses, as well as property offenses. Slight uptick in traffic. Where we've really seen the reductions is in probation violations, as well in as this miscellaneous category. Miscellaneous category...this again is sort of a catch-all, but this is going to capture typically charges such as someone who is a fugitive who's coming in on an extra-jurisdictional warrant. Or someone who is failing to register as a sexual or violent offender. We've also seen a reduction in that space. But the thing that has remained consistent across these two periods is that warrants account for a significant portion of our admissions. That's true pre-COVID, and that is true post-COVID. If we look at District Court, we see that really starting in the early part of this summer in June. The amount of arrested bench warrants that are issued out of District Court are quite a bit higher than we saw in 2019. Again, these can be for an individual failing to appear or a

court appearance. It could be for a violation of the conditions of release that were imposed upon them. It could also be in the case of arrest warrants perhaps to originate a case. Charges were brought against an individual, but that individual is not in custody so District Court issues a warrant to have that individual arrested. The takeaway here is that even though our population has changed in other areas, warrants are still contributing a large amount to our admissions.

"So, What are the takeaways here? I think what we want to communicate is that the detention facility has really experienced significant growth in the jail population over the last five months due to a combination of both increasing felony admissions relative to releases and slower turnover in our elderly population. I will say the preliminary data suggest that through the first half of September, the daily population is continuing to remain high. We're typically sitting in the mid 160s at this point, occasionally in those high 160s. Certainly, the jail population growth, given the time we're in, has important implications for public health, certainly as we head into the fall and winter, and COVID continues to be a concern. Admissions are a particular concern as more people from the community are entering the detention facility, increasing exposure risk for both staff inmates. What we're currently seeing is essentially our felony population returned to pre-COVID levels. But what's different this year is that a higher percentage of that population is falling under this pretrial or awaiting action category.

"As I mentioned earlier in the presentation, this puts us in a somewhat tenuous position where, if we will begin to see rebounds in our other populations, either, because that's how things play out or because of a change in policy or practice, I think it's very reasonable to expect that we would see our jail population return to pre-COVID levels if not exceed those levels. I think this is an important moment for us in the Criminal Justice Services Division, as well as the CJCC, and Missoula at large. When we applied for the Safety and Justice Challenge Grant, which were funded under the County and City, and the criminal justice partners applied for that grant with the idea that we would take a different approach to how we administer criminal justice. And so I think what we're seeing right now as a return to normal indicates we still have some work to do. And that returning to normal in our criminal legal system should not necessarily be taken as a sign of success. The county has been invited to apply for a renewal grant from MacArthur Foundation to continue our work in this space and working with all our criminal justice partners here in Missoula. And so I think as we move forward we're really asking people to become active participants in the CJCC, and in that process and think about what our policy changes what our programs and initiatives that we can support and implement that can put us in a better position and improve outcomes for everyone.

"So with that said, I'm gonna turn my camera back on here and I'm happy. If folks have questions to answer those."

Stacie Anderson spoke next: "Thanks so much. We will now take questions from council members. As Chair, I will ask the first question so...a lot of really great data is being presented and I was trying to follow along and sort of parse out what it means. I would like for you to kind of talk a little bit more about the felony population, you know you said that they're staying longer it's increasing they're staying longer, but you also said that there is a larger share of them that are in there for the violent crimes. And so, you can make a lot of commentary about that - we're in the middle of a global pandemic, we're in global economic crisis, and add our social safety nets are not as robust as maybe they

should be. I understand that that population is in jail and is staying longer. How does that compare, in terms of you...you had it towards the full share of 2019. I guess I'm kind of having a hard time comparing the two and trying to understand is it like the felony population, you stay longer because the violent offenders are in there longer, or is there other data points below that."

Quinn responded: "Yeah, so it's sort of a combination and what makes this so difficult is that we have a lot of complex dynamics that are happening at the same time. And trying to disentangle those is challenging. So what what we're seeing, at this point, we are seeing is increased over 2019 is the pure volume of people admitted to the detention center on a violent felony offense. We are also seeing that the proportion of our admissions is increasing in violent offenses relative to last year. A question I got the last time I gave this presentation is, 'is this a sign that violent crime is increasing in Missoula.' I think it's a difficult question. I think what we're seeing, in terms of our admissions, says maybe that very well may be happening. Now, folks that are alleged of a violent felony offense, those are incredibly severe offenses and typically have the longest court cases that we're going to see. So certainly, as we see a higher number of those people coming into our jail, they are going to bring that average length of stay up, just by the nature that they have more complex cases then perhaps a a property crime case. So that's certainly going to contribute. So what we're trying to do with the data that we have is trying to disentangle how much is this just the fact that the types of admissions that we're seeing are different and maybe taking longer versus what is attributable to the fact that the court was shut down for a period of time, and on many cases is now playing catch up. In addition to the fact that they're seeing more cases than they did last year, they just have more to deal with, and are their processing times are slower. I think what the data suggests is we have a combination of both. The composition of our admissions is changing, but we also know from talking to stakeholders, while we're using the court data that cases are just taking longer to process than they did last year. So it's a combination of both."

Stacie thanked Quinn for his answer to her question. "That was what I was trying to extrapolate and I understand that that data is not just as easy to point out on line graphs, so thank you for that."

Julie. Merritt spoke next. "I have a couple of questions for you. First, I'll start with this slide that we're looking at right here. So the boxes down at the bottom, does that represent just felony charges." Quinn replied yes, it does. Julie continued: " In that category that is warrants, do we have a breakdown there of whether the underlying offense was a violent offense or not?"

Quinn replied: "That's unfortunately, a limitation of the data that's collected at the detention center. When an individual is booked in on a warrant, we can tell that it was a warrant, typically whether it was for a failure to appear, and then the severity of the underlying charge - whether it was a felony or misdemeanor - but we do not have the underlying charge itself. So, for example, in that warrant category, those can be a failure to appear where the underlying charge was felony theft. It could also be a failure to appear where the underlying charge was aggravated assault. Unfortunately, that's just the limitation of the data where we can't tell the difference between the two. The only way would be to go into the individual court record for that case and cross-reference with the warrant."

Julie then asked: "Is there any efforts underway to be able to collect that data so we can make that determination?"

Quinn answered: "Yes. There have been some conversations with both folks in the detention center and our department about what changes we can make to the records management system to make this possible. Again, I think this is a combination of both a human capacity issue and a technical issue conversation. There is the case that booking officers who are recording this information, they're often under stressful situations depending on the timing of, you know, a Saturday night, could be really busy. They don't necessarily have the time to do this level of record keeping, and they just might not have the staff to do that. That's one side of things. The other side is the record management system that they operate under just doesn't offer a good place to record this information. Essentially for anyone coming in on a warrant, you're gonna need to record two charges: you need to record the warrant charge itself, but then also what is the original underlying charge that initiated that warrant. And so, again, this is a technical limitation. But we are certainly having some conversations with them. It's something we are considering for the renewal grant. How can we improve the record management system and work with the vendor to make things a little more seamless in terms of the record-keeping. I will say that, this issue around warrants and what's the underlying charge, it's not the only thing, there are there are several other areas that we've identified, where we might be able to make some improvements as in the analysis that we're ultimately able to do."

Julie asked the committee chair, Stacie Anderson, if she could ask one more question. Stacie granted. Julie asked: "Earlier on in the presentation, one of your takeaways is that perhaps we should continue the policy of not admitting people with nonviolent misdemeanors, or who are picked up on a warrant where the underlying offense is a nonviolent misdemeanor. Am I characterizing that correctly?"

Quinn responded: "You know, I want to present that carefully. I think in terms of a reduction in our jail population, at a time when it was needed, particularly around COVID, that certainly has aided us in keeping our jail numbers low during this public health crisis, if you will. Whether or not that should continue, I think that's a decision that the CJCC and the larger Missoula community need to decide whether or not they're comfortable with, and whether or not we're seeing benefits to that policy. We are hoping to look at what our rates of pretrial failure, so either folks that are committing a new offense. While on pretrial release or failing to show up for a court appearance and comparing that during the COVID era to pre COVID era, in hoping to shine some light on how successful that is. But again, I think that's going to be a difficult task just given the nature and limitations of some of the data that we're working with. And I think largely, I just think that's a broader conversation that the criminal justice stakeholders and just community need to have moving forward."

Stacie thanked Quinn for his answer and noted that 3 council member appear to have questions and there is one member of the audience - if they would like to comment, please raise your hand in Zoom. The meeting is scheduled until 10:05 a.m., so please keep that time in mind. She invited Ms. Sherrill to speak.

Amber Sherrill said: "Thank you, and thank you Quinn; this is a great presentation and untangling this is really complicated. I kept wanting to press pause on what you were saying and just stop and think about the data for a second, so I appreciate the complexity of it. One of the things that stood out to me is, when I was looking at and I don't

remember where the chart was, but you said that the sentence population was lower than the pretrial bailing population. And then in some other chart in there you said, correct me if I'm wrong, but court cases file, versus those that this were disposed of. So, one concern I have is that people are waiting for their trial and staying in jail longer and I'm just, could you talk about the relationship there?"

Thank you, and thank you Quinn; this is a great presentation and untangling this is really complicated. I kept wanting to press pause on what you were saying and just stop and think about the data for a second, so I appreciate the complexity of it. One of the things that stood out to me is, when I was looking at and I don't remember where the chart was, but you said that the sentence population was lower than the pretrial bailing population. And then in some other chart in there you said, correct me if I'm wrong, but court cases file, versus those that this were disposed of. So, one concern I have is that people are waiting for their trial and staying in jail longer and I'm just, could you talk about the relationship there?

Quinn explained: "Yeah, certainly. Our felony population, again, I want to stress that these are typically complex cases. They've been alleged serious offenses and they typically have high bond amounts. Typically the lowest bond amounts that we see at the felony level are \$5,000-10,000, but it's not uncommon for these bond amounts to be \$50,000 plus. So the ability of the defendant to post that amount is certainly a limitation, and so we do see quite a few folks who are detained at the jail on a felony hold while there are progressing through their case. Now, during the early stages of COVID, the courthouse was shut down for a period of time. Jury trials were suspended. What we're hearing from folks in the court is that this resulted in a backlog to get those cases heard. And anecdotally, what we saw is that folks who originally had hearings scheduled for say, April, or late March, had those hearings continued, which means essentially they were delayed to June, or later part of June, perhaps, early July. So in non-COVID times, these people would have had their cases heard in March or April, and their case would have proceeded. And would they have gone out, would they have not? Typically if they're going to be sentenced and have a high bond amount, they'll remain in jail. But then they'll eventually be transferred to the Department of Corrections once their case reaches its final disposition. If we're stretching that timeline out, we just have more people sitting in jail, awaiting action on the case. So, the point that I emphasize there is you have this population that because their cases are moving slower, they're sort of stagnant, they're not going anywhere. Their cases are being more drawn out. On top of that, when you add in these new admissions, new cases that are being filed at the district court. We have a population that's not turning over but at the same time we're adding more and more new felony folks. So we see that growth whereas say if we had that same increase in admissions, but people were turning over at their sort of typical rate. We wouldn't see that growth."

Amber thanked Quinn for the clarification.

Stacie welcomed Heather Harp to speak.

Heather thanked Stacie and asked Quinn about the length of stay graph in the presentation: "We're looking at lengths of stay tending to at least be tracking above 80 days, is that correct? Whether it's for 2019 and 2020." Quinn interjected that that was correct. She continued, "If I was to be arrested for some charge, what would help me reduce my stay in jail?"

Quinn replied: "

Yeah. So, again, I think a lot is going to come down to what is happening at your initial appearance. So once you're arrested, you're going before a judge - for felonies, typically you're going to go before Justice Court Judge before you transfer up to District Court - and they're gonna consider the allegations, and decide what your bond amount is, if anything, and then what conditions of release you will be under should you either post bond, or if you will be released on your own recognizance. Now let's say you have a really serious offense, and you have a \$50,000 bond. You can't post that at any point, you're just going to remain detained. There's not much you, as the defendant, can do other than wait for your case to process. If you are either able to post bond or release that your initial appearance. Certainly, complying with the conditions of release will help reduce the amount of time that it takes your case to process.

"I would say probably the biggest contributors to why cases, ultimately stretch out, is individuals that are failing to appear for their court appearances, or repeatedly violating their conditions of release. The court and the state perhaps feel the need to issue warrants to bring you back into compliance. You know we hear anecdotes of defendants who just repeatedly fail to appear over and over again. And it takes a huge amount of time to move to that ultimately next hearing to progress the case because they spend so much time dealing with the violations. So certainly the more the better is able to comply with the conditions of their release the quicker their case will move. Now, I think potentially, and certainly our department is thinking about this, there's a lot of things that we could potentially do to set defendants up better for success. And I think that's a conversation that again the CJCC needs to have. As a defendant, again, I think compliance is certainly the big part of the equation. On the other side of that, we have the court thinking about how are they going to handle compliance violations. Do they need to issue a warrant when someone fails to appear? Did the person just simply forget that they had a court case that day? Or maybe they had trouble arranging transportation? When it's likely there's no mal intent, these are decisions that play out in the courtroom, which can seriously affect the length of the case."

Heather thanked Quinn and requested an update in, what she hopes, will be just a couple of months.

Stacie thanked Heather for her comment and welcome Mirtha Bicara as the final question, and then we will take public comment.

Mirtha thanked Stacie and noted to Quinn: "Thank you so much for all information that's really helpful and I'm glad to know that we're tracking all this data. As a non data person, my question might sound pretty rudimentary, so I apologize. You mentioned that people are trending to stay longer and to me I think that really prompted my question. Why are people going to jail? And is the data that you are collecting being collected with the input of agencies that are working towards addressing the why. We shouldn't have people going to jail to begin with. And so, just wondering if that the data that you are collecting is collected in coordination, or are the questions that we're asking being informed by what other agencies in the community are trying to do to address that why."

Quinn offered: "Yeah, that's a great question and again, I just want to highlight the complexity of the dynamics here. The presentation that I gave today was purely based off jail data and a little bit of very simplistic court data. We face a couple challenges here in

the complexity of the data we have to work with - and that's across the board that's not only in the jail or the court but that's true of the attorney's office as well as law enforcement. I think what we see in those scenarios is that a lot of this data is coming from case management systems. They weren't necessarily designed to do analysis, but we're trying to use them for that exact purpose. Getting at the why, I think, is again really challenging, given the nature and complexity of some of these cases. So we are hoping to coordinate, and we are trying to coordinate with our other criminal justice partners, to sort of get a larger picture of what's happening. Because again, jail and court data only provide a small sliver of the other dynamics that could be happening in this space. But it has been a challenge at times. Both capacity and capacity wise, who has the technical capacity and know-how to do this work. And it also just pure staff time. In addition to the sensitivity of this data, certainly a lot of it is protected information. And so gaining access to some of this information is often quite difficult. So again, we're not quite seeing the whole picture. What we have been doing thus far is presenting the data that we have to our partners, and then asking them, how does this resonate with you in terms of what you're experiencing on the street, in the courtroom, at the jail, with the clients that you serve - does it back that up? If so, great, how can we dig deeper? If not, where can we go from here where might be some of the discrepancies. I will say in terms of trying to assess why people are going to jail, why they are held - I really don't think that's necessarily the place for a quantitative analysis such as this. I really think that's going to be a more qualitative look at specific individuals, where people can come together and sort of dive deep into a case, in all likelihood, multiple cases. Often defendants are having multiple cases in multiple courts. And I think, sort of as Kristen alluded to, at the very start of today, the JRT is part of that, trying to find a way to bring these different partners together that have different looks at a case and trying to assess: why is this person in jail? Why are they being held? What can we do for them? That's different than what we've been doing. So again, I think that we're trying to accomplish that work, but we've had a lot of hurdles that we've had to come over to even get to this point."

Mirtha thanked Quinn for his response.

Stacie concluded committee questions with the following: "Thank you, Miss. Sarah and thank you, Mr Ziegler for the great presentations, good discussion we will continue to track this information. So, this is an informational item only so there's no motion needed and we are over time. We have one member of the public who has been with us for the entirety and we will allow them to make public comment. Then we will quickly wrap up because we are over time and our staff needs to their COVID protocol to switch between committees. So, Jeremy Marrow, you should be able to make your public comment now."

Jeremy spoke stating: "Hi there. I wonder...incidentally, I'm a public defender, but I don't speak to the public defender's office. I'm wondering, if I'm right and I forgot who asked the question regarding what would happen if I were arrested, what would dictate how long I'm in jail. And I'm curious - isn't the number one reason, not having the funds to bond out? I also think it'd be interesting to find out what the case outcomes are for people who are pretrial detained versus those who are not. And lastly, very curious if there are a lot of release condition violations, and I'm wondering if that has to do with more release conditions being imposed. And if so, if that's lowered the cash bond people need to get out."

Stacie noted: "Great, thank you so much. So this is public comment. Excellent data points to bring up to hopefully incorporate in our next presentation and we are over time. So Quinn, I don't know if you have a sentence or two for the response..."

Quinn answered: "I think those are all fantastic points. I just want to highlight the question was why do cases take so long, but in terms of why people are in jail. I think the commentary is exactly right. It's your ability to pay to get out, and if you can't pay, you're gonna sit. And other terms of points, are people potentially detained for violating of the conditions of release as a function of the amount of conditions that are imposed on them? Absolutely. That is, again, a very possible driver. So again, I just want to say that all the points that were brought up are great and are things that we are hoping to look at moving forward."

Stacie thanked Quinn Ziegler one last time and proceeded to adjourn the meeting.

NA

3.2 Confirmation of Officers

Stacie Anderson noted the need to move things around slightly. So she presented Missoula Police Chief White to present us with the confirmation of officers.

Chief White thanked Stacie and said, "It's my pleasure today to recommend eight officers for confirmation. We have Officer Charles Burton, Officer Tyler Schwartz, Samuel Leyva, Nathan Champa, Timothy Muse, Clark Nissley, Daniel Buckholtz, and Amanda Jay. These officers have either completed the academy or gone through the legal equivalency, successfully passed our FTO program and have reached the one year mark with this and are off probation. All of these officers have done exceptionally well with the department and I respectfully recommend them for confirmation."

Stacie thanked Chief White and requested a motion on the confirmation of the officers.

Gwen Jones is happy to make the motion, please pass along the virtual hand shake and welcoming of them to city.

Stacie asked if there was any comment on the motion.

Sandra Vasecka is happy to recommend these officers. Sandra notes that she had the pleasure of meeting at least one of these officers, Mr. Schwartz, on a ride-a-long with them when she participated in the Citizen's Law Enforcement Academy and is happy to have them on with the city and the police department.

Jesse Ramos echoes these sentiments and thanks the officers for their service.

Is there any public comment on the motion to confirm these officers?

Seeing none.

Voting took place with 9 yeses and zero no or abstain votes.

Stacie notes this will go on the consent agenda on next Monday evening. Thank you so much for that Chief White.

Moved by: Gwen Jones

Confirm Officers Charles Burton, Tyler Swartz, Samuel Leyba, Nathan Champa, Timothy Muis, Clark Nissley, Daniel Buchholtz, Amanda Jay

AYES: (9): Stacie Anderson, John Contos, Mirtha Becerra, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, and Heidi West

Vote results: Approved (9 to 0)

3.3 Justice Assistance Grant (JAG) Memorandum of Understanding

Chief White turned the meeting over to the capable hands of Assistant Chief Scott Hoffman.

Scott noted that Missoula Police Department was notified that they received the JAG Grant for the year 2020 in amount of \$58,440. \$12,403 of that is a pass through to Missoula County. Chief Hoffman is asking for this committee to set a public hearing for the approval of a MOU between the city and the county for that pass through and for the money to be accepted for the City Missoula Police Department.

Stacie asked Scott to talk a little bit about what this grant is utilized for.

Scott noted that the county and the pass through, used the \$12,000 to partially fund their property clerk out of their evidence facility. The remaining funds, which is used for electronic control devices, otherwise known as tasers; they anticipate to spend about \$20,859 on that. Another \$17,100 for our online warrant program that we use with Municipal Court and Justice District Court for warrant signatures. Also to continue their Police1 Academy subscription, which is a training website used for both national and in-house training, and that amount is \$8078.

Stacie thanked Chief Hoffman and asked if there were any questions on the motion.

Julie Merritt asked Most grants that we've learned through this process come with requirements that the city has to meet. Can you tell us what some of those might be around the JAG grants and what are our obligations and accepting this grant money?

Scott notes that there are no ties to this funding from JAG. This is the Edward Byrne Memorial Justice Grant. There are no other conditions other than we do split part of the money with the county, that's the reason for the MOU approval request, the rest is allocated for specific items requested. There's really no other ties as far as accepting the funds.

Ms. Merritt is happy to make recommended motion.

Any public comment on the motion to set the public hearing on September 28?

None.

Mr. Ramos, do you have a comment? None.

Vote passed with 9 yeses, zero no or abstain votes.

Stacie notes that the committee will be back on the 28th to conclude the vote.

Moved by: Julie Merritt

Set a public hearing on September 28, 2020 to approve a Memorandum of Understanding for the 2020 Edward J. Byrne Justice Assistance Grant between the City of the Missoula and Missoula County to accept funding for electronic control weapons and computer software programs and offset Missoula County's property clerk wages in the total amount of \$58,440.

AYES: (9): Stacie Anderson, John Contos, Mirtha Becerra, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, and Heidi West

ABSENT: (3): Heather Harp, Jordan Hess, and Bryan von Lossberg

Vote results: Approved (9 to 0)

4. ADJOURNMENT

Committee Chair Stacie Anderson concluded the meeting noting: Thank you everyone so much. Apologies to the staff for going over time. Thank you everyone for joining us for today. Public Safety and Health Committee. We will now be adjourned at 10:14 a.m.

Missoula City Council

Public Works Committee Agenda

Date: September 16, 2020, 12:30 pm - 12:55 pm

Location: To register to attend and/or comment: <https://ci-missoula-mt.zoom.us/calendar/list>
For agenda and related documents: www.ci.missoula.mt.us/webcasts
Webstream live or on demand at: www.ci.missoula.us/webcasts
Watch live on Spectrum Cable Channel 190

Members: Stacie Anderson, Mirtha Becerra (chair), John P. Contos, Heather Harp, Jordan Hess, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, Bryan von Lossberg, Heidi West

Join By Computer: Register for the live webinar to listen in and/or comment during the live meeting:

<https://ci-missoula-mt.zoom.us/calendar/list> or <https://missoulapublicmeetings.com>

Join By Phone: Cell phone users: 1-253-215-8782, 1-213-338-8477, 1-267-831-0333; Landline users: 1-888-475-4499, 1-877-853-5257 Webinar ID: 857 9048 2312 Password: 027222

For more ways to watch the meeting and submit public comment, see the Citizen Participation Guide. Issues? Call the City Clerk 406-552-6078.

Pages

1. ADMINISTRATIVE BUSINESS

1.1 Roll Call

1.2 Approval of the Minutes

1.2.1 Public Works Committee 08/26/20 Minutes

1

2. PUBLIC COMMENT

3. COMMITTEE BUSINESS

3.1 Reappointments to the Bicycle and Pedestrian Advisory Board

John Engen

3

Recommended motion:

Confirm the Mayor's reappointments of James Walter and Ryan Bundy to the Bicycle and Pedestrian Advisory Board for terms beginning October 1, 2020 and expiring on September 30, 2023.

3.2 Surplus Resolution

Scot Colwell

8

Recommended motion:

Approve a resolution declaring certain City of Missoula Property as Surplus and Authorizing its disposal and or sale.

Recommended motion:

I move the City Council: Adopt a resolution requesting that MDT distribute the City of Missoula's 2020 allocated share of Bridge and Road Safety and Accountability Act (BaRSAA) Program funds, committing to the City's contribution of five percent in matching funds, and authorizing the Mayor to execute further documents as may be necessary for the distribution of funds.

4. ADJOURNMENT

Missoula City Council Public Works Committee Minutes

August 26, 2020, 11:20 am

To register to attend and/or comment: <https://ci-missoula-mt.zoom.us/calendar/list>

For agenda and related documents: www.ci.missoula.mt.us/webcasts

Webstream live or on demand at: www.ci.missoula.us/webcasts

Watch live on Spectrum Cable Channel 190

Members present: Stacie Anderson, Mirtha Becerra (chair), John P. Contos, Heather Harp, Jordan Hess, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, Bryan von Lossberg, Heidi West

Others present: Eric Andersen, Matts Larson

1. ADMINISTRATIVE BUSINESS

1.1 Roll Call

1.2 Approval of the Minutes

1.2.1 Minutes from Public Works Committee 08/12/20

The minutes were approved as submitted.

1.2.2 Minutes from Public Works Committee 8/19/20

The minutes were approved as submitted.

2. PUBLIC COMMENT

Mr. Matts Larson was admitted to the meeting to add public comment. Mr. Larson expressed his frustration and anger at having asked six weeks ago for the fiscal year 2021 estimated legal fees or current total legal fees for the Water Department and having still received no response from the City.

3. COMMITTEE BUSINESS

3.1 Street Name Change – Private Drive to Collective Way

Eric Andersen, GIS Analyst, presenting

Emergency services general rule is if there are 3 or more lots, buildings or services off a road, the road should have a name.

The road in question is internal on private property but did not get named when the plat was originally recorded. According to state law, only the City Council can approve a road name change after the plat is recorded.

Mr. Andersen has spoken to all four surrounding land owners and all have signed off on the new name of Collective Way.

There were no questions from committee members.

Moved by: Jesse Ramos

Adopt a Resolution to change the previously unnamed street to Collective Way.

AYES: (11): Stacie Anderson, Mirtha Becerra, Heather Harp, Jordan Hess, Gwen Jones, Julie Merritt, Jesse Ramos, Amber Sherrill, Sandra Vasecka, Bryan von Lossberg, and Heidi West

ABSTAIN: (1): John Contos

Vote results: Approved (11 to 0)

4. ADJOURNMENT

The meeting adjourned at 11:32AM



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Reappointments to the Bicycle and Pedestrian Advisory Board

Date: September 14, 2020

Sponsor(s): John Engen

Prepared by: Heidi Bakula

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
	<input checked="" type="checkbox"/> N/A

Action Required:
Confirm Mayor's Appointment.

Recommended Motion(s):
I move the City Council:

Confirm the Mayor's reappointments of James Walter and Ryan Bundy to the Bicycle and Pedestrian Advisory Board for terms beginning October 1, 2020 and expiring on September 30, 2023.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council acts to set hearing:	NA
Public Hearing:	NA
Deadline:	NA

Background and Alternatives Explored: None.

Financial Implications: None.

Links to external websites: None.

Application Form -- Bicycle and Pedestrian Advisory Board

10/16/2019

Ryan Bundy
ryan.bundy@gmail.com
(406) 529-0270

In which ward do you reside? 3

Applicant Background

Are you a citizen of the United States of America? Yes

Are you a registered voter? Yes

How long immediately prior to this date have you been continuously a legal resident of the City of Missoula? 6 years

How long immediately prior to this date have you been continuously a legal resident of the State of Montana? 6 years

Current Occupation: architectural designer / project manager

Current Employer: MMW Architects

Briefly describe your educational background: Masters in Architecture

List of community service experience: Served on the Board of MUD, Missoula Urban Demonstration project 2013 - 2017

What is your interest in serving on this board, commission, or committee? As a person working in the architecture and construction world, and being a daily alternative transportation commuter, I have unique insight and passion for our city's urban planning efforts, especially as it relates to trail infrastructure and improving transportation options as the cities grows.

Do you have any special knowledge, interest, or experience that would qualify you for a position on this board, commission, or committee? see above.

References

Colin Woodrow
(406) 552-8303

Lucas Dupuis
(406) 880-1126

Application Form -- Bicycle and Pedestrian Advisory Board

James Walter
Bamaorganics@gmail.com
(334) 201-8104

In which ward do you reside? 4

Applicant Background

Are you a citizen of the United States of America? Yes

Are you a registered voter? Yes

How long immediately prior to this date have you been continuously a legal resident of the City of Missoula? 1.5 yrs

How long immediately prior to this date have you been continuously a legal resident of the State of Montana? 1.5 yrs

Current Occupation: stay at home father / independent metal fabricator

Current Employer: self employed

Briefly describe your educational background: Industrial welding and metal fabrication training and career in the field for over a decade

List of community service experience: Actively participate in Environmental organizations and Board member of local Bicycle non-profit (Pedal Missoula)

What is your interest in serving on this board, commission, or committee? I believe it is in the interest of our community to expand the opportunities to travel by bicycle off road, to make urban adjacent commuting safer and healthier.

Do you have any special knowledge, interest, or experience that would qualify you for a position on this board, commission, or committee? I have traveled most every accessible trail surrounding the city and often times taken my kids with me. I always commute to our recreational areas by bicycle and see many areas of possible improvement. I have lived in two different wards and experienced the negative and positive aspects of cycling throughout the city from them.

References

Toffer Lehnerr
(206) 409-3058

Ben Horan
(406) 351-0069

James Walter

Pedestrian Advisory Board
33 yr old father of two kids
Welding/metal fabrication
By trade

James Walter

334 201 8104

Bamaorganics@gmail.com

Non motorized activities

Cycle commuting with 2yr old and 4yr old	Mountain biking
Biking to hike with kids	Gravel cycling
Biking to parks with kids	Bikepacking
Family grocery shopping with cargo trailer	Bicycle bow hunting
Running greenway trails with kids.	Bike fly fishing

Advocacy

Pedal Missoula

Board member / treasurer

- Organize community cycling events to boost community engagement
- Participate in long-term planning and organizational strategy

Mtb Missoula

Annual family member/ supporter

- Work on volunteer trail crews to clean and maintain local single track
- Participate in local fundraising events.

Free Cycles Missoula

Volunteer and patron

- Built display system for showroom with recycled bike parts
- Participate in group bicycle rides with staff and community members

Soil Cycle

Volunteer and patron

- Bike finished compost to Soil Cycle subscribers throughout Missoula
- Attend community fundraising events

Whether I am dropping my son at pre-k, joining my friends for a morning cup of coffee, or traveling deep into the Rattlesnake to hunt, I am almost always traveling by bicycle. I envision a Missoula where mountain bikers can easily move from urban space to trailheads to wild places and back again. As an

advisory board member, I hope to promote innovative urban singletrack development, as well as cycling connectivity to local open space.



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Surplus Resolution

Date: September 2, 2020

Sponsor(s): Scot Colwell

Prepared by: Scot Colwell

Ward(s) Affected:

- | | |
|---|---------------------------------|
| <input type="checkbox"/> Ward 1 | <input type="checkbox"/> Ward 4 |
| <input type="checkbox"/> Ward 2 | <input type="checkbox"/> Ward 5 |
| <input type="checkbox"/> Ward 3 | <input type="checkbox"/> Ward 6 |
| <input checked="" type="checkbox"/> All Wards | <input type="checkbox"/> N/A |

Action Required:

Please approve a resolution declaring certain City of Missoula Property as Surplus and Authorizing its disposal and or sale. Please see attached surplus resolution.

Recommended Motion(s):

I move the City Council: Approve a resolution declaring certain City of Missoula Property as Surplus and Authorizing its disposal and or sale.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council action (or sets hearing):	N/A
Public Hearing:	N/A
Deadline:	N/A

Background and Alternatives Explored:

The items on the resolution have served their useful life for the City of Missoula's purposes and needs and are no longer being used or operated by the City or have become too costly to operate and maintain.

Financial Implications:

As a way of partnering with community organizations two vehicles from the resolution list will be donated to the Missoula non-profit, Missoula Works. The two vehicles that will be donated will be units 587 and 234 on the resolution list. All other items determined to have value will be sold at auction. Any items that cannot be sold at auction will be sold for scrap or salvage value. Any items that have no scrap or salvage value will be disposed of properly and in compliance with EPA standards. All proceeds from the sale of surplus properties will be returned to the purchasing fund. Proceeds from items purchased with General Fund money will be returned to the General Fund. Proceeds purchased with money from Wastewater Treatment, Parking Commission, or

other enterprise funds will be returned to that corresponding fund. Note CMAQ and MACI equipment must meet the contract requirement to be put in a special fund to be used for air quality purchases.

Links to external websites:

RESOLUTION NUMBER _____

A RESOLUTION OF THE CITY COUNCIL DECLARING CERTAIN CITY OF MISSOULA PROPERTY AS SURPLUS AND AUTHORIZING ITS DISPOSAL.

WHEREAS, the following items of City owned property have served their useful life for the City of Missoula's purposes and needs and are no longer being used or operated by the City; and

WHEREAS, the City does not anticipate using or operating said property at any time in the future; and

WHEREAS, Section 7-8-4201, M.C.A.(2011) provides that:

7-8-4201. Disposal or lease of municipal property.

(1) Subject to the provisions of subsection (2) the city or town council may sell, dispose of, donate, or lease any property belonging to the city or town.

(2) (a) Except for property described in subsection (3), the lease, donation, or transfer must be made by an ordinance or resolution passed by a two-thirds vote of all the members of the council.

(b) Except for property acquired by tax deed or property described in subsection (3), if the property is held in trust for a specific purpose, the sale or lease must be approved by a majority vote of the electors of the municipality voting at an election called for that purpose. The election must be held in conjunction with a regular or primary election.

(3) If a city or town owns property containing a historically significant building or monument, the city or town may sell or give the property to nonprofit organizations or groups that agree to restore or preserve the property. The contract for the transfer of the property must contain a provision that:

(a) requires the property to be preserved in its present or restored state upon any subsequent transfer; and

(b) provides for the reversion of the property to the city or town for noncompliance with conditions attached to the transfer.

(4) This section may not be construed to abrogate the power of the board of park commissioners to lease all lands owned by the city that were acquired for parks within the limitations prescribed by [7-16-4223](#).

(5) A city or town may donate land or sell the land at a reduced price to a corporation for the purpose of constructing:

(a) a multifamily housing development operated by the corporation for low-income housing;

(b) single-family houses. Upon completion of a house, the corporation shall sell the property to a low-income person who meets the eligibility requirements of the corporation. Once the sale is completed, the property becomes subject to taxation.

(c) improvements to real property or modifying, altering, or repairing improvements to real property that will enable the corporation, subject to the restrictions of Article X, section 6, of the Montana constitution, to pursue purposes specified in the articles of incorporation of the corporation, including the sale, lease, rental, or other use of the donated land and improvements.

(6) Land that is transferred pursuant to subsection (5) must be used to permanently provide low-income housing. The transfer of the property may contain a reversionary clause to reflect this condition.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF MISSOULA, MONTANA, that the following City property is approved for sale, lease, transfer or disposal:

<u>Unit</u>				
<u>Number</u>	<u>FAM</u>	<u>Description</u>	<u>Serial Number</u>	<u>Department</u>
14	6642	1996 Chevy Lumina Van	1GN DU06E4TT114196	Police
18	8175	2004 Nissan Sentra	3N1CB51D04L893045	Police
21	8141	2006 Nissan Titan	1N6AA06BX6N512075	Police
42	6684	2005 Ford Expedition	1FMPU16585LA67054	Police
43	9622	2014 Dodge Charger	2C3CDXAT9EH187278	Police
45	9621	2014 Dodge Charger	2C3CDXAT5EH187276	Police
46	8148	2010 Dodge Charger	2B3AA4CT4AH182119	Police
51	8123	2013 Dodge Charger	2C3CDXAT0DH537850	Police
52	8128	2013 Dodge Charger	2C3CDXAT8DH537854	Police
63	8126	2013 Dodge Charger	2C3CDXAT2DH537848	Police
70	9616	2014 Dodge Charger	2C3CDXAT7EH187277	Police
71	9615	2014 Dodge Charger	2C3CDXAT7EH187280	Police
72	9614	2014 Dodge Charger	2C3CDXAT9EH187281	Police
73	9599	2014 Dodge Charger	2C3CDXAT0EH187279	Police
80	9851	2014 Dodge Charger	2C3CDXKT6EH371463	Police
84	9855	2014 Dodge Charger	2C3CDXKT4EH371462	Police
90	5539	1990 Chevy 1 ton	1GCKP32N8L3322841	Police
121	6022	2002 International Vactor	1HTGGAET82H535247	Streets
123	1285	1982 CAT 120 Grader	61M09963	Streets
175	7327	1996 Ford CA 8000	1FDYH81E9TVA28953	Streets
213	7002	1996 Dodge Ram 1500	1B7HC16X5TS582089	Parks
234	4388	1993 Chevy 1500	1GCEK14Z4PE150219	Parks
252	8083	1998 Mitsubishi Minicab	U42T0514745	Parks
253	8084	2000 Honda ACTY	HA71115739	Parks
255	8085	1996 Mitsubishi Minicab	U42T0422026	Parks
286	8003	Toro 580 D 16' mower	260000133	Parks
296	8055	1999 Dodge 1500	1B7HC16Y4XS305030	Parks
450	10210	2007 Chevy Van	1GNHG31U071118754	Water
465	10225	2002 Ford F350	1FDSX35S22EB02160	Water
562	N/A	2000 John Deer JDF1145	M01145X180371	Sign
563	N/A	2004 Artic Cat 400	4UFO4ATV24T204734	Sign
586	4171	1984 Hyster MH140XL	A177B8135E	Sign
587	6601	2002 Chevy 1500	2GCEK19V321211818	Sign
633	4289	1982 John Deer 544C	406795	Cemetery
651	1971	1971 Leroi Air Compressor	203382	Cemetery
810	N/A	1999 Dodge Grand Caravan	2B4G924G1XR193446	IT

1271	9590	2012 Honda ST1300 PA	JH2SC5150CK000006	Police
1276	9592	2012 Honda ST1300 PA	JH2SC5152CK000007	Police
1367	8170	2008 Honda ST1300 PA	JH2SC51777M500076	Police
B223	N/A	2010 Stihl BR600 Blower	502121857	Parks
B254	N/A	2008 Stihl BG55 Blower	268117304	Parks
M202	N/A	2010 Husqvarna 7021R	062210M016866	Parks
M205	N/A	2010 Husqvarna 7021R	052510M015705	Parks
RT210	N/A	2012 Honda FG110	FAAA-1359393	Parks
SB5	N/A	1998 BCS	105541	Sign
WE175	N/A	2001 Troy built	52058-1201948	Parks
N/A	N/A	Chevy 1500		Water
N/A	N/A	Tire Spreader		Fleet
N/A	2911	16" lodge and Shipley Lathe		Fleet

AND BE IT FURTHER RESOLVED BY THE COUNCIL OF THE SAID CITY OF MISSOULA, MONTANA, that if any property is sold to other than a county or political subdivision, bids will be taken pursuant to 7-5-4307 MCA;

AND BE IT FURTHER RESOLVED BY THE COUNCIL OF THE SAID CITY OF MISSOULA, MONTANA, that if any property is sold or transferred to a county or political subdivision, the sale or transfer shall be subject to provisions of Section 7-8-101 MCA.

PASSED AND ADOPTED this _____ day of _____, 2017

ATTEST:

APPROVED:

Martha L. Rehbein
City Clerk

John Engen
Mayor

(SEAL)



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Resolution Requesting Distribution of Funds from MDT's Bridge and Road Safety and Accountability (BaRSAA) Program

Date: September 10, 2020

Sponsor(s): Brian Hensel and Jeremy Keene

Prepared by: Katie Emery

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input checked="" type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Adopt a resolution requesting funds from the Montana Department of Transportation's (MDT) Bridge and Road Safety and Accountability Program (BaRSAA), committing to the contribution of matching funds, and authorizing the Mayor to execute further documents as may be necessary for the distribution of funds.

Recommended Motion(s):

I move the City Council: Adopt a resolution requesting that MDT distribute the City of Missoula's 2020 allocated share of Bridge and Road Safety and Accountability Act (BaRSAA) Program funds, committing to the City's contribution of five percent in matching funds, and authorizing the Mayor to execute further documents as may be necessary for the distribution of funds.

Timeline:

Referral to committee:	September 14, 2020
Committee discussion:	September 16, 2020
Council action (or sets hearing):	September 21, 2020
Public Hearing:	N/A
Deadline:	N/A

Background and Alternatives Explored:

This resolution has been prepared in accordance with MDT's policies for the distribution of BaRSAA funds. A copy of the guidance memo prepared by the Montana League of Cities and Towns is attached. The program enables local governments to leverage five percent in matching funds against state gas tax dollars for local roadway improvements.

Funds have been allocated to the City of Missoula for 2020 in the amount of \$1,277,511.16. Staff recommends \$250,815 of those funds be directed to the improvement projects completed in FY2020, shown in Appendix A of the proposed resolution, and \$1,026,696.16 of those funds be directed to the improvement projects to be completed in FY2021, shown in Appendix B of the proposed resolution. In addition, \$13,646.72 from the 2019 BaRSAA disbursement were allocated to projects shown in Appendix C. These funds were left over from the Van Buren Ave. at Missoula Ave. Roadway Approach Improvement Project, which came in under budget. MDT requires that City Council reallocate these funds through a resolution.

Financial Implications:

Matching funds will be provided as described in Appendices A, B, and C of the resolution.

Links to external websites:

N/A

RESOLUTION NUMBER ____

**A RESOLUTION REQUESTING DISTRIBUTION OF
BRIDGE AND ROAD SAFETY AND ACCOUNTABILITY PROGRAM FUNDS**

WHEREAS, the Bridge and Road Safety and Accountability Account created by HB 473 requires the Montana Department of Transportation to allocate accrued funds to cities, towns, counties, and consolidated city-county governments for construction, reconstruction, maintenance, and repair of rural roads, city or town streets and alleys, bridges, or roads and streets that the city, town, county, or consolidated city-county government has the responsibility to maintain; and,

WHEREAS, a city, town, county, or consolidated city-county government that requests funds under the Bridge and Road Safety and Accountability Account must match each \$20 requested with \$1 of local government matching funds; and,

WHEREAS, a city, town, county, or consolidated city-county government requesting distribution of allocated funds may make such a request to the Department of Transportation between March 1 and November 1 of the year the funds were allocated; and,

WHEREAS, the City would also like to request distribution of its 2020 BaRSAA allocation from MDT; and

WHEREAS, a description of the projects to be funded as well as the sources of the 5 percent local match are detailed in Appendices A and B; and

WHEREAS, the City of Missoula's 2019 BaRSAA funds were distributed to the City in May 2019 in accordance with Missoula Resolution 8335; and

WHEREAS, the Van Buren Ave. at Missoula Ave. Roadway Approach Improvement Project detailed in Resolution 8335 was completed but came in under budget; therefore, the City did not expend all of the BaRSAA funds allocated to the project; and

WHEREAS, the City would like to reallocate the remaining funds to the projects shown in Appendix C in the amount of \$13,646.72.

THEREFORE, NOW BE IT RESOLVED THAT:

1. City of Missoula requests distribution of its \$1,277,511.16 allocated share of 2020 Bridge and Road Safety and Accountability funds to be used for the projects identified in Appendices A and B.
2. City of Missoula requests reallocation of \$13,646.72 of its allocated share of 2019 Bridge and Road Safety and Accountability funds to be used for the projects shown in Appendix C.
3. That John Engen, the Mayor of the City of Missoula, is hereby empowered and authorized to execute such further documents as may be necessary to facilitate the distribution of said funds.

PASSED AND ADOPTED this ____ day of _____, 2020.

ATTEST:

Martha L. Rehbein, CMC
City Clerk

(SEAL)

APPROVED:

John Engen
Mayor

Appendix A

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2020 construction season will be as follows:

Street Chip Seal Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Garfield St. – S. 3 rd St. W. to Mount Ave.	\$18,418	\$921	Road District
Great Northern Ave. – W. Broadway to Mullan Rd.	\$25,731	\$1,287	Road District
England Blvd. – Reserve St. to Grizzly Ct.	\$5,756	\$288	Road District
Fort Missoula Rd. – Sgt. Sanders St. to Reserve St.	\$17,644	\$882	Road District
Fort Missoula Regional Park	\$7,356	\$368	Road District
Shaver Dr. – Lower Miller Creek Rd. to Jeff Dr.	\$16,147	\$807	Road District
Benton Ave. – Russell St. to Brooks St.	\$5,116	\$256	Road District
Gerald Ave. – S. 6 th St. E. to Daly Ave.	\$4,539	\$227	Road District
Expressway – Reserve St. to Grizzly Ct.	\$54,751	\$2,738	Road District
Grizzly Ct. – Expressway to End of Street	\$3,048	\$152	Road District
E. Harrier – Airway Blvd. to Cul-de-sac	\$5,353	\$268	Road District
W. Harrier – Airway Blvd. to Expressway	\$14,892	\$745	Road District
Trumpeter Ct. – Expressway to End of Street	\$3,633	\$182	Road District
Trumpeter Wy. – Expressway to W. Harrier	\$4,191	\$210	Road District
Curlew Ct. – Expressway to End of Street	\$3,543	\$177	Road District
Momont Rd. – Expressway to Industrial Rd.	\$4,804	\$240	Road District
Alloy South – Expressway to Industrial Rd.	\$4,492	\$225	Road District
Sandpiper Dr. – Expressway to Expressway	\$11,929	\$596	Road District
Kestrel Dr. – Tanager Wy. to Expressway	\$11,107	\$555	Road District

Street Chip Seal Projects	Requested BaRSAA Funds	5% Match	Local Match Source
S. 14 th St. W. – Eaton St. to Reserve St.	\$6,194	\$310	Road District
Stoddard St. – Scott St. to Milton St.	\$3,654	\$183	Road District
Defoe St. – Worden Ave. to Waverly St.	\$7,463	\$373	Road District
W. Kent Ave. – Bancroft St. to Park St.	\$6,639	\$332	Road District
<hr/>			
Total Request	\$250,815	\$12,541	

Appendix B

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2021 construction season will be as follows:

Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Street Chip Seal Projects			
Canyon River Rd. – Entire Street	\$17,368	\$868	Road District
Anglers Bend Wy. – Entire Street	\$26,354	\$1,318	Road District
Bandmann Trl. – Entire Street	\$11,046	\$552	Road District
Cahill Rise – Entire Street	\$7,631	\$382	Road District
Deer Creek Rd. – Bridge to South of I-90	\$15,873	\$794	Road District
Potter Park Lp. – Entire North/South Section	\$6,072	\$304	Road District
Wilkie St. – Entire Street	\$4,929	\$246	Road District
Wheeler Dr. – Entire Street	\$6,285	\$314	Road District
Ryman St. – Broadway to W. Railroad St.	\$8,138	\$407	Road District
Woody St. – Broadway to W. Railroad St.	\$6,581	\$329	Road District
N. Higgins Ave. – Broadway to W. Railroad St.	\$9,433	\$472	Road District
Van Buren/Rattlesnake Dr. – North of Roundabout to Herbert St.	\$22,007	\$1,100	Road District
Grant St. – Brooks St. to Alley North of 34 th St.	\$6,857	\$343	Road District
Dore Ln. – Brookes St. to 39 th St.	\$5,030	\$252	Road District
S. 7th St. W. – Kemp St. to Reserve St..	\$6,767	\$338	Road District
Margaret St. – S. 14 th St. W. to South Ave. W.	\$9,775	\$489	Road District
Kemp St. – S. 14 th St. W. to South Ave. W.	\$11,131	\$557	Road District
W. Kent St. – Reserve St. to Johnson St.	\$11,172	\$559	Road District

Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Strand Ave. – Margaret St. to East of Grant St.	\$10,415	\$521	Road District
Kensington Ave. – Margaret St. to East of Grant St.	\$11,933	\$597	Road District
Burlington Ave. – Clark St. to East of Grant St.	\$11,990	\$600	Road District
North Ave. – Johnson St. to Reserve St.	\$11,841	\$592	Road District
South Ave. – Higgins Ave. to Maurice Ave.	\$11,600	\$580	Road District

Street Mill & Overlay Projects

C.S. Porter School – North Ave., 26 th St., Central Ave.	\$51,535	\$2,577	Road District
Missoula Ave. – Van Buren to Lolo St.	\$58,252	\$2,913	Road District
Ben Hogan Dr. – Broadview Pl. to Highland Park Dr.	\$45,243	\$2,262	Road District
High Park Wy. – 39 th St. to Simons Dr.	\$54,505	\$2,725	Road District

Other Improvement Projects

Westside Area Mobility	\$171,936	\$8,597	Road District
Mullan Road Reconstruction	\$165,000	\$8,250	Developers
Burton	\$50,000	\$2,500	MRA/TIF
Russell/Fairgrounds	\$60,000	\$3,000	Grants, Fairgrounds, Transit
Ivy/Franklin	\$70,000	\$3,500	Road District, SID
Maple	\$50,000	\$2,500	Road District

Total Request	\$1,026,696.16	\$38,823.56	
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Appendix C

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2020 construction season will be as follows:

Street Chip Seal Projects	Requested BaRSAA Funds	5% Match	Local Match Source
Industrial Rd.	\$12,126.00	\$607.00	Road District
Kestral Ct.	\$1,520.72	\$76.00	Road District
	<hr/> \$13,646.72	<hr/> \$683.00	

RESOLUTION NUMBER 8335

A RESOLUTION REQUESTING DISTRIBUTION OF BRIDGE AND ROAD SAFETY AND ACCOUNTABILITY PROGRAM FUNDS

WHEREAS, the Bridge and Road Safety and Accountability Account created by HB 473 requires the Montana Department of Transportation to allocate accrued funds to cities, towns, counties, and consolidated city-county governments for construction, reconstruction, maintenance, and repair of rural roads, city or town streets and alleys, bridges, or roads and streets that the city, town, county, or consolidated city-county government has the responsibility to maintain; and,

WHEREAS, a city, town, county, or consolidated city-county government that requests funds under the Bridge and Road Safety and Accountability Account must match each \$20 requested with \$1 of local government matching funds; and,

WHEREAS, a city, town, county, or consolidated city-county government requesting distribution of allocated funds may make such a request to the Department of Transportation between March 1 and November 1 of the year the funds were allocated; and,

WHEREAS, a description of the projects to be funded (or the money used to match federal funds) are detailed in Appendix A; and,

WHEREAS, the 5% local match for the allocated funds has been budgeted in the following amounts as listed below, for a total match of \$39,760.00.

- \$10,000.00 for asphalt repair on 5th and 6th Streets—Higgins Ave. to Russell St. from Road District,
- \$2,480.00 for mill and overlay work on 23rd St.—55th to Hillview Way and 55th St.—23rd St. to Hillview Way from Road District #1,
- \$1,575.00 for chip and seal work on Benton St.—Russell St. to Belview Dr. from Road District,
- \$3,138.00 for mill and overlay work on England Blvd.—Reserve St. to Great Northern Ave. from Road District,
- \$2,256.00 for mill and overlay work on Garfield St.—S. 4th St. to S. 14th St. from Road District,
- \$921.00 for mill and overlay work on Great Northern Ave.—W. Broadway to American Way from Road District,
- \$324.00 for mill and overlay work on Greenough Dr.—Vine St. through I-90 Underpass from Road District,
- \$485.00 for mill and overlay work in the driving lanes on Jaiden Ln.—Scott Allen Dr. to 5000 Jaiden Ln. from Road District,
- \$1,185.00 for street reconstruction on Kensington Ave./Margaret St./Eaton St. from Road District,
- \$499.00 for chip and seal work in driving lanes on Martinwood Rd./Old Pond Rd./Mountain View Dr. from Road District,
- \$2,397.00 for mill and overlay work on Mainview Dr.—Hillview Way to 5030 Skyview Dr. from Road District,

- \$1,250.00 for a safety improvement project on Orange St. and Stephens Ave. from City Engineering Operating Budget,
- \$2,500.00 for a roadway approach improvement project on Van Buren Ave. at Missoula Ave. from City Engineering Operating Budget, and
- \$10,750.00 for a pavement installation project on Waterworks Hill from the Water Fund.

THEREFORE, NOW BE IT RESOLVED THAT:

1. City of Missoula requests distribution of its \$795,202.00 allocated share of Bridge and Road Safety and Accountability funds to be used for the projects identified in Appendix A.
2. That John Engen, the Mayor of the City of Missoula, is hereby empowered and authorized to execute such further documents as may be necessary to facilitate the distribution of said funds.

PASSED AND ADOPTED this 6th day of May, 2019.

ATTEST:

/s/ Martha L. Rehbein

Martha L. Rehbein, CMC
City Clerk

(SEAL)

APPROVED:

/s/ John Engen

John Engen
Mayor

Appendix A

The City of Missoula's distribution and matching dollars for Bridge and Road Safety and Accountability Program Funds during the 2019 construction season will be as follows:

Project	Requested BaRSAA Funds	5% Match	Local Match Source
5 th and 6 th Streets—Higgins Ave. to Russell St. Asphalt Repair Project	\$200,000.00	\$10,000.00	Road District
23 rd St.—55 th to Hillview Way and 55 th St.—23 rd St. to Hillview Way Mill and Overlay Project	\$49,600.00	\$2,480.00	Road District
Benton St.—Russell St. to Belview Dr. Chip and Seal Project	\$31,505.00	\$1,575.00	Road District
England Blvd.—Reserve St. to Great Northern Ave. Mill and Overlay Project	\$62,762.00	\$3,138.00	Road District
Garfield St.—S. 4 th St. to S. 14 th St. Mill and Overlay Project	\$45,117.00	\$2,256.00	Road District
Great Northern Ave.—W. Broadway to American Way Mill and Overlay Project	\$18,425.00	\$921.00	Road District
Greenough Dr.—Vine St. through I-90 Underpass Mill and Overlay Project	\$6,474.00	\$324.00	Road District
Jaiden Ln.—Scott Allen Dr. to 5000 Jaiden Ln (driving lanes) Mill and Overlay Project	\$9,690.00	\$485.00	Road District
Kensington Ave./Margaret St./Eaton St. Street Reconstruction Project	\$23,708.00	\$1,185.00	Road District
Martinwood Rd./Old Pond Rd./Mountain View Dr. Chip and Seal Project (driving lanes)	\$9,976.00	\$499.00	Road District
Mainview Dr.—Hillview Way to 5030 Skyview Dr. Mill and Overlay Project	\$47,945.00	\$2,397.00	Road District
Orange St. and Stephens Ave.— Safety Improvement Project	\$25,000.00	\$1,250.00	City Engineering Operating Budget
Van Buren Ave. at Missoula Ave. Roadway Approach Improvement Project	\$50,000.00	\$2,500.00	City Engineering Operating Budget
Waterworks Hill Pavement Project	\$215,000.00	\$10,750.00	Water Fund
Total Request	\$795,202.00	\$39,760.00	



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Committee of the Whole

Item: Mountain Line Mill Levy Request

Date: September 17, 2020

Sponsor(s): Bryan von Lossberg

Prepared by: Kirsten Hands

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input checked="" type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

No action required. Mountain Line will present information to the City Council on their mill levy request on the November, 2020 ballot.

Recommended Motion(s):

I move the City Council: [Click or tap here to enter text.](#)

Timeline:

Referral to committee:	September 21, 2020
Committee discussion:	September 23, 2020
Council action (or sets hearing):	N/A
Public Hearing:	N/A
Deadline:	N/A

Background and Alternatives Explored:

N/A

Financial Implications:

Links to external websites:



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Land Use and Planning

Item: Subdivision and TED Regulation Review Project

Date: September 17, 2020

Sponsor(s): Laval Means

Prepared by: Laval Means

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input checked="" type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Discussion only – No action required

Recommended Motion(s):

I move the City Council: N.A.

Timeline:

Referral to committee:	September 21, 2020
Committee discussion:	September 23, 2020
Council action (or sets hearing):	Click or tap here to enter text.
Public Hearing:	Click or tap here to enter text.
Deadline:	Click or tap here to enter text.

Background and Alternatives Explored:

Development Services is working with consultants, Design Workshop, to conduct a process of identifying issues and potential opportunities, and provide a recommended approach to revising City Subdivision Regulations along with potential changes to Missoula City Zoning related to the subdivision exemption process for Townhome Exemption Development (TED). Overall, this project is intended as a first phase of a multi-year regulation update process. It will help to establish an outline for future changes and future interactions with other development regulations at the local level as well as the state level. The final outcome of this project will be a Recommendations Report that will be presented to City Council committee for support at a future (TBD) LUP meeting.

Our purpose for embarking on this project is to work collaboratively to create a set of recommended subdivision and subdivision exemption regulation changes to provide predictability for everyone engaged in development, to simplify the process wherever possible, and to reduce review times and temper expense, all while ensuring that our high community standards remain in place.

The project has progressed through exploration and analysis of case studies, code processes, state law, and best practices. The project team is synthesizing the analysis and considering potential options for changes.

To date, we've held several working group and technical teams meetings, conducted a community questionnaire, and the consultant project team has interviewed approximately 20 individuals. We are also currently conducting a questionnaire with an environment focus group. We held a discussion about this project with LUP on May 13, and with Planning Board on May 19, 2020.

The purpose of this meeting is to provide an update on the project and focus the discussion on observations from the Best Practices Analysis.

Financial Implications:

Links to external websites:

www.engagemissoula.com



City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Professional Services Agreement Amend. No. 1 with WGM Group, Inc. for the Zip Beverage Water Line Connection Project

Date: September 17, 2020

Sponsor(s): Logan McInnis

Prepared by: Katie Emery

Ward(s) Affected:

<input checked="" type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

Sign a contract amendment with WGM for the Zip Beverage Water Line Connection Project.

Recommended Motion(s):

I move the City Council: Approve and authorize the Mayor to sign a Professional Services Agreement Amendment No. 1 with WGM Group, Inc. for the Zip Beverage Water Line Connection Project at a cost not to exceed \$7,788.00.

Timeline:

Referral to committee:	September 21, 2020
Committee discussion:	September 23, 2020
Council action (or sets hearing):	September 28, 2020
Public Hearing:	N/A
Deadline:	N/A

Background and Alternatives Explored:

The Professional Services Agreement with WGM Group, Inc. was signed on October 29, 2019 for a cost of \$3,975.00. Due to unexpected costs related to sampling and materials inspection, WGM Group, Inc. needs to increase the project amount by \$3,813.00 for a total cost of \$7,788.00.

Financial Implications:

\$7,788.00 from the Water Enterprise Fund

Links to external websites:

N/A

AMENDMENT No. 1 TO PROFESSIONAL SERVICES AGREEMENT

Zip Beverage Water Line Connection Project

THIS PROFESSIONAL SERVICES AGREEMENT AMENDMENT NO. 1 is made and entered into this 17th day of September, 2020, by and between the **CITY OF MISSOULA, MONTANA**, a municipal corporation organized and existing under the laws of the State of Montana, 435 Ryman, Missoula, Montana 59802, hereinafter referred to as “City,” and WGM Group, Inc., 1111 E. Broadway Street, Missoula, Montana 59802, hereinafter referred to as “Consultant.”

Recitals

1. On October 29, 2019, the above parties entered into an agreement whereby the Consultant agreed to perform work and services consisting of project management and client coordination, soil management and construction work plan, and water line installation oversight on the Zip Beverage Water Line Connection Project for which the City agreed to pay the amount of Three Thousand, Nine Hundred Seventy-Five Dollars (\$3,975.00), herein referred to as “Agreement.”
2. Since the execution of the Agreement, the parties desire to amend it as set forth in this Professional Services Agreement Amendment to include time to sample and analyze leftover fill material at a cost not to exceed Three Thousand, Eight Hundred Thirteen Dollars (\$3,813.00) for the additional work. This brings the Agreement total to \$7,788.00.
3. Provisions of the original contract dated October 29, 2019, that are not amended herein remain in full force and effect.

Amendment

In consideration of the mutual covenants and agreements herein contained, the receipt and sufficiency whereof being hereby acknowledged, the parties hereto agree to amend the Agreement as follows:

1. Paragraph 3, **Scope of Work/Task Deadlines**, is amended to incorporate the following Scope of Services for the Zip Beverage Water Line Connection Project: time to sample and analyze leftover fill material, as itemized in Consulting Scope of Services & Cost Estimate, attached hereto as Exhibit A1.
2. Paragraph 4, **Payment**, is amended in the first sentence to read as follows: “City agrees to pay Consultant an amount not to exceed Seven Thousand, Seven Hundred Eighty-Eight Dollars (\$7,788.00) for services performed pursuant to the Scope of Services.”

IN WITNESS WHEREOF, the parties hereto have executed this instrument the day and year first above written.

CONSULTANT:
WGM Group, Inc.

MAYOR
City of Missoula, Montana

John Engen

ATTEST:

APPROVED AS TO FORM AND CONTENT:

Martha L. Rehbein, CMC, City Clerk

Jim Nugent, City Attorney

(SEAL)

Exhibit A1

From: [Logan McInnis](#)
To: [Tyler Etzel](#)
Subject: RE: 200406 / Zip Beverage Water Line Connection Project / PSA 10.31.19 - WGM Group
Date: Thursday, June 11, 2020 11:48:57 AM
Attachments: [image003.png](#)
[image004.png](#)

Sorry Tyler, I will send that to Dennis Bowman and request his approval.

Logan McInnis, PE
Utilities Engineer
City of Missoula
lmcinnis@ci.missoula.mt.us
406-552-6766

From: Tyler Etzel <tetzel@wgmgroup.com>
Sent: Thursday, June 11, 2020 11:40 AM
To: Logan McInnis <LMcInnis@ci.missoula.mt.us>
Subject: RE: 200406 / Zip Beverage Water Line Connection Project / PSA 10.31.19 - WGM Group

Hi Logan,
I'm just following up on this email to make sure you reviewed it. Please let me know if you have any questions or concerns. Thanks.



Tyler Etzel

From: Tyler Etzel
Sent: Thursday, June 4, 2020 3:44 PM
To: Logan McInnis (lmcinnis@ci.missoula.mt.us) <lmcinnis@ci.missoula.mt.us>
Subject: 200406 / Zip Beverage Water Line Connection Project / PSA 10.31.19 - WGM Group

Hi Logan,

Unfortunately, when I estimated the budget for this work I assumed two days of oversight for the water line installations, but the fieldwork extended for about two weeks, which (correspondingly) accounted for more oversight/fieldwork time of the contractor (Knife River) during the line installations. In addition, my original estimate did not include; 1) time to sample and, 2) cost to analyze leftover fill material, which I had hoped wouldn't occur.

Together, these two out of scope items will cause us to exceed our original budget for this work. As of right now, we have an additional \$2,333.00 in labor and will have (approximately) \$1,480.00 in laboratory fees. This totals \$3,813.00 out of scope costs. Since I underestimated my costs by such a

large degree, I will not charge any time for completing the letter report deliverable to DEQ. So I am requesting a change order to PSA 10.31.19 for \$3,813.00. My apologies for this.

Regards,



Tyler Etzel

Senior Geologist

OFFICE: 406-728-4611

CELL: 406-240-7795

EMAIL: tetzel@wgmgroupp.com

ADDRESS: 1111 E Broadway, Missoula MT 59802

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City of Missoula, Montana
Item to be Referred to City Council Committee

Committee: Public Works

Item: Presentation of Revised Missoula City Public Works Standards and Specifications Manual

Date: September 17, 2020

Sponsor(s): Jeremy Keene

Prepared by: Lori Hart

Ward(s) Affected:

<input type="checkbox"/> Ward 1	<input type="checkbox"/> Ward 4
<input type="checkbox"/> Ward 2	<input type="checkbox"/> Ward 5
<input type="checkbox"/> Ward 3	<input type="checkbox"/> Ward 6
<input checked="" type="checkbox"/> All Wards	<input type="checkbox"/> N/A

Action Required:

No action required – informational only.

Recommended Motion(s):

I move the City Council: No motion – informational only.

Timeline:

Referral to committee:	September 21, 2020
Committee discussion:	September 23, 2020
Council action (or sets hearing):	N/A
Public Hearing:	N/A
Deadline:	N/A

Background and Alternatives Explored:

On July 15, 2020, Jeremy Keene with Public Works and Ida Sajor with Development Services presented the Draft *Missoula City Public Works Standards and Specifications Manual* to the Public Works Committee. The draft manual was reviewed internally by Public Works, Development Services, and Parks Department staff, and released to the development, engineering, and construction communities, as well as the general public, for comment. Relevant comments and suggestions were incorporated into the final version of the manual which is now ready for adoption.

City staff members will provide an overview of the comments and changes made to the draft manual. If City Council has no further changes, the manual will be adopted by Administrative Rule in accordance with the proposed revisions to the Missoula Municipal Code Title 12, Streets, Sidewalks and Public Places, when the Title 12 revisions are adopted and take effect.

Financial Implications:

None.

Links to external websites:

<http://www.ci.missoula.mt.us/2708/Public-Works-Standards-Specifications-Ma>

CONTRACTS						
Number	Description	Approved	Amount	Account	Staff Contact	Department
8022	JAG Grading and Paving-Memorial Rose Park ADA Improvements		\$20,070.00	4081.370.460444.930.191	Nathan McLeod	Parks and Recreation
8021	City Life Community Center--agreement to use space	9/17/2020	\$24,000.00	1217.370.460440	Shirley Kinsey	Parks and Recreation
8026	Kara Maul--Public Art traffic signal box contract Russell St and Wyoming	8/20/2020	\$1,500.00	2365.220.460457.350.000	Jim Nugent	Attorney
8027	Monica Gilles-Brings Yellow Public art traffic signal box contract Madison Street and East Broadway	8/20/2020	\$1,500.00	2365.220.460457.350.000	Jim Nugent	Attorney
8028	Emma Colvill--Public Art traffic signal box contract Orange Street and 6th Street	8/20/2020	\$1,500.00	2365.220.460457.350.000	Jim Nugent	Attorney
8029	Ann Karp--Public art traffic signal box contract Stephens Avenue and Beckwith	8/20/2020	\$1,500.00	2365.220.460457.350.000	Jim Nugent	Attorney
8024	Process Wastewater Technologies, LLC., a.k.a. PWTech LLC--Volute Press Replacement Screws Purchase Agreement	9/9/2020	\$21,000.00	5311.330.430649.930	Don Schmidt	Public Works