

September 15, 2021



Adam Jones
Cushing Terrell
306 West Railroad Street, Suite 104
Missoula, MT 59802

City of Missoula
435 Ryman Street
Missoula, MT 59801

Re: Pet Emergency Center - Conditional Use Permit
1914 South Reserve Street & 2432 North Ave West, Missoula.

To Whom it may concern,

On behalf of the Ownership of Pet Emergency Center, I am writing this letter to initiate the Conditional Use Permit process for 1914 South Reserve Street and 2432 North Ave W. The purpose of the proposed project is to expand the professional veterinary services offered to Missoula's vast community of pet owners.

The existing facility at 1914 South Reserve consists of 1,856 SF on the main level and 1,268 SF at the basement level. This facility has very limited opportunity for expansion. Dr. Ellingson, Owner of Pet Emergency Center has purchased the adjacent property at 2432 North Ave West. This parcel contains an existing single-family residence that is approximately 1,680 SF in size.

The new veterinary services building will be constructed on the adjacent parcel (2432 North Ave) and will consist of a 7,367 SF ground floor, 1,595 SF upper floor, and 1,595 sf basement; 10,557 SF gross. Dr. Ellingson has been working with veterinary design specialists to develop the attached floor plans. The new building will provide abundant space for the growing practice and will allow for new veterinary specialists and equipment.

This new design will provide many enhanced benefits to serve the Missoula community of pet lovers. The new building is also designed to meet Design Excellence requirements, which will help beautify the South Reserve corridor. Exterior materials have been carefully selected for durability and to help compliment neighboring uses and building scales.

We feel that approval of this conditional use will benefit the immediate neighborhood and the entire region by providing specialty veterinary services and enhanced architectural design.

Thank you for your consideration,

A handwritten signature in blue ink that reads "Adam Jones". The signature is stylized and cursive.

Adam Jones, Architect, AIA
cushingterrell.com



DEVELOPMENT SERVICES

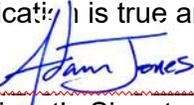
435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

CITY CONDITIONAL USE APPLICATION

A. GENERAL INFORMATION

1. One submittal packet is required for Completeness/Sufficiency Review.
2. Once the application is deemed complete by Development Services (DS), 2 submittal packets and the appropriate fee shall be submitted.
3. Name of Conditional Use Request: **Pet Emergency Center**
4. Name(s) of Applicant: **Adam Jones**
Mailing Address: **306 West Railroad St, Suite 104**
Telephone Number: **406.258.7361**
Email Address: **adamjones@cushingterrell.com**
5. Name(s) of all Owners of Record: **Dr. Earl Ellingson**
Mailing Address(es): **1914 South Reserve Street**
Telephone Number(s): **406.829.9300**
Email Address(es): **theanimaldoctor@hotmail.com**
6. Name and Company of Representative: **Adam Jones**
Mailing Address: **306 West Railroad St, Suite 104**
Telephone Number: **406.258.7361**
Email Address: **adamjones@cushingterrell.com**
7. If the applicant is someone other than the property owner, the owner must also sign the application in the space provided below.

Certification: I hereby certify that the foregoing information contained or accompanied in this application is true and correct to the best of my knowledge.


Applicant's Signature _____ Date September 15, 2021


Owner's Signature _____ Date September 15, 2021


Representative's Signature _____ Date September 15, 2021

B. SUBJECT PROPERTY INFORMATION

General location of subject property and address (if address has been assigned): 1914 South Reserve St, Missoula, MT / 2432 North Ave

Legal Description - complete and unabbreviated: MACLAY ADDITION, S29, T13 N, R19 W, BLOCK 2, Lot 10, LESS R W / MACLAY ADDITION, S29, T13 N, R19 W, BLOCK 2, Lot 9, & W 20' OF 8

Township, Range, Section(s): **13 N**

Subdivision, Lot(s), Block(s):

Tract(s), COS#:

Bearings & Distances Descriptions (if boundaries of proposed Conditional Use are not exactly the same as the boundaries of the property legally described above):

Geocode: **04-2200-29-3-43-01-0000 / 04-2200-29-3-43-07-0000**

C. ZONING AND GROWTH POLICY INFORMATION

1. Complete the following table (where applicable, indicate Unzoned):

| | Zoning | Current Land Use |
|------------------|---|------------------------------------|
| Adjacent (North) | C1-2 / B2-2 / DE CORRIDOR TYPOLOGY 4 | COMMERCIAL / HOSPICE |
| Adjacent (South) | C1-4 OR B2-2 | COMMERCIAL / VACANT |
| Adjacent (East) | B2-2 | RESIDENTIAL / SINGLE FAMILY |
| Adjacent (West) | C1-4 / DE CORRIDOR TYPOLOGY 4 | RESIDENTIAL / SINGLE FAMILY |

2. What is the current zoning of the property? **B2-2**

3. What is the applicable comprehensive plan and land use designation for the property? **Community Mixed Use**

4. What is the conditional use requested? **Animal Services - Veterinary (Current veterinary facility was approved at this location in the past)**

D. RESPONSES TO TITLE 20 ZONING ORDINANCE CONDITIONAL USE REVIEW CRITERIA

1. **Review Criteria.** Describe how the proposal meets the following review criteria. (Not all review criteria will apply in every case. Only the applicable review criteria need to be met.)
 - a. Whether the conditional use complies with all applicable standards of the zoning ordinance.
Yes, the design has been developed to meet requirements of Design Excellence and Title 20 zoning standards.
 - b. Whether the conditional use is in the interest of the public convenience and will not have a significant adverse impact on the general welfare of the neighborhood or community.
Yes, the project is in the interest of public convenience. As an existing and locally-known veterinary service, the new facility will provide a higher level of service with expanded medical resources and space to accommodate more clients.
 - c. Whether the conditional use is compatible with the character of the surrounding area in terms of site planning, building scale, and project design.
Yes, the site planning, building scale and design are compatible with the surrounding area; it has been developed to meet requirements of Design Excellence and Title

20 zoning standards. The new facility will enhance street frontages and overall appearance at this intersection as well.

- d. Whether the conditional use has operating characteristics that are compatible with the surrounding area in terms of hours of operation, outdoor lighting, noise, and traffic generation. **This project replaces an existing facility with the same use. Operating characteristics will be enhanced and more compatible with the surrounding area by providing ample off-street parking and street-facing activity. A privacy fence will also be provided along the east property line to screen the new building from residential uses.**
- e. Whether the conditional use will not have a significant adverse impact on traffic safety or comfort, including all modes of transport (non-motorized and motorized). **No, significant adverse impact on safety or comfort. The new design will improve pedestrian and bicycle access with new accessible route from public right-of-way to the main building entry. Motorized access will be improved as well.**

2. Factors to be Considered.

Section 20.85.070(I) includes factors that City Council may consider in determining whether all applicable review criteria have been satisfied. These are listed below for reference.

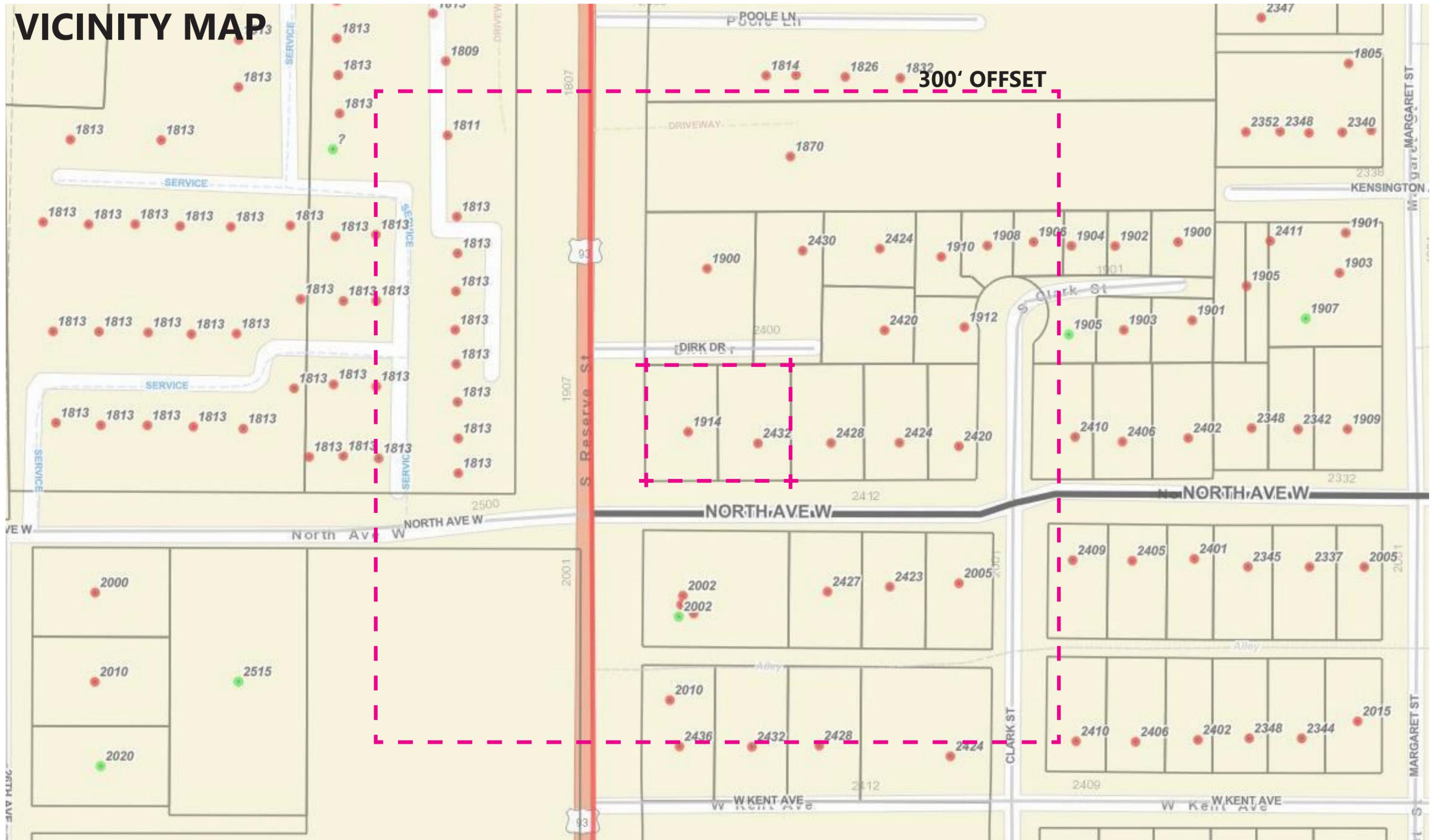
- a. That new buildings and structures are located to create a positive relationship with their environment, both urban and natural.
- b. That the site design properly addresses building orientation, open space, light, sun exposure, views, and protection of natural features.
- c. That buildings, structures, and uses are compatible with adjacent properties and uses in terms of physical design elements, such as volume and mass management, building materials, color, open space design, screening, and other design elements.
- d. That the overall project will be functional, attractive, and safe in terms of pedestrian, bicycle, and vehicular access, parking, loading, and servicing.

E. ATTACHMENTS

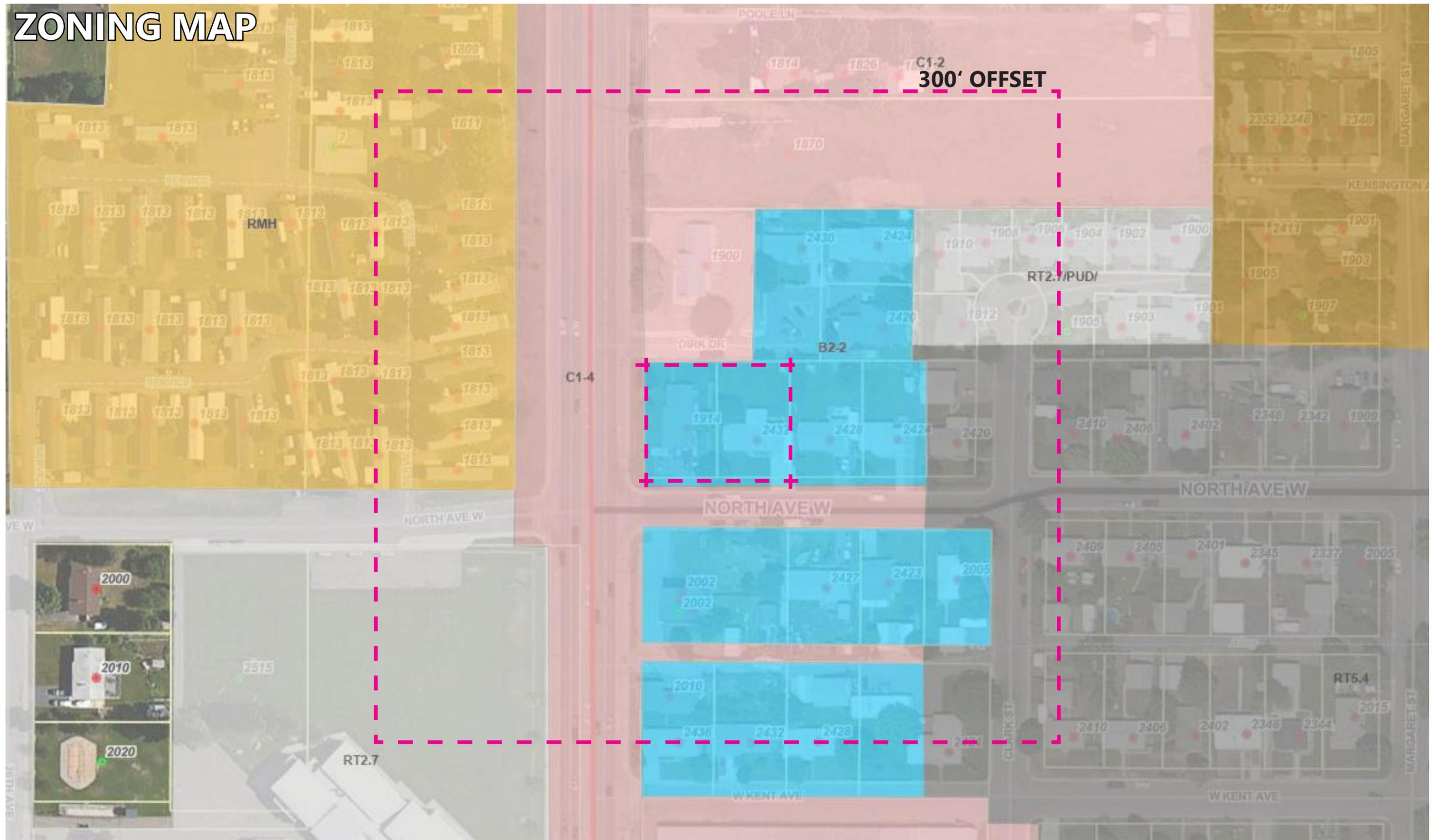
As separate attachments (8.5" x 11" or 11" x 17"), provide the following materials with the site clearly identified. Where appropriate, required information may be combined as long as the information is clearly presented. Please check the box if the material is included in the packet. If the material is not included in the submittal packet, please note "N/A".

- A cover letter** describing the purpose of the proposed project, existing site conditions, and a brief description of the proposal.
- A vicinity map** showing the subject property and the area within 300 feet of the subject property.
- A Zoning map** of the subject property and vicinity (showing the existing zoning district), extending at least 300 feet from the property boundaries.
- An aerial photo** of the subject property and vicinity extending at least 300 feet from the property boundaries.
- A Growth Policy/Comprehensive Plan map** of the subject property and vicinity extending at least 300 feet from the property boundaries for the applicable comprehensive plan, clearly showing the land use designation of the subject property and surrounding properties.
- The current plat** of the subject property.
- A site plan**, including existing and proposed landscaping, parking, streets/access, sidewalks, bike lanes, and any other improvements to the property.
- Building elevation drawings** of all proposed structures and/or photos of existing structures.
- Floor plans** of all existing and proposed buildings.

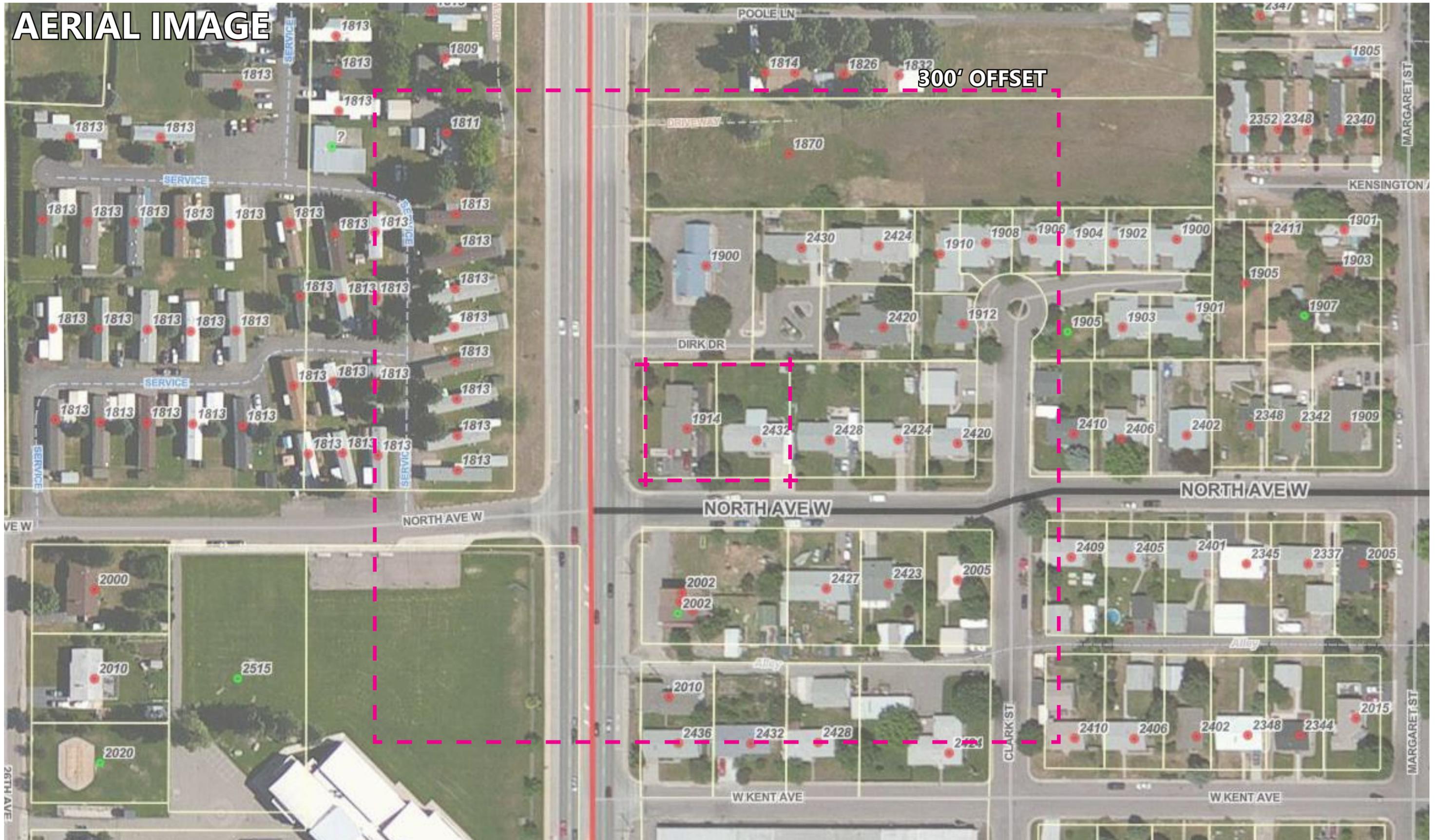
VICINITY MAP



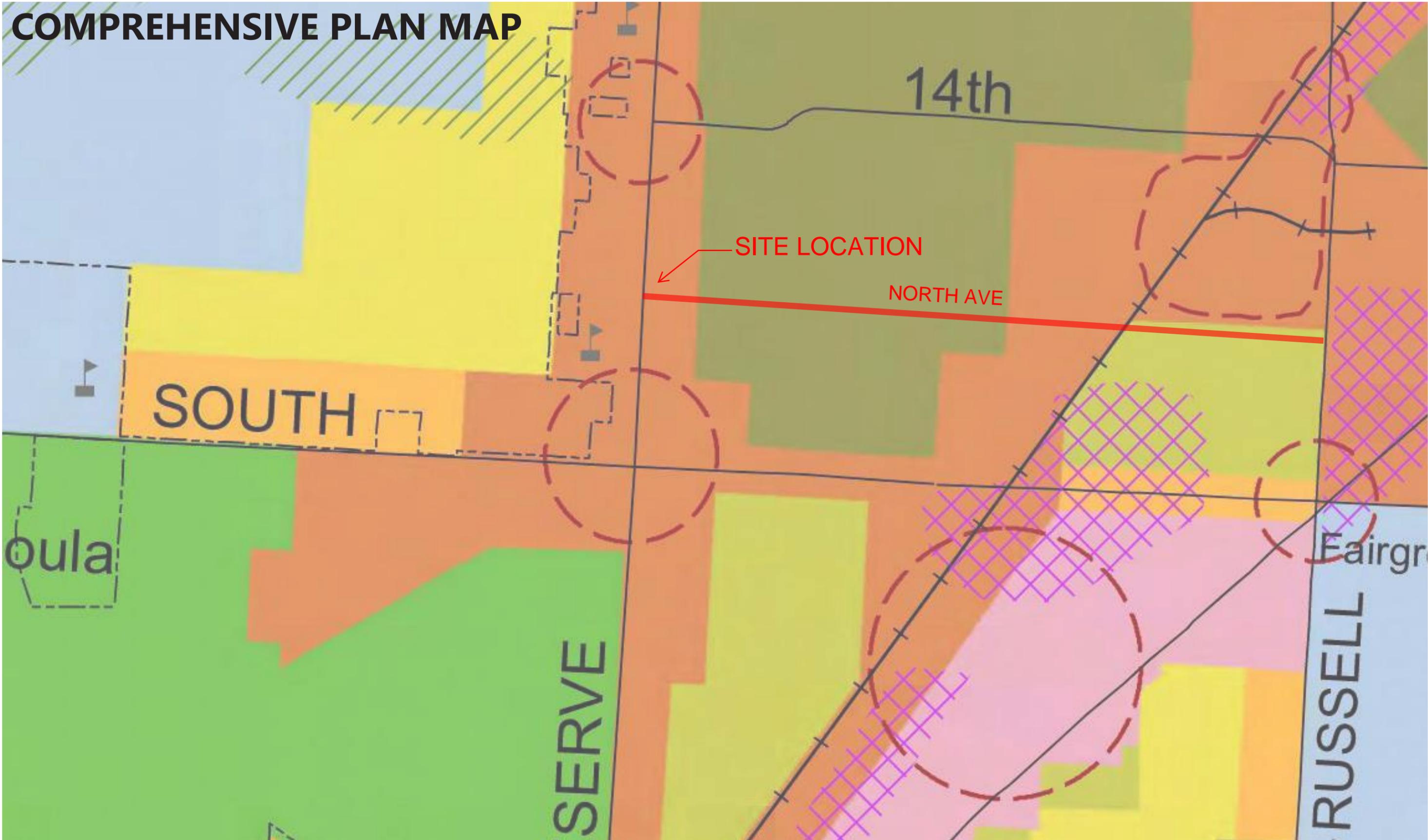
ZONING MAP

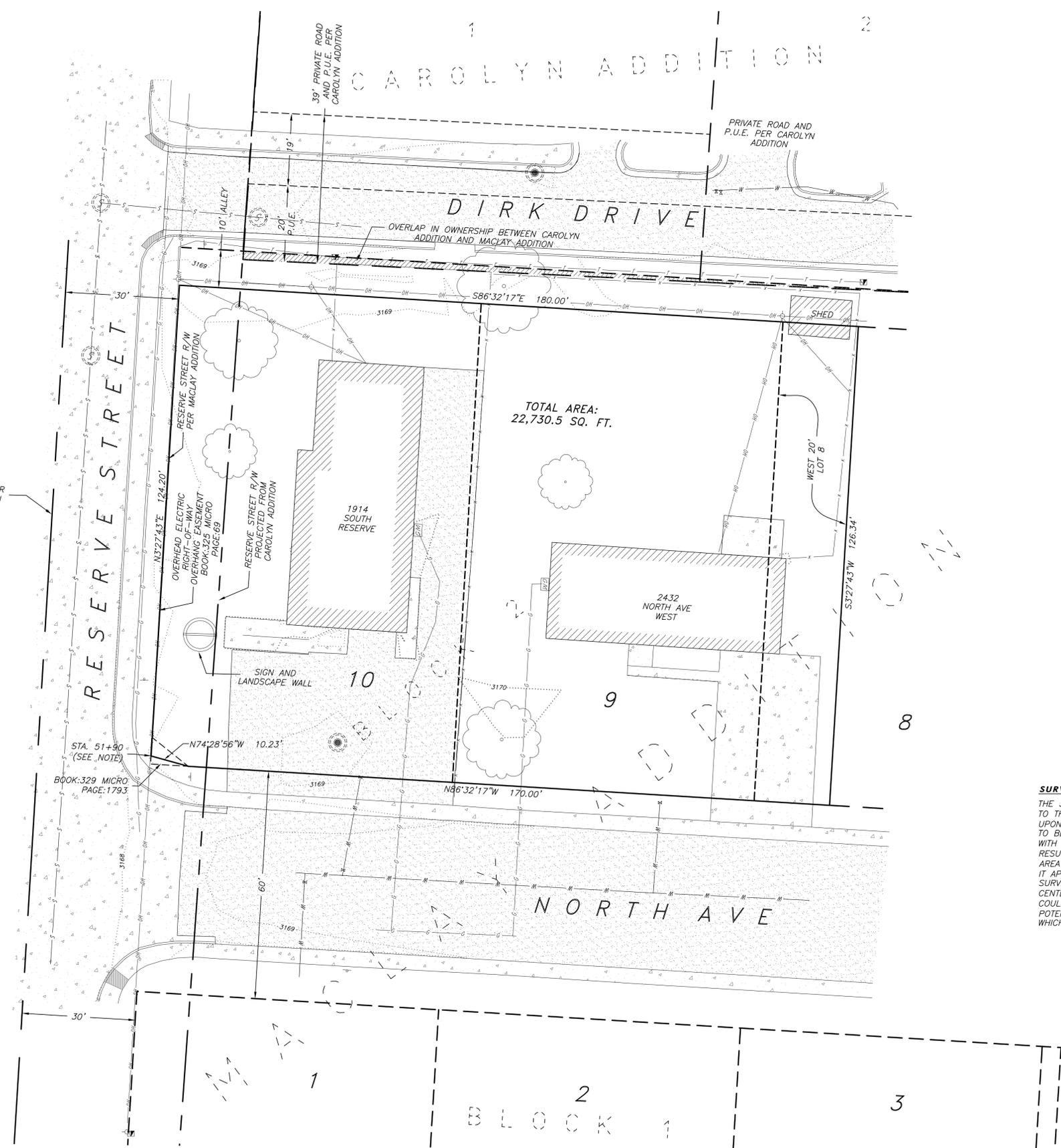


AERIAL IMAGE

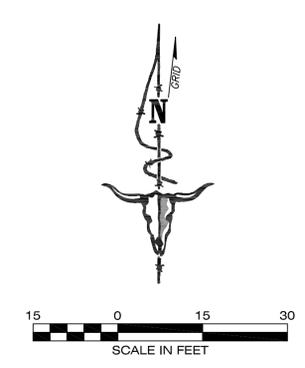


COMPREHENSIVE PLAN MAP





TOTAL AREA:
22,730.5 SQ. FT.



BASIS OF BEARING
MONTANA STATE PLANE ZONE 2500
GROUND (TRUE) DISTANCES
GRID NORTH

VERTICAL DATUM
NAVD88

- LEGEND**
- (E) PROPERTY BOUNDARY
 - (E) ADJACENT PROPERTY BOUNDARY
 - (E) WATER LINE
 - (E) OVERHEAD UTILITY
 - (E) GAS LINE
 - (E) TELEPHONE LINE
 - (E) FENCE LINE
 - (E) STREAM
 - (E) MAJOR CONTOUR
 - (E) MINOR CONTOUR
 - (E) ASPHALT
 - (E) CONCRETE
 - (E) SEWER MANHOLE
 - (E) SUMP
 - (E) TELEPHONE JUNCTION BOX
 - (E) GAS METER
 - (E) POWER POLE
 - (E) GUY WIRE
 - (E) SIGN
 - (E) DECIDUOUS TREE
 - P.U.E. PUBLIC UTILITY EASEMENT

SURVEY NOTE:
THE 35 SQUARE FOOT, TRIANGULAR PORTION OF LOT 10, BLOCK 2 OF MACLAY ADDITION THAT WAS DEEDED TO THE STATE OF MONTANA VIA BOOK 329 (MICRO), PAGE 1793 ON MAY 22, 1991, WHICH LOCATION IS BASED UPON THE STATION REFERENCE TO THE RESERVE STREET PLANS M8193(3). SAID STATION OF 51+90 IS INTENDED TO BE ON THE WEST BOUNDARY OF SAID LOT 10 AND THEN A 62 FOOT OFFSET TO THE RIGHT AT THE INTERSECTION WITH THE NORTH R/W OF NORTH AVENUE. IN AN ATTEMPT TO DETERMINE THE "TRIANGLE" LOCATION AND TO RESULT IN THE DESIRED 35 SQUARE FOOT AREA, THE STATION OF 51+90 AND THE 62' OFFSET RESULTED IN AN AREA OF ONLY 10 SQUARE FEET. IN REVIEWING THE MDT R/W PLANS AND THE LOCATION OF MACLAY ADDITION, IT APPEARS THAT NORTH AVENUE IS NOT CENTERED IN THE 60' R/W; HOWEVER, DURING THE COURSE OF THIS SURVEY AND RECOVERY OF SEVERAL MONUMENTS WITHIN THIS SUBDIVISION, NORTH AVENUE IS MORE OR LESS CENTERED WITHIN THE PLATTED R/W. THIS DISCREPANCY IN R/W LOCATION IN CONJUNCTION WITH THE DEED COULD LEAD TO A COUPLE ALTERNATE LOCATIONS FOR THE "TRIANGLE". WE'VE ATTEMPTED TO DEPICT BOTH POTENTIAL LOCATIONS, BUT HAVE OPTED TO UTILIZE THE STATIONING CALLOUT OF 51+90 AND THE 62' OFFSET, WHICH WOULD RESULT IN A ROUGHLY 10 SQUARE FOOT PORTION.

MAPPING NOTES:
LOCATION OF PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FOR MAPPING PURPOSES ONLY AND ARE APPROXIMATE IN NATURE; THEREFORE, THIS MAP IN NO WAY REPRESENTS A LEGAL BOUNDARY SURVEY.

UNDERGROUND UTILITIES ARE SHOWN HEREON AT LOCATIONS MARKED ON THE GROUND BY THE RESPECTIVE UTILITY COMPANIES PER MONTANA ONECALL TICKET NO. 20143272 AND 20143263. THIS FIRM HEREBY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. EXCAVATION OF SAID UNDERGROUND UTILITIES MAY INDICATE ACTUAL LOCATIONS THAT DIFFER FROM THE LOCATIONS SHOWN HEREON.

| | | | |
|--|-------------------------------|---|----|
| IMEG | | 1817 SOUTH AVE. W. STE. A BOZULU, MT 59801 PH: 406.721.0142 FAX: 406.721.5224 www.imegcorp.com | |
| DATE | | REVISIONS | |
| DESIGNED: | | DRAFTED: | MP |
| CHECKED: | | CHECKED: | MJ |
| DATE: | 1-8-2021 | | |
| LOCATION: MACLAY ADDITION, BLOCK 2, LOTS 10, 9, AND THE WEST 20' OF LOT 8 S.29, T.10N., R. 10E, MISSOULA COUNTY, MONTANA | PREPARED FOR: | EARL ELLINGSON | |
| PROJECT NAME | EMERGENCY PET CENTER SITE MAP | | |
| PROJECT NO. | 20006088 | | |
| SHEET | 1 OF 1 | | |
| SHEET TITLE | EXISTING CONDITIONS | | |

ZONING REVIEW SUMMARY

ZONING DISTRICT
B2-2 COMMUNITY BUSINESS

CHAPTER 20

20.10.020 ALLOWED USES
VETERINARY USE - CONDITIONAL - CUP REQUIRED

20.10.030 PARCEL AND BUILDING STANDARDS
MINIMUM FRONT SETBACK - NONE (NOT ABUTTING 'R' DISTRICT)
MINIMUM REAR SETBACK - NONE
MINIMUM SIDE/ STREET SIDE SETBACK - NONE
MAX BUILDING HEIGHT - 50'-0"

20.25.082 DESIGN EXCELLENCE / CORRIDOR
CORRIDOR TYPOLOGY 4
MIN. PRIMARY STREET SETBACK - 15'-0"
MIN. SECONDARY STREET SETBACK - 10'-0"
PARKING BIN BUILDING & STREET ALLOWED
PARKING LOT SETBACK FROM STREET 10'-0" MIN.
INTERIOR LOT LANDSCAPING - REQUIRED
PARKING LOT PERIMETER LANDSCAPING - REQUIRED
FLOOR TO CEILING HEIGHT - 10'-0" MIN.
GLAZED AREA - 35% / 25% (PRIMARY STREET VS SECONDARY)
BLANK WALL WIDTH MAX - 16'-0"
STREET FACING ENTRANCE - VISIBLE FROM THE CORRIDOR
NATURAL MATERIALS REQUIRED WHEN STREET FACING - 10% AREA
FACADE ARTICULATION REQUIRED - IF OVER 50'-0"

20.60.020 REQUIRED VEHICLE PARKING
1 SPACE PER 480 SF -

BUILDING AREA:
BASEMENT 1,583 SF
MAIN LEVEL 7,303 SF
BASEMENT 1,591 SF
TOTAL 10,477 SF

20.60.020 - REQUIRED MOTOR VEHICLE PARKING
1 SPACE PER 480 SQ. FT.

10,477 / 480 = 21.8

22 PARKING SPACES REQUIRED
22 PARKING SPACES PROVIDED

PARKING NOTES:

- TWO ACCESSIBLE SPACES PROVIDED, ONE IS A VAN SPACE AND THE OTHER A CAR ACCESSIBLE SPACE TO MEET CITY ENGINEERING STANDARDS.
- ONE PARKING SPACE IS LESS THAN 9'-0" WIDE AND IS NOT COUNTED IN THE OVERALL PARKING COUNT. THIS SPACE MAY SERVE AS A COMPACT SPACE OR AS SNOW REMOVAL AREA IN WINTER MONTHS.

20.60.090 - BICYCLE PARKING
COMMERCIAL USE

SHORT TERM 1 PER 10 MOTOR VEH. SPACES; 2 SPACES MIN.

22 SPACES / 10 = 2.2 SHORT TERM BICYCLE SPACES

3 SHORT TERM SPACES WILL BE PROVIDED; SEE ARCH. SITE PLAN, NEAR BUILDING ENTRANCE.

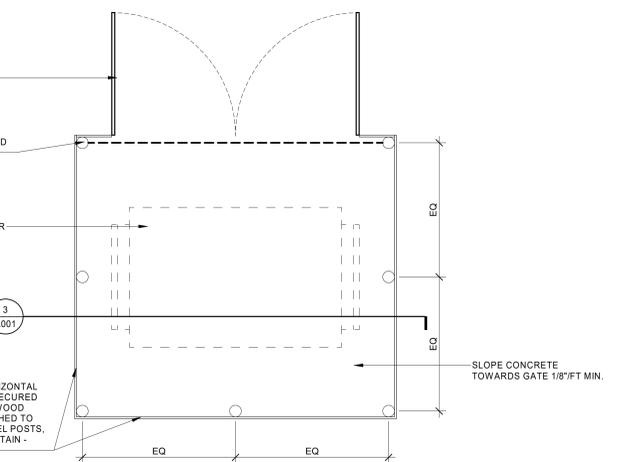
LONG TERM 1 PER 5 EMPLOYEES; 2 SPACES MIN.

15 EMPLOYEES ANTICIPATED

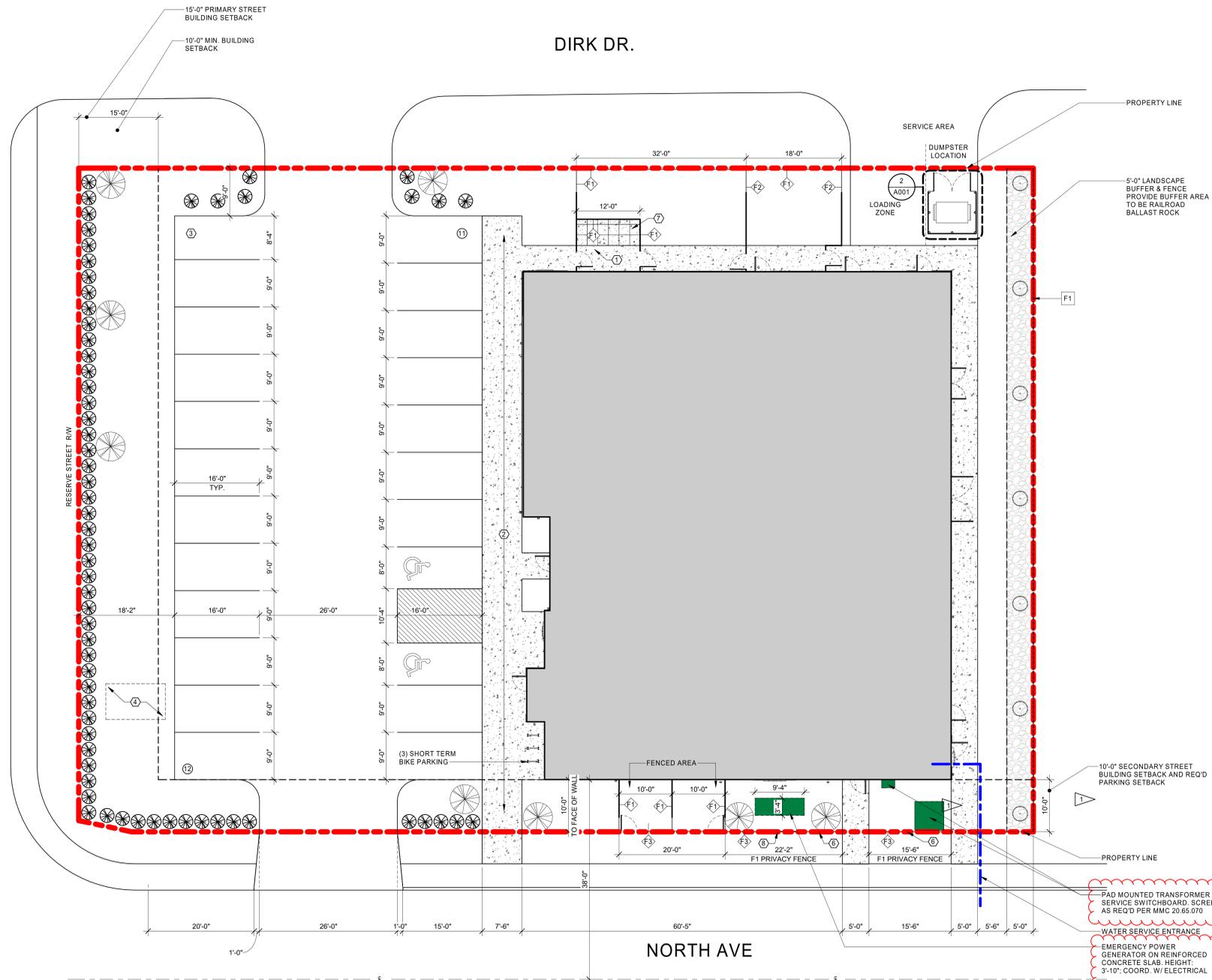
3 LONG TERM SPACES WILL BE PROVIDED; SEE 4100 BASEMENT PLAN FOR LOCATION.

20.65.020 GENERAL SITE LANDSCAPING

15% OF PARCEL AREA REQUIRED TO BE LANDSCAPED
AT LEAST ONE TREE AND SIX SHRUBS PER 1,000 SF OF REQUIRED GENERAL SITE LANDSCAPING AREA
TOTAL LOT AREA - 22,731 SF
15% REQUIRED AREA - 3,410 SF



2 TRASH ENCLOSURE PLAN
A001 1/2" = 1'-0"



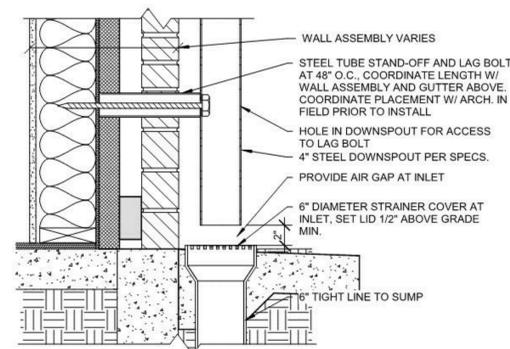
1 SITE PLAN
A001 1" = 10'-0"

⑥ SITE PLAN KEYNOTES

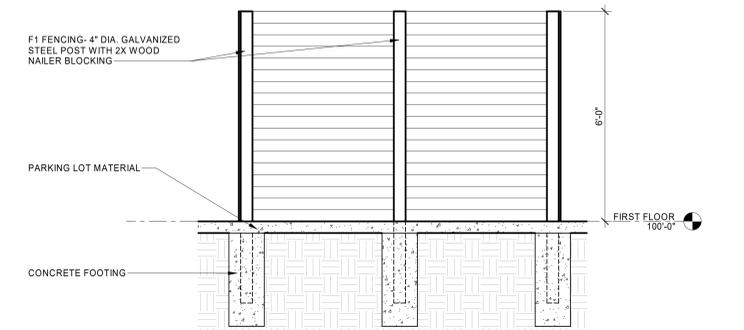
- PROVIDE OVERHEAD HEATING UNIT MOUNTED TO UNDERSIDE OF AWNING. CONFIRM LOCATION W/ OWNER.
- EXTENTS OF HEATED CONCRETE SLAB, COORDINATE W/ MEP.
- 'COMPACT VEHICLE' PARKING STALL. PROVIDE APPROPRIATE SIGNAGE AS REQ'D.
- EXISTING MONUMENT SIGN TO REMAIN. COORDINATE LOCATION OF UNDERGROUND UTILITIES W/ CIVIL & MEP PRIOR TO SITE DEMOLITION.
- DOWNSPOUT PIPED TO STORM. COORDINATE W/ CIVIL.
- INSTALL EQUIPMENT SCREEN FENCING AS REQ'D TO COMPLY W/ MFR CLEARANCE AND SITE SETBACKS.
- CONCRETE PAVERS.
- PROVIDE TWO, REMOVABLE 4'-0" SECTIONS OF FENCE IN FRONT OF GENERATOR FOR MAINTENANCE ACCESS.

FENCE TYPE LEGEND

- F1 6'-0" HIGH, WOOD PRIVACY FENCE ON GALVANIZED POSTS. STAIN DARK BROWN. 75% OPAQUE MINIMUM.
- F2 6'-0" HIGH CHAIN-LINK FENCE
- F3 6'-0" HIGH, WOOD PRIVACY FENCE ON GALVANIZED POSTS. STAIN DARK BROWN. 100% OPAQUE. SCREENING MINIMUM TO SCREEN MECHANICAL EQUIPMENT.



4 SITE INLET DETAIL
A001 NOT TO SCALE



3 TRASH ENCLOSURE SECTION
A001 1/2" = 1'-0"

DR. EARL ELLINGSON
1914 S. RESERVE ST. MISSOULA, MT
PET EMERGENCY CENTER



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PERMIT SET

10.15.2021
PROJECT# | PEC_BLDG
DESIGNED BY | JONES
DRAWN BY | JACOBSEN
REVISIONS:
1 10.13.2021 ADDENDUM #1

ARCHITECTURAL SITE PLAN

A001

GENERAL SITE LANDSCAPING CALCULATIONS

| | |
|---------------------------|-----------------|
| PARCEL AREA: | 22,731 SF |
| LANDSCAPE REQUIRED (15%): | 3,410 SF |
| LANDSCAPE AREA PROVIDED: | 5,502 SF TOTAL |
| TREES PROVIDED: | 15 TOTAL TREES |
| SHRUBS PROVIDED: | 64 TOTAL SHRUBS |

NOTE: TOTAL LANDSCAPE AREA AND PLANTINGS ARE COMPOSED FROM THE CALCULATIONS BELOW.

| | |
|-----------------------------------|-----------|
| STREET FRONTAGE LANDSCAPE AREA: | 2,676 SF |
| TREES REQUIRED (2 PER 1,000 SF): | 6 TREES |
| TREES PROVIDED: | 6 TREES |
| SHRUBS REQUIRED (6 PER 1,000 SF): | 33 SHRUBS |
| SHRUBS PROVIDED: | 56 SHRUBS |

| | |
|-----------------------------------|-----------|
| INTERIOR PARKING LOT LANDSCAPING: | |
| PAVED VEHICULAR USE AREA: | 7,068 SF |
| REQUIRED LANDSCAPING (10%): | 707 SF |
| PROVIDED: | 1,332 SF |
| TREES REQUIRED (1 PER 1,000 SF): | 1.3 TREES |
| TREES PROVIDED: | 2 TREES |
| SHRUBS REQUIRED (6 PER 1,000 SF): | 8 SHRUBS |
| SHRUBS PROVIDED: | 8 SHRUBS |

| | |
|------------------------------------|---|
| PERIMETER PARKING LOT LANDSCAPING: | NOT REQUIRED; DESIGN EXCELLENCE PERIMETER PARKING LOT SCREENING APPLIES |
|------------------------------------|---|

| | |
|----------------------------------|------------------------------|
| PERIMETER PARKING LOT SCREENING: | PROVIDED VIA LANDSCAPE HEDGE |
| LANDSCAPE AREA WIDTH: | 6'-0" (MIN) |
| SHRUB HEIGHT: | 3'-0" (MIN) |
| SHRUB SPACING: | 3'-0" (MIN) |

| | |
|-----------------|---|
| BUFFER: | PROVIDED ALONG EASTERN PROPERTY LINE ABUTTING RESIDENTIAL USE |
| DETAILED INFO: | 5'-0" WIDE LANDSCAPED AREA WITH A 6'-0" FENCE, 75% OPAQUE OR GREATER. |
| TREES REQUIRED: | ONE EVERGREEN EVERY 20' ALONG LENGTH OF BUFFER |
| TREES PROVIDED: | 7 TREES |

PLANTING NOTES

REMOVE ALL ACCUMULATIONS OF DEBRIS FOUND IN PLANTING BEDS AND DISPOSE OF. OFF-SITE, MECHANICALLY BREAK UP AS NECESSARY EXISTING SOIL IN PROPOSED PLANTING BEDS COMPACTED BY PRIOR CONSTRUCTION.

PLANTING MIX TO CONSIST OF 1/3 MAGIC MOUNTAIN COMPOST AND MANURE (MOUNTAIN WEST BARK PRODUCTS OR EQUAL) AND 2/3 EXISTING SOIL. IF CLAY SOIL IS ENCOUNTERED, REPLACE WITH A BETTER, MORE POROUS SOIL. IF HARD PAN IS ENCOUNTERED, EXCAVATE 12" OF PLANTING BED AND COMPLETELY MIX EXISTING SOIL WITH PLANTING MIX PRIOR TO PLACING PLANTS.

IMMEDIATELY AFTER PLANTING AND PLACING WEED BARRIER, CONNECT DRIP SYSTEM TO PLANT MATERIALS AND START SYSTEM. IN ADDITION, HAND WATER TWICE WITH HOSE ALL NEW PLANTS TO INITIALLY ASSIST DRIP SYSTEM FOR FIRST 24 HOURS. THOROUGHLY SETTLE AND SATURATE THE PLANTING MIX, ROOT ZONE AND SOIL AROUND PLANTINGS. IF TEMPERATURE IS EXTREME, HAND WATER PLANTS AGAIN 48 AND 72 HOURS AFTER INSTALLATION.

LANDSCAPE CONTRACTOR TO STAKE PLANTING LOCATIONS AND VERIFY WITH GENERAL CONTRACTOR PRIOR TO PLANTING.

ALL STAKING AND CUYING ON TREES TO REMAIN IN PLACE FOR 1 YEAR AND THEN TO BE REMOVED IN SPRING. TREE GUARDS ARE TO BE BUNDLED AND REMOVED FROM THE SITE.

LANDSCAPE CONTRACTOR SHALL PROVIDE A 1-YEAR WARRANTY FOR ALL PLANTINGS. LANDSCAPE CONTRACTOR SHALL MEET WITH PROPERTY OWNER/MANAGER BEFORE THE WARRANTY PERIOD ENDS AND REPLACE ANY MATERIALS REQUIRED.

WEED BARRIER TO BE 5.8 OZ. OR BETTER. ALL WEED BARRIER SEAMS SHALL OVERLAP A MINIMUM OF 12". ALL WEED BARRIER SHALL BE PINNED DOWN WITH WEED MAT PINS A MINIMUM OF 10'-0" O.C. WEED BARRIER TO BE DUG DOWN AT EDGING AND ALL HARD EDGES TO ENSURE PROPER WEED CONTROL.

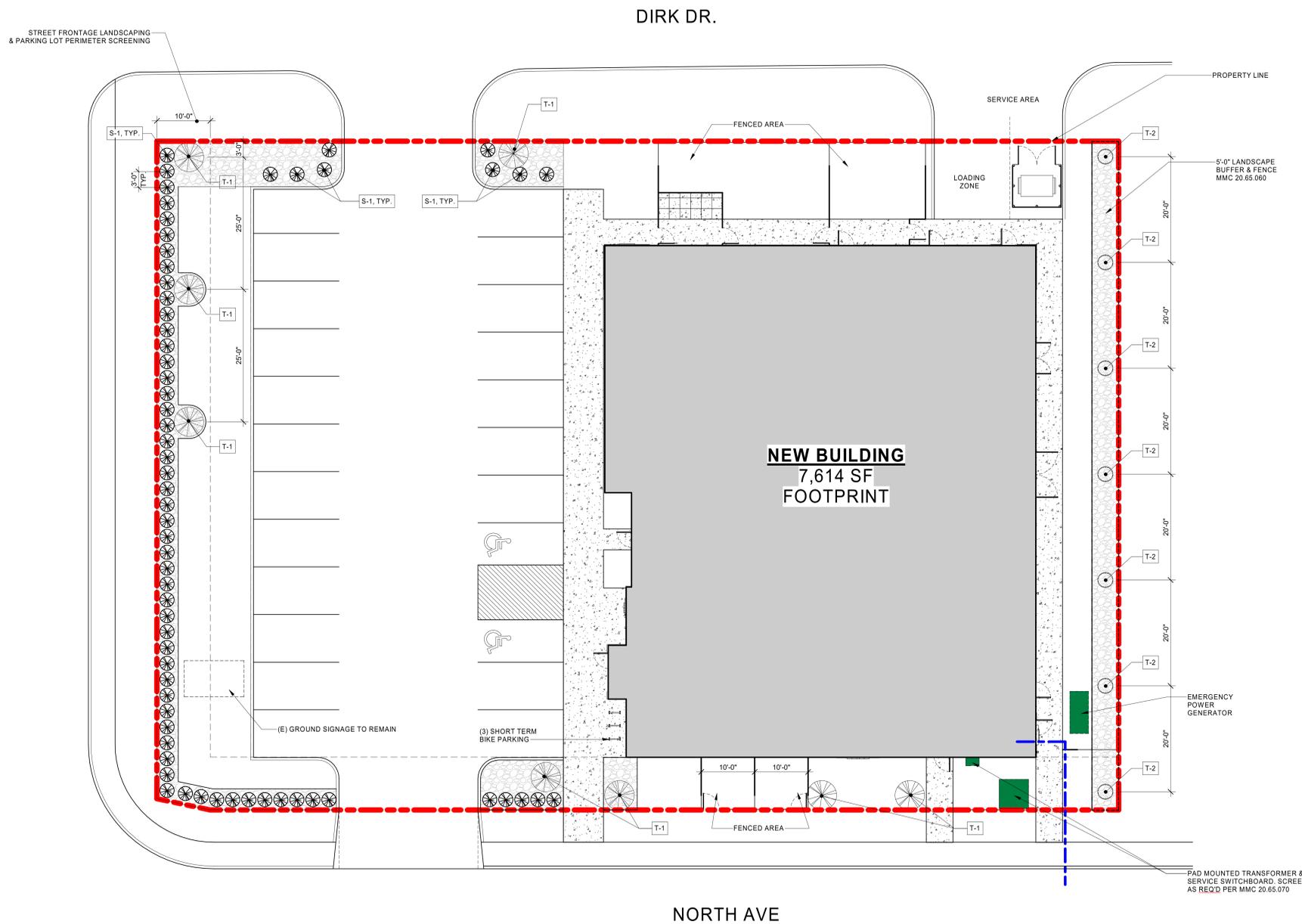
MULCH AREA TO BE PROVIDED AROUND ALL TREE AND SHRUB PLANTINGS AND MUST BE SEPARATED FROM TURF BY A MINIMUM DISTANCE OF TWO FEET. MULCH SHALL BE 3" MIN AND 5" MAX DEPTH SOIL COVER WITH NO VISIBLE WEED BARRIER. MINIMUM 50% ORGANIC. USE REGIONALLY SOURCED MULCH. FULLY CHIPPED OR SHREDDED, UN-SPLINTERED WOOD OR BARK CHIPS FREE OF SOIL, ROCKS, WEEDS, METALS, TOWNS AND FOREIGN OBJECTS. ORGANIC MULCH SHALL HAVE AN AVERAGE PARTICULAR SIZE OF NO MORE THAN 2.5 CUBIC INCHES.

PRE-EMERGENT BLEND OF "DIMENSIONAL" AND "GALLERY" MIXED AT A RATIO OF 2 OZ. PER GALLON SHALL BE APPLIED AS PER MANUFACTURER'S INSTRUCTIONS AFTER INSTALLATION OF MULCH TO FURTHER CONTROL WEED GERMINATION. SPECIFIC ATTENTION TO BE PAID TO BED EDGES AND OTHER HARD SURFACE EDGES. PRE-EMERGENT TO BE REAPPLIED THREE WEEKS AFTER INITIAL INSTALLATION, UNLESS COMPLETED IN FALL, THEN IT SHALL BE APPLIED THE FOLLOWING SPRING.

HYDROSEED ALL LAWN AREAS WITH A KENTUCKY BLUE GRASS BLEND.

PLANT LIST

| | | |
|-----|-------------|---|
| T-1 | TREE NAME: | SPRING SNOW CRABAPPLE |
| | TYPE: | DECIDUOUS |
| | SIZE: | 1.5" CALIPER; 8'-0" TALL, MINIMUM |
| T-2 | TREE NAME: | NORWAY SPRUCE |
| | TYPE: | EVERGREEN |
| | SIZE: | 6'-0" TALL, MINIMUM (NO MINIMUM CALIPER) |
| S-1 | SHRUB NAME: | FEATHERED REED GRASS 'KARL FOESTER' |
| | SIZE: | 5 GAL. MINIMUM 12" SPREAD AT TIME OF PLANTING |



S. RESERVE STREET

DIRK DR.

NEW BUILDING
7,614 SF
FOOTPRINT

NORTH AVE

1 SITE LANDSCAPE PLAN AND DETAILS
A002 1" = 10'-0"



NORTH REF

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

DR. EARL ELLINGSON
1914 S. RESERVE ST., MISSOULA, MT
PET EMERGENCY CENTER

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BID DOCUMENTS

09.23.2021
PROJECT# | PEC_BLDG
DESIGNED BY | JONES
DRAWN BY | JONES
REVISIONS

SITE LANDSCAPE
PLAN AND DETAILS

A002

GENERAL NOTES

- A. ALL INTERIOR WALLS TO BE WALL TYPE A1 U.N.O.
- B. ALL CASEWORK TO HAVE PLASTIC LAMINATE FINISH, U.N.O.
- C. ALL EXPOSED COUNTERTOP CORNERS TO HAVE 2" RADIUS.
- D. ALL EXPOSED COUNTERTOPS TO BE FACED WITH PVC EDGEBANDING.
- E. ALL RUN AND CAGE BANK DIMENSIONS TO BE VERIFIED BEFORE INSTALLATION.
- F. GROMMET LOCATIONS IN COUNTERTOPS TO BE VERIFIED WITH OWNER.
- G. PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED EQUIPMENT.
- H. ALL EXPOSED OUTSIDE CORNERS OF INTERIOR WALLS SHALL HAVE STAINLESS STEEL CORNER GUARDS 1'-4" AFF.
- I. AT ALL VERTICAL TILE APPLICATIONS INSTALL 'SCHLUTER STRIPS' ON OUTSIDE CORNERS.
- J. FIELD VERIFY ALL CASEWORK AND BUILT IN COMPONENTS PRIOR TO FABRICATION.
- K. COORDINATE ALL PLUMBING LOCATIONS WITH PLUMBING DRAWINGS INSTALLED CONDITIONS IN FIELD.
- L.

EQUIPMENT KEYNOTES

- EXAMINATION EQUIPMENT**
- E1. EXAM TABLE - OFCI (TO BE RELOCATED)
 - E2. EXAM TABLE - OFCI
 - E3. LIFT GURNEY - OFCI
 - E4. SCALE - OFCI (TO BE RELOCATED)
 - E5. PORTABLE ULTRASOUND SYSTEM - OFCI (TO BE RELOCATED)
 - E6. ULTRASOUND SYSTEM - OFCI (TO BE RELOCATED)
 - E7. ENDOSCOPE CABINET - OFCI
- TREATMENT EQUIPMENT**
- T1. PARALLEL EXAM TABLE - OFCI (TO BE RELOCATED)
 - T2. TREATMENT TABLE - OFCI
 - T3. SPLIT LEVEL WET TABLE - OFCI
 - T4. SHALLOW WET TABLE - OFCI
 - T5. LIFT GURNEY - OFCI
 - T6. MEDICAL LIGHT - OFCI
 - T7. MEDICAL LIGHT (WALL MOUNT) - OFCI
- LABORATORY EQUIPMENT**
- L1. HEMATOLOGY ANALYZER - OFCI (TO BE RELOCATED)
 - L2. CHEMISTRY ANALYZER - OFCI (TO BE RELOCATED)
 - L3. FIBRINOGEN CALIBRATION KIT - OFCI (TO BE RELOCATED)
 - L4. CRITICAL CARE ANALYZER - OFCI (TO BE RELOCATED)
 - L5. CENTRIFUGE - OFCI (TO BE RELOCATED)
- PHARMACY EQUIPMENT**
- P1. NARCOTICS INVENTORY SYSTEM - OFCI
- SURGICAL EQUIPMENT**
- S1. HEATED SURGERY TABLE - OFCI (TO BE RELOCATED)
 - S2. HEATED SURGERY TABLE - OFCI
 - S3. SURGEON SCRUB SINK W/FOOT ACTION VALVE - OFCI
 - S4. NOT USED
 - S5. MEDICAL LIGHT - CEILING MOUNTED - OFCI
 - S6. GURNEY - OFCI
 - S7. COUNTERTOP AUTOCLAVE - OFCI
 - S8. GAS AUTOCLAVE - OFCI
- THERAPY EQUIPMENT**
- TH1. NOT USED
 - TH2. NOT USED
 - TH3. CHEMOTHERAPY HOOD - OFCI
 - TH4. GURNEY - OFCI
- RADIOLOGY EQUIPMENT**
- R1. X-RAY SYSTEM - OFCI
 - R2. COMPUTED TOMOGRAPHY (CT) SCANNER - OFCI - FUTURE
 - R3. MAGNETIC RESONANCE IMAGING MACHINE (MRI) SCANNER - OFCI - FUTURE
- HOUSING EQUIPMENT**
- H1. STATIONARY CAGE BANK - OFCI (TO BE RELOCATED)
 - H2. ROLLING CAGE BANK - OFCI (TO BE RELOCATED)
 - H3. CAGE BANKS - OFCI
 - H4. OXYGEN CAGES - OFCI (TO BE RELOCATED)
 - H5. CANNIE RUNS - OFCI
 - H6. ICU RUNS - OFCI

FLOOR PLAN KEYNOTES

- 1. SOLID SURFACE COUNTERTOP
- 2. METAL LOCKERS (10 DOUBLE HEIGHT)
- 3. METAL STORAGE SHELVING
- 4. DOMESTIC COFFEE MAKER. COORDINATE W/ OWNER
- 5. APRON AND GLOVE HOOKS. PROVIDE BLOCKING AS REQUIRED
- 6. WALL MOUNTED COMPUTER MONITOR
- 7. FULL SIZE REFRIGERATOR. COORDINATE W/ OWNER
- 8. UNDER COUNTER REFRIGERATOR. COORDINATE W/ OWNER
- 9. STACKABLE WASHER/DRYER. COORDINATE W/ OWNER
- 10. MOP SINK. COORDINATE W/ PLUMBING
- 11. WASHER BOX. COORDINATE W/ PLUMBING
- 12. OXYGEN TANKS. COORDINATE W/ MECHANICAL
- 13. OXYGEN MANIFOLD. COORDINATE W/ MECHANICAL
- 14. 12" DEEP PLASTIC LAMINATE COUNTERTOP
- 15. PLASTIC LAMINATE PASS-THRU CABINET
- 16. EYE WASH STATION. COORDINATE W/ PLUMBING
- 17. DOG RUNS TO SIT ON 2X6 PEDESTAL
- 18. HOSE BIB. COORDINATE W/ PLUMBING
- 19. OMIT CONCRETE SLAB AT THIS LOCATION FOR FUTURE EQUIPMENT INSTALLATION
- 20. FREESTANDING SOAKING SINK. COORDINATE W/ PLUMBING
- 21. TRENCH DRAIN. COORDINATE W/ PLUMBING & STRUCTURAL
- 22. PANEL STYLE WALK-IN COOLER. CUSTOM SIZE. V.I.F.
- 23. ADA SHOWER FOLDING SEAT AND GRAB BARS
- 24. FUR OUT WALLS AS REQUIRED FOR PLUMBING
- 25. BIKE RACKS. SEE SPECS
- 26. DOWNSPOUT PIPED TO STORM. COORDINATE W/CIVIL
- 27. UTILITY METER. COORDINATE W/MEP
- 28. WALL TO BE CONSTRUCTED BEFORE "FUTURE" PHASE. COORD W/ STRUCTURAL

WALL TYPE LEGEND

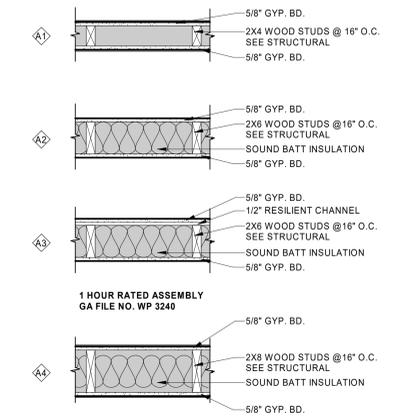
SCALE: 1" = 1'-0"

- GENERAL WALL TYPE NOTES:**
- A. SEE INTERIOR ELEVATIONS (SHEET A801) AND FINISH SCHEDULE (SHEET A501) FOR WALL FINISHES.
 - B. PROVIDE BLOCKING AS REQUIRED TO SECURE WALL HUNG COMPONENTS.
 - C. EXTEND ALL COMPONENTS TO UNDERSIDE OF DECK, UNLESS NOTED OTHERWISE.

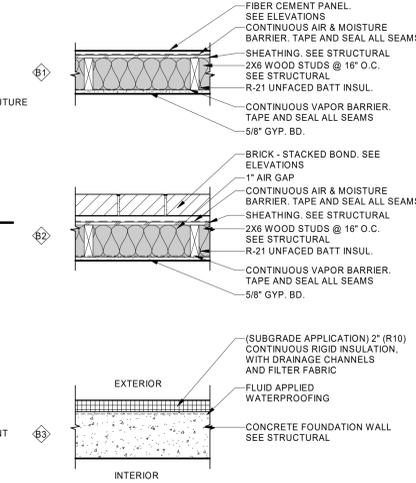
KEYNOTES:

- 1. PARTIAL WALL HEIGHT: 42"/48" (44"/48" W/SOLID SURFACE)
- 2. PARTIAL WALL HEIGHT: 12'-0"
- 3. OMIT GYP. BD. SHEATHING ON BACK SIDE
- 4. ADD SOUND BATT INSULATION
- 5. PARTIAL WALL HEIGHT: 4'-0"
- 6. SHEAR WALL. COORDINATE WITH STRUCTURAL.
- 7. FUTURE CONSTRUCTION
- 8. FLAT FRAMED WALL - OMIT GYP AT CHASE SIDE
- 9. SEAL TO UNDERSIDE OF ROOF SHEATHING ABOVE
- 10. LEAD LINED GYPSUM BOARD

INTERIOR WALL

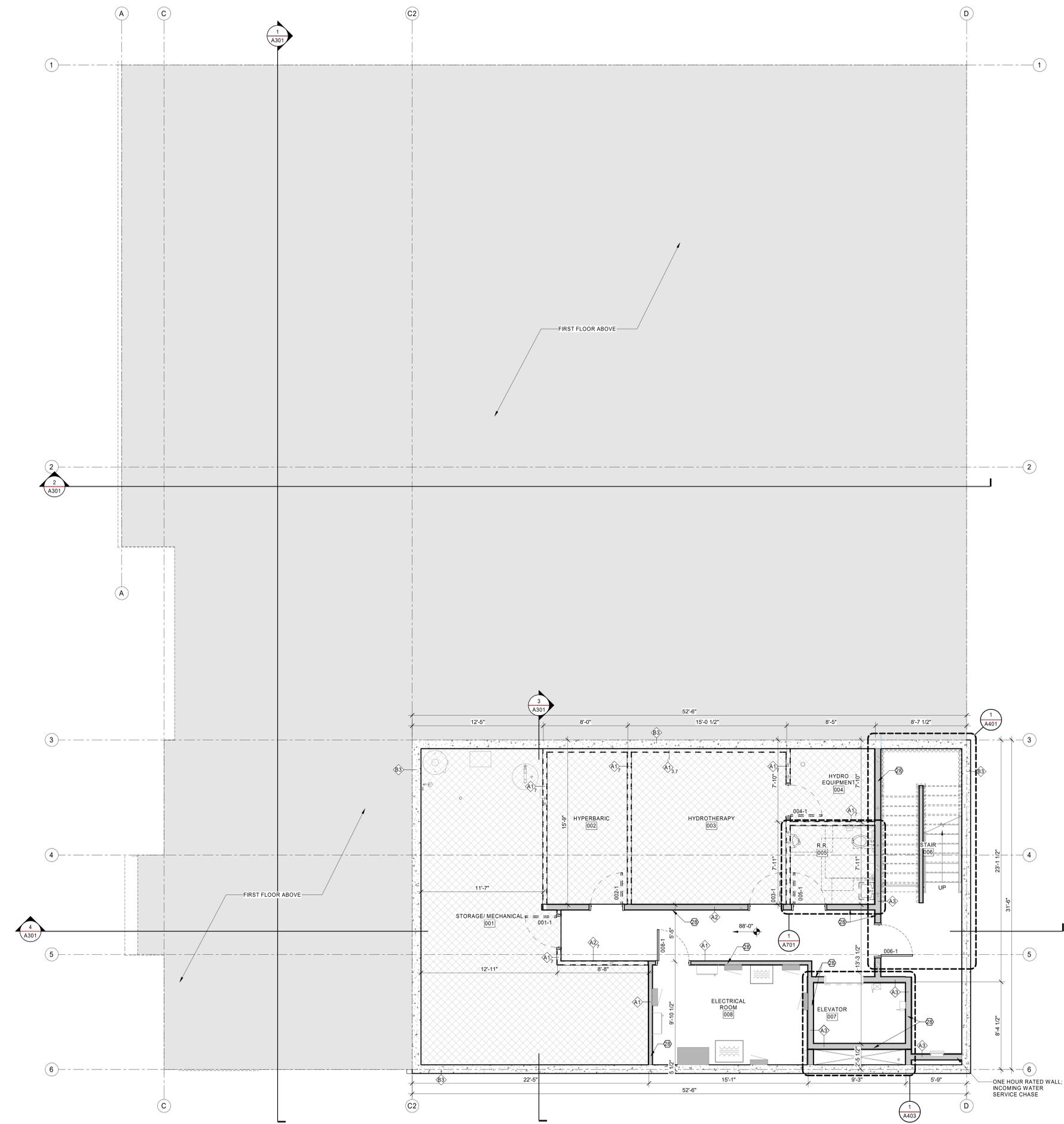


EXTERIOR WALL



PLAN LEGEND

- ASSEMBLY TYPE (SEE ASSEMBLIES SHEET)
- ASSEMBLY MODIFIER, PER TYPE
- NAME
- ROOM NAME AND NUMBER
- WINDOW TYPE (SEE A600s)
- KEYNOTE
- DIRECTION OF VIEW, IF APPLICABLE
- DRAWING NUMBER
- SHEET WHERE DRAWN
- DOOR NUMBER (SEE SHEET A801)
- DIMENSION TO FACE OF FRAMING
- DIMENSION TO GRID LINE
- DIMENSION TO CENTER LINE
- PLASTIC LAMINATE COUNTERTOP
- ALL SCOPE OF WORK IN THIS AREA TO BE FUTURE WORK. ALL UTILITIES TO BE STUBBED INTO LOCATION FOR FUTURE WORK.
- FUTURE WORK INDICATED WITH DASHED WALLS/DOORS.



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

DR. EARL ELLINGSON
1914 S. RESERVE ST. MISSOULA, MT
PET EMERGENCY CENTER

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BID DOCUMENTS

09.23.2021
PROJECT# | PEC_BLDG
DESIGNED BY | JONES
DRAWN BY | JACOBSEN
REVISIONS

BASEMENT FLOOR PLAN

A100

GENERAL NOTES

- A. ALL INTERIOR WALLS TO BE WALL TYPE A1 U.N.O.
- B. ALL CASEWORK TO HAVE PLASTIC LAMINATE FINISH, U.N.O.
- C. ALL EXPOSED COUNTERTOP CORNERS TO HAVE 2" RADIUS.
- D. ALL EXPOSED COUNTERTOPS TO BE FACED WITH PVC EDGEBANDING.
- E. ALL RUN AND GAGE BANK DIMENSIONS TO BE VERIFIED BEFORE INSTALLATION.
- F. GROMMET LOCATIONS IN COUNTERTOPS TO BE VERIFIED WITH OWNER.
- G. PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED EQUIPMENT.
- H. ALL EXPOSED OUTSIDE CORNERS OF INTERIOR WALLS SHALL HAVE STAINLESS STEEL CORNERGUARDS TO 4'-0" AFF.
- I. AT ALL VERTICAL TILE APPLICATIONS INSTALL SPLITTER STRIPS ON OUTSIDE CORNERS.
- J. FIELD VERIFY ALL CASEWORK AND BUILT IN COMPONENTS PRIOR TO FABRICATION.
- K. COORDINATE ALL PLUMBING LOCATIONS WITH PLUMBING DRAWINGS INSTALLED CONDITIONS IN FIELD.
- L.

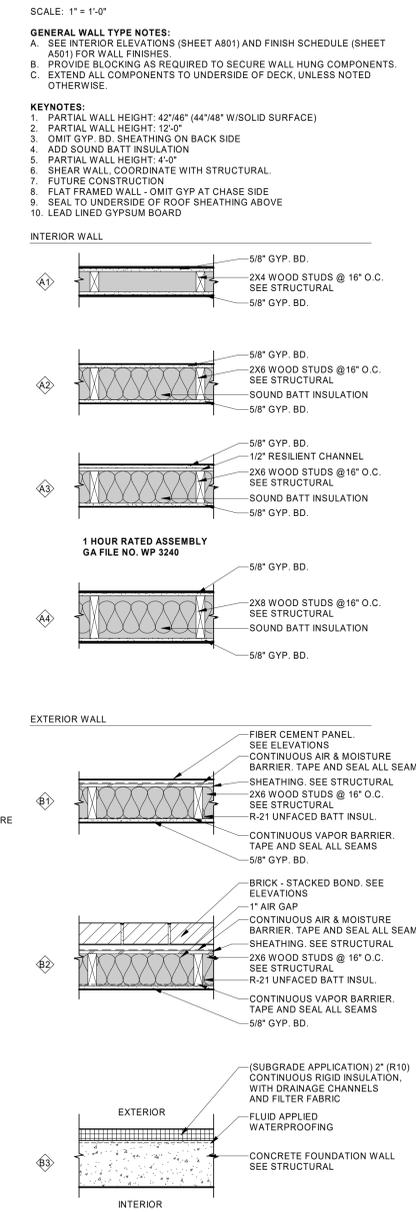
EQUIPMENT KEYNOTES

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- E1. EXAM TABLE - OFOI (TO BE RELOCATED)
 - E2. EXAM TABLE - OFCI
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 - E4. SCALE - OFOI (TO BE RELOCATED)
 - E5. PORTABLE ULTRASOUND SYSTEM - OFOI (TO BE RELOCATED)
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 - T7. MEDICAL LIGHT (WALL MOUNT) - OFCI
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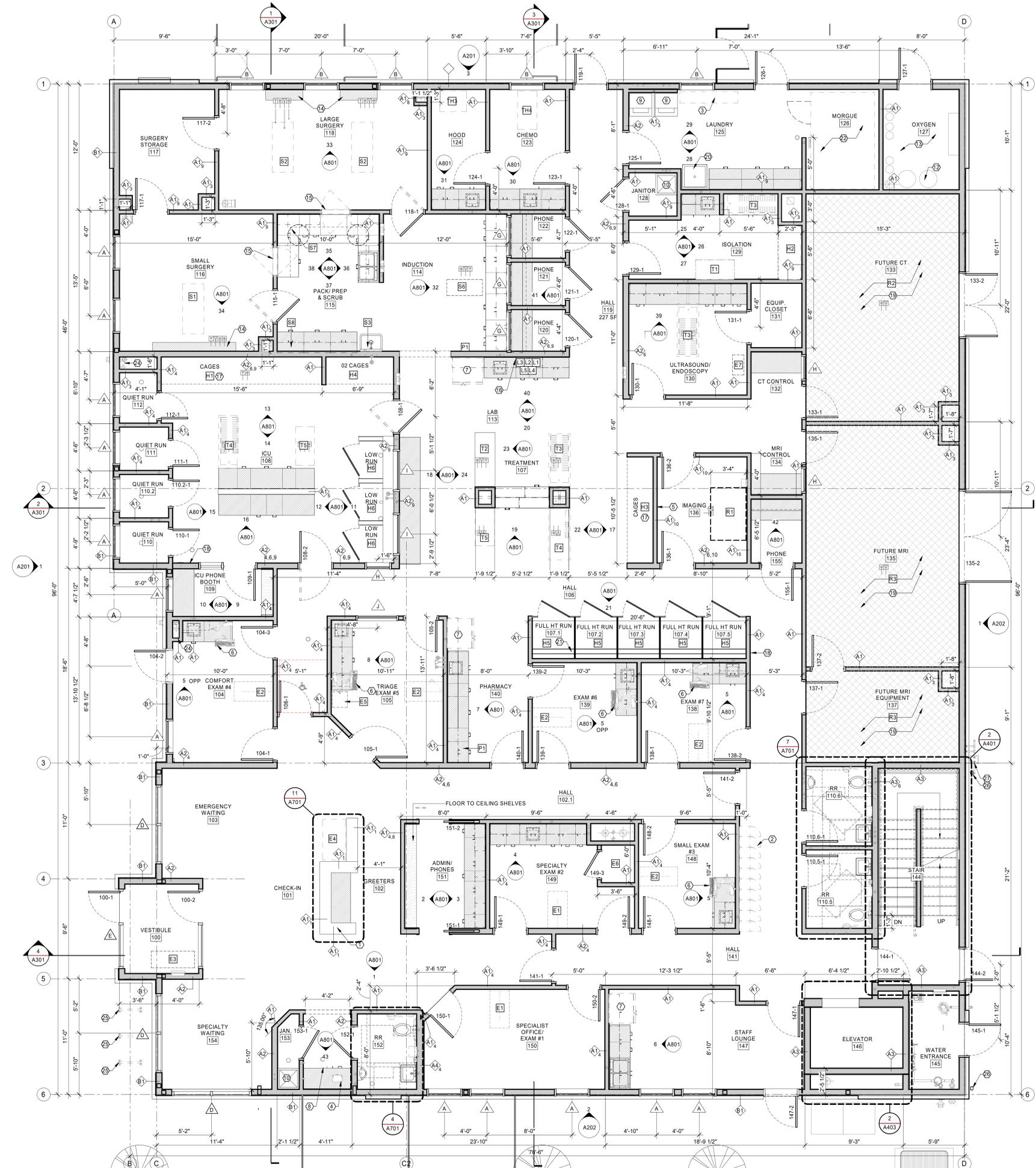
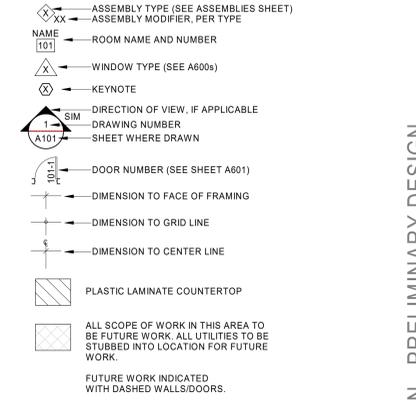
FLOOR PLAN KEYNOTES

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27. UTILITY METER. COORDINATE W/MP
28. WALL TO BE CONSTRUCTED BEFORE "FUTURE" PHASE, COORD W/ STRUCTURAL

WALL TYPE LEGEND



PLAN LEGEND



FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- A. ALL INTERIOR WALLS TO BE WALL TYPE A1 U.N.O.
- B. ALL CASEWORK TO HAVE PLASTIC LAMINATE FINISH, U.N.O.
- C. ALL EXPOSED COUNTERTOP CORNERS TO HAVE 2" RADIUS.
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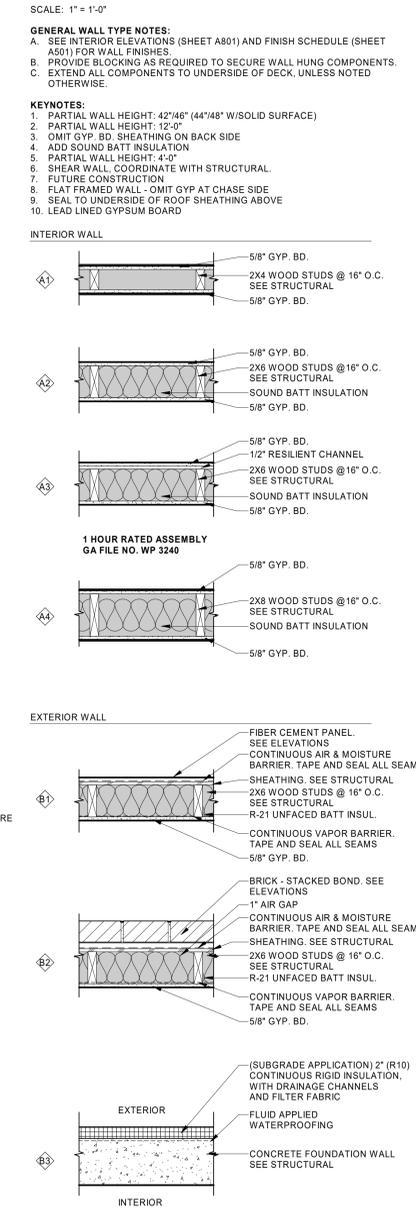
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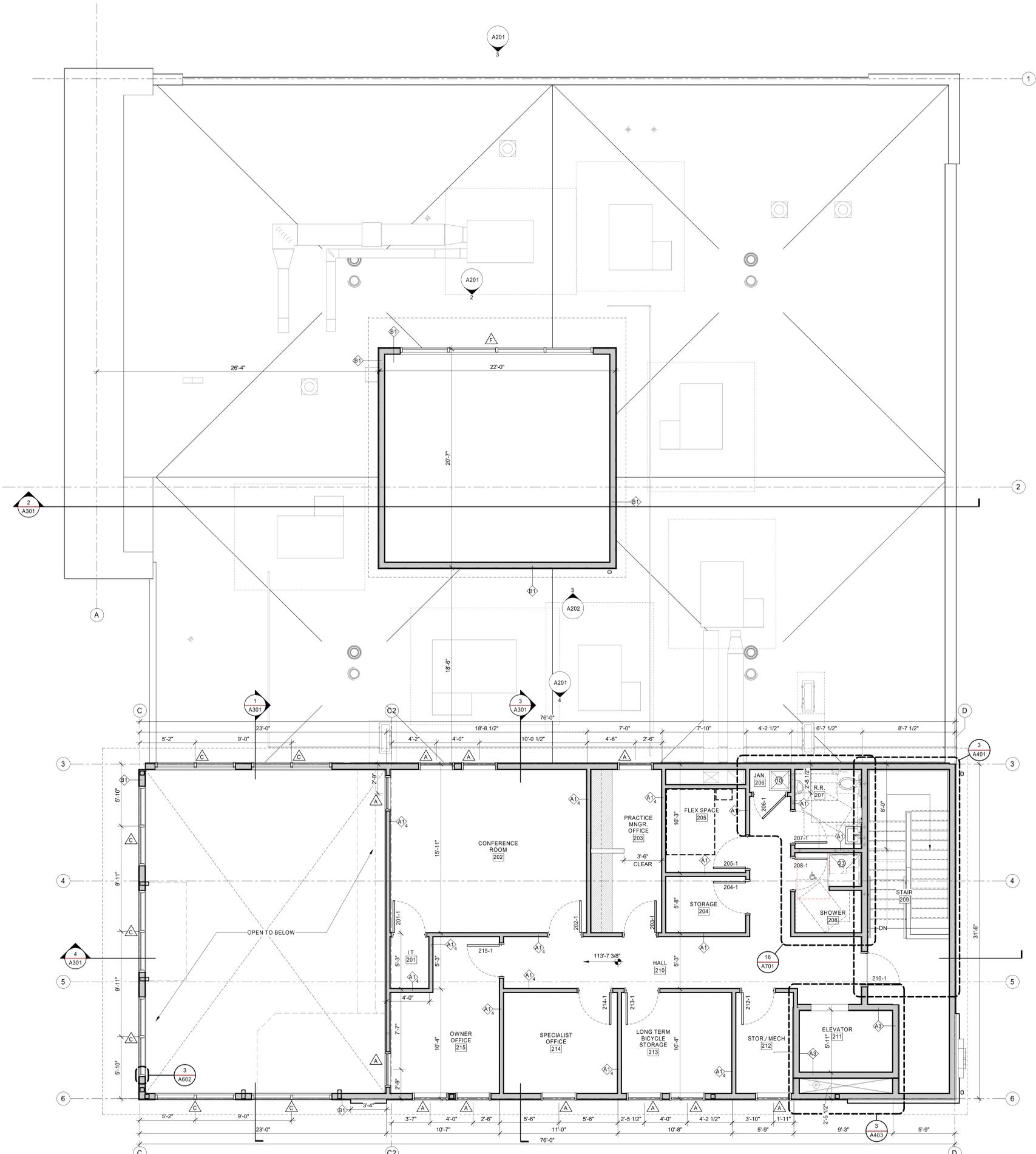
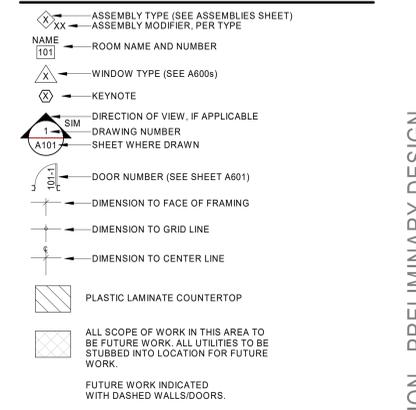
FLOOR PLAN KEYNOTES

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- 4. DOMESTIC COFFEE MAKER. COORDINATE W/ OWNER
- 5. APRON AND GLOVE HOOKS. PROVIDE BLOCKING AS REQUIRED
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- 25. BIKE RACKS. SEE SPECS
- 26. DOWNSPOUT PIPED TO STORM. COORDINATE W/CIVIL
- 27. UTILITY METER. COORDINATE W/MEP
- 28. WALL TO BE CONSTRUCTED BEFORE "FUTURE" PHASE. COORD W/ STRUCTURAL

WALL TYPE LEGEND



PLAN LEGEND



1 SECOND FLOOR PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

DR. EARL ELLINGSON
1914 S. RESERVE ST. MISSOULA, MT
PET EMERGENCY CENTER

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BID DOCUMENTS

09.23.2021
PROJECT# PEC_BLDG
DESIGNED BY JONES
DRAWN BY JACOBSEN
REVISIONS

SECOND FLOOR PLAN

A102

MATERIALS LEGEND

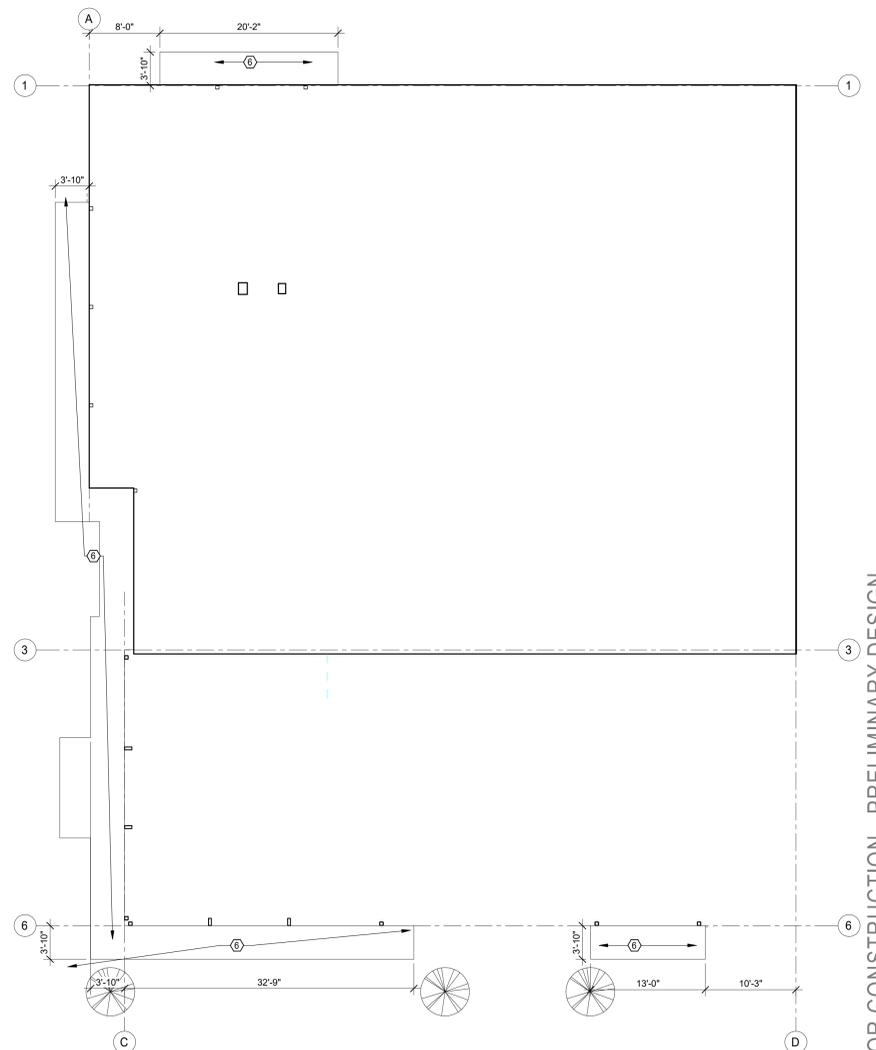
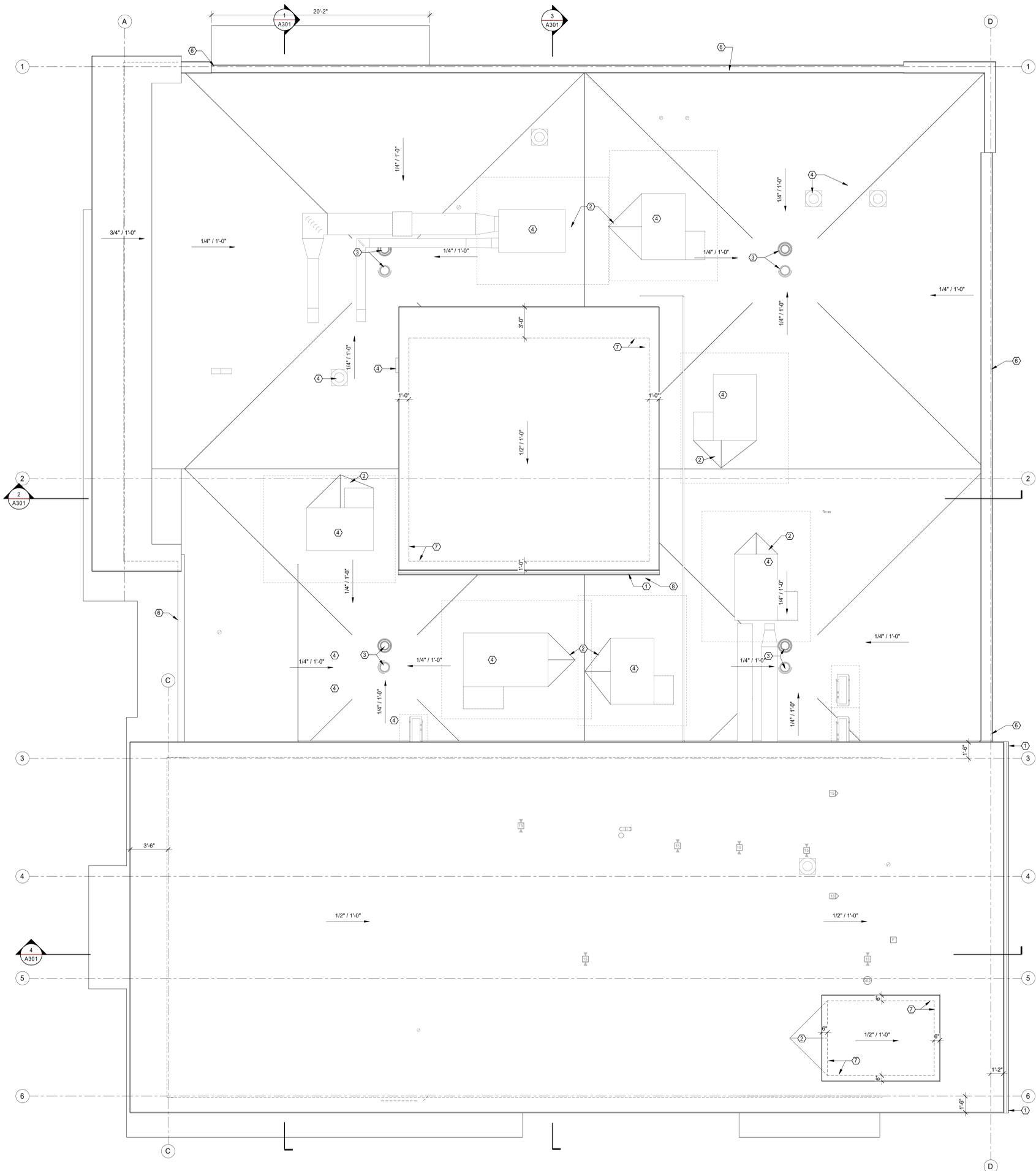
EPDM ROOFING MEMBRANE
SEE SPEC

GENERAL NOTES

- A. COORDINATE W/ ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION ON ROOF PENETRATIONS.
- B. ALL FINISHED ROOF SLOPES TO ACHIEVE THE INDICATED ROOF SLOPE IN THE DIRECTION INDICATED. IT IS THE RESPONSIBILITY OF THE ROOFING CONTRACTOR TO INSTALL ROOFING COMPONENTS TO MEET THESE REQUIREMENTS.
- C. PROVIDE WALKING PADS AS INDICATED ON PLAN TO ACCESS MECHANICAL EQUIPMENT.
- D. PREFABRICATED CURBS SHALL BE INSTALLED AND SET LEVEL.
- E. ALL DIMENSIONS FOR GENERAL ARRANGEMENT AND LOCATION ONLY. ACTUAL REQUIREMENTS AND DIMENSIONS ARE TO BE VERIFIED AND COORDINATED WITH EQUIPMENT. OTHER CONSTRUCTION TRADES, SHOP DRAWINGS AND STRUCTURAL FRAMING.
- F. CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH ALL CURRENT LOCAL CODES AND REGULATION IN EFFECT AT THE TIME OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.
- G. PAINT ALL EXPOSED & VISIBLE FERROUS METAL PER SPECIFICATIONS DIVISION 9 'EXTERIOR PAINTING'.
- H. DETAILS IN THE DRAWING AS SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED ARE 'TYPICAL' AND IMPLY ALL SIMILAR CONDITIONS ARE TO BE TREATED SIMILARLY. MODIFICATIONS MADE BY THE CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS WILL BE DONE WITHOUT ADDITIONAL COST TO THE OWNER.
- I. PROVIDE PROTECTION OVER FINISHED SINGLE-PLY MEMBRANE WHERE ONGOING CONSTRUCTION RELATED ACTIVITIES REQUIRES TRAFFIC OR STORAGE OF MATERIAL OVER MEMBRANE. WEIGH DOWN PROTECTION AS REQUIRED TO PREVENT DISPLACEMENT BY WIND.
- J. PIPE CUTTING AND THREADING OPERATIONS ARE NOT ALLOWED ON MEMBRANE ROOF AREAS. CUTTING AND THREADING OPERATIONS ARE TO BE PERFORMED AT GROUND LEVEL. CLEANED, THREADED PIPE MAY BE LOADED ONTO THE ROOF WHERE PROTECTION HAS BEEN PLACED OVER FINISHED MEMBRANES. IMMEDIATELY NOTIFY ROOFING CONTRACTOR IF MEMBRANE IS DAMAGED OR PUNCTURED. TEMPORARILY PATCH PUNCTURES WITH DUCT TAPE (DO NOT USE SEALANT) UNTIL ROOFING CONTRACTOR CAN MAKE REPAIRS.
- K. INSTALL DENS DECK PRIME @ ALL PARAPETS TO PROPERLY ADHERE MEMBRANE FLASHING.

ROOF PLAN KEYNOTES

1. PRE-FINISHED METAL GUTTER AND DOWNSPOUT
2. EQUIPMENT W/ MECHANICAL
3. ROOF DRAIN AND OVERFLOW. COORDINATE W/ PLUMBING
4. MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS AND DETAIL 2/A312 FOR CURB DETAIL
5. PRE-FINISHED METAL PARAPET CAP
6. CANOPY. NO MIN. R-VALUE REQUIRED. PROVIDE MINIMUM INSULATION REQUIRED FOR POSITIVE DRAINAGE
7. EXTERIOR FACE OF STUD WALL BELOW SHOWN DASHED



1 ROOF PLAN
A103 1/4" = 1'-0"

2 ROOF PLAN - CANOPIES
A103 1/8" = 1'-0"

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

DR. EARL ELLINGSON
1914 S. RESERVE ST., MISSOULA, MT
PET EMERGENCY CENTER

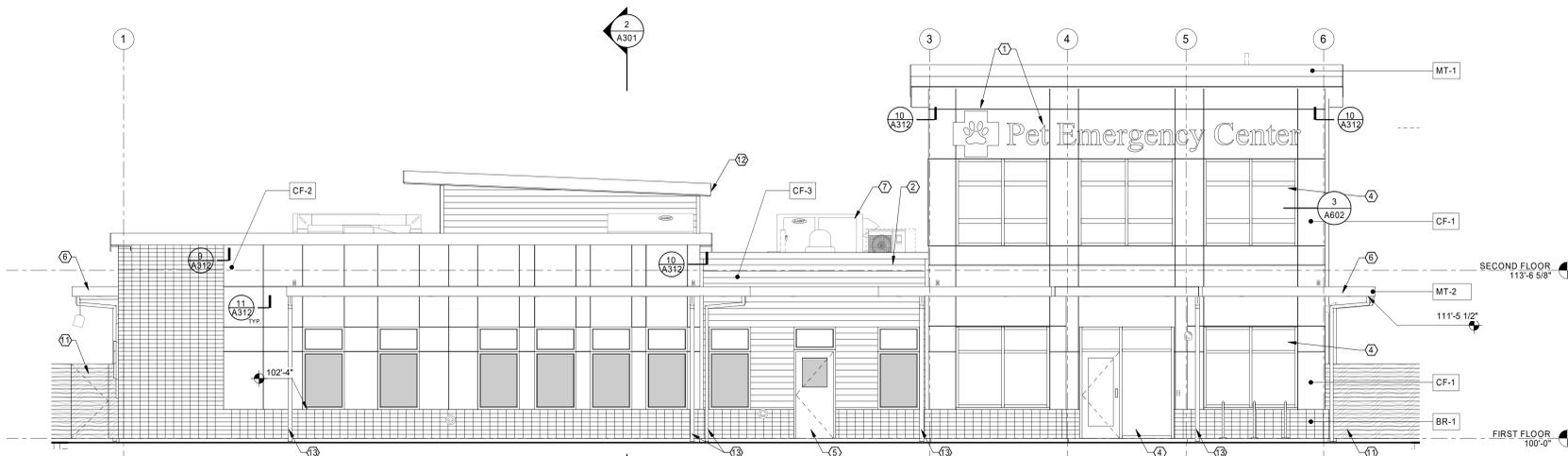
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BID DOCUMENTS
09.23.2021
PROJECT# | PEC_BLDG
DESIGNED BY | JONES
DRAWN BY | JACOBSEN
REVISIONS

MATERIALS LEGEND

- CF-1** CEMENT FIBER PANEL
BASIS OF DESIGN: AMERICAN FIBER CEMENT
FINISH: PATINA
COLOR: 070 - FLINT
CONTACT: RYAN HUNTER - 303.808.3122
- CF-2** CEMENT FIBER PANEL
BASIS OF DESIGN: AMERICAN FIBER CEMENT
FINISH: PATINA
COLOR: 020 - GRANITE
CONTACT: RYAN HUNTER - 303.808.3122
- CF-3** CEMENT FIBER LAP SIDING - 6" EXPOSURE
BASIS OF DESIGN: HARDIERLANK
FINISH: CEDARMILL
COLOR: COBBLESTONE
- BR-1** BRICK
BASIS OF DESIGN: SIZE: ECONOMY BRICK
MUTUAL MATERIALS
PATTERN: STACK BOND
COLOR: HARBOR MIST
- MT-1** METAL PRODUCT
COLOR: DARK BRONZE
- MT-2** METAL PRODUCT
COLOR: RED
- INDICATES FROSTED GLASS

EXTERIOR ELEVATION KEYNOTES

1. EXTERIOR WALL MOUNTED SIGNAGE. PROVIDE BLOCKING AS NECESSARY. COORDINATE ELECTRICAL REQUIREMENTS. VERIFY FINAL DESIGN WITH ARCHITECT AND OWNER.
2. PRE-FINISHED METAL PARAPET CAP
3. GRADE. SLOPE AWAY FROM BUILDING. COORDINATE REQUIREMENTS W/ CIVIL & LANDSCAPE.
4. ALUMINUM STOREFRONT WINDOW SYSTEM. SEE WINDOW SCHEDULE
5. INSULATED EXTERIOR DOOR. ENSURE 4" HEAD AT MASONRY
6. PRE-FINISHED METAL FASCIA AT CANOPY
7. MECHANICAL EQUIPMENT. SEE MECH DRAWINGS
8. LIGHT FIXTURE. COORDINATE ALL INSTALLATION LOCATIONS AND REQUIREMENTS W/ ELECTRICAL
9. FIRE DEPARTMENT CONNECTION. COORD. W/ FIRE PROTECTION
10. GAS METER. SEE MECHANICAL
11. FENCING. SEE SITE PLAN.
12. PRE-FINISHED METAL GUTTER AND DOWNSPOUT. PIPE TO STORM. COORDINATE W/ CIVIL
13. PRE-FINISHED METAL GUTTER AND DOWNSPOUT. PROVIDE SPLASH BLOCK FOR SURFACE DRAINAGE

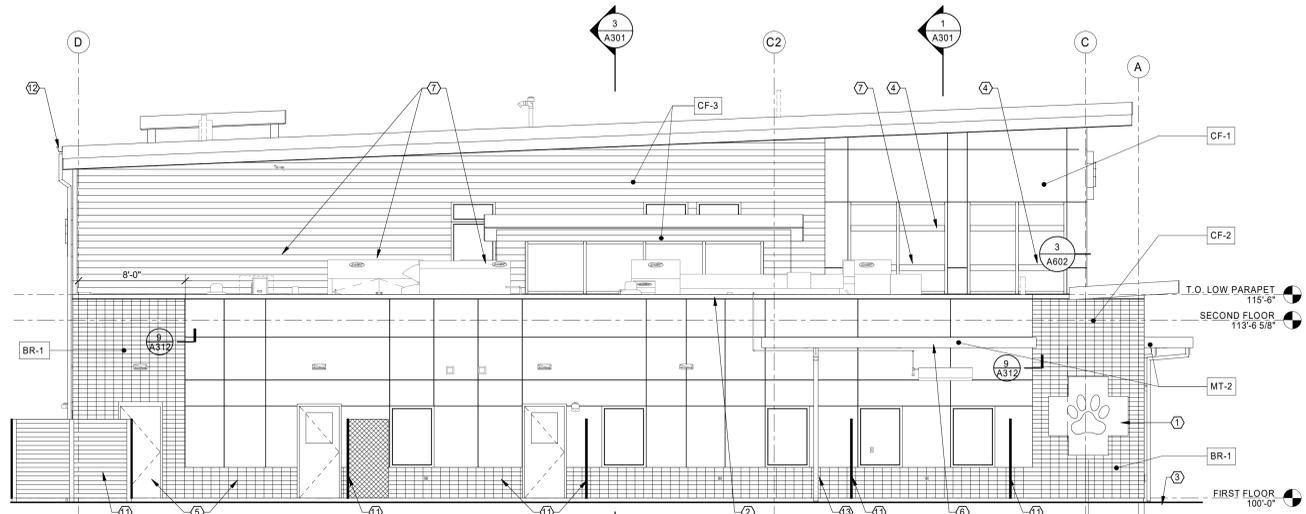


1 WEST ELEVATION
A201 3/16" = 1'-0"

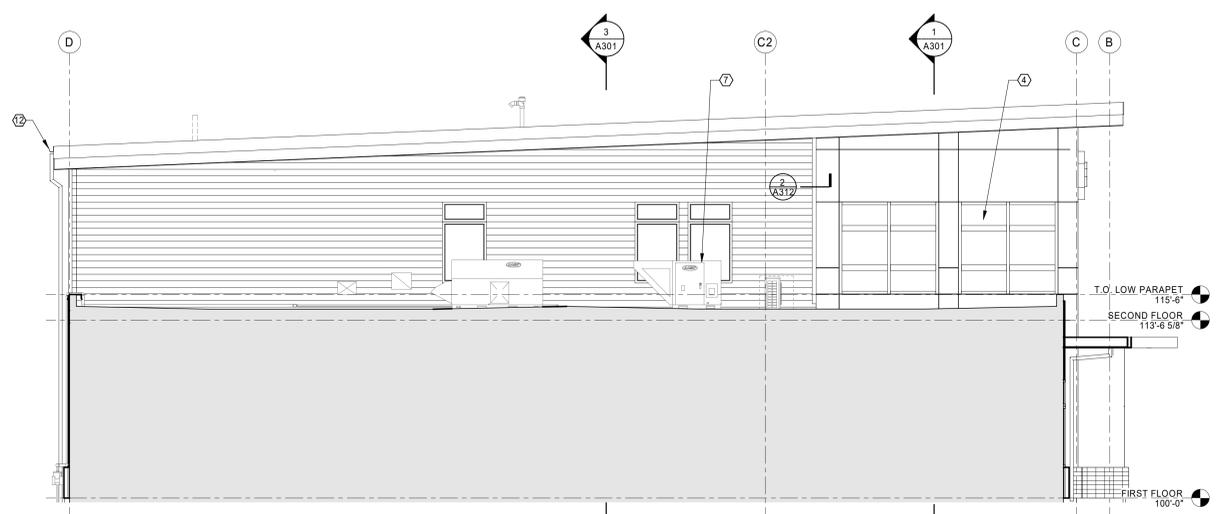
WEST ELEVATION GLAZING CALCS (PRIMARY STREET)

| | | |
|--|--------|---|
| GROUND FLOOR WALL AREA (BETWEEN 2'-0" AND 10'-0") | 772 SF | |
| GROUND FLOOR GLAZING AREA (BETWEEN 2'-0" AND 10'-0") | 331 SF | |
| 331 SF GLAZING / 772 SF WALL AREA = | 43% | PROVIDED GLAZING AT GROUND FLOOR REQUIRED |
| SECOND FLOOR WALL AREA (FINISH FLOOR TO FINISH FLOOR) | 465 SF | |
| SECOND FLOOR GLAZING AREA (FINISH FLOOR TO FINISH FLOOR) | 159 SF | |
| 159 SF GLAZING / 465 SF WALL AREA = | 34% | PROVIDED GLAZING AT SECOND FLOOR REQUIRED |

2 CLERESTORY NORTH ELEVATION
A201 3/16" = 1'-0"



3 NORTH ELEVATION
A201 3/16" = 1'-0"



4 PARTIAL NORTH ELEVATION
A201 3/16" = 1'-0"

DR. EARL ELLINGSON
1914 S. RESERVE ST. MISSOULA, MT
PET EMERGENCY CENTER



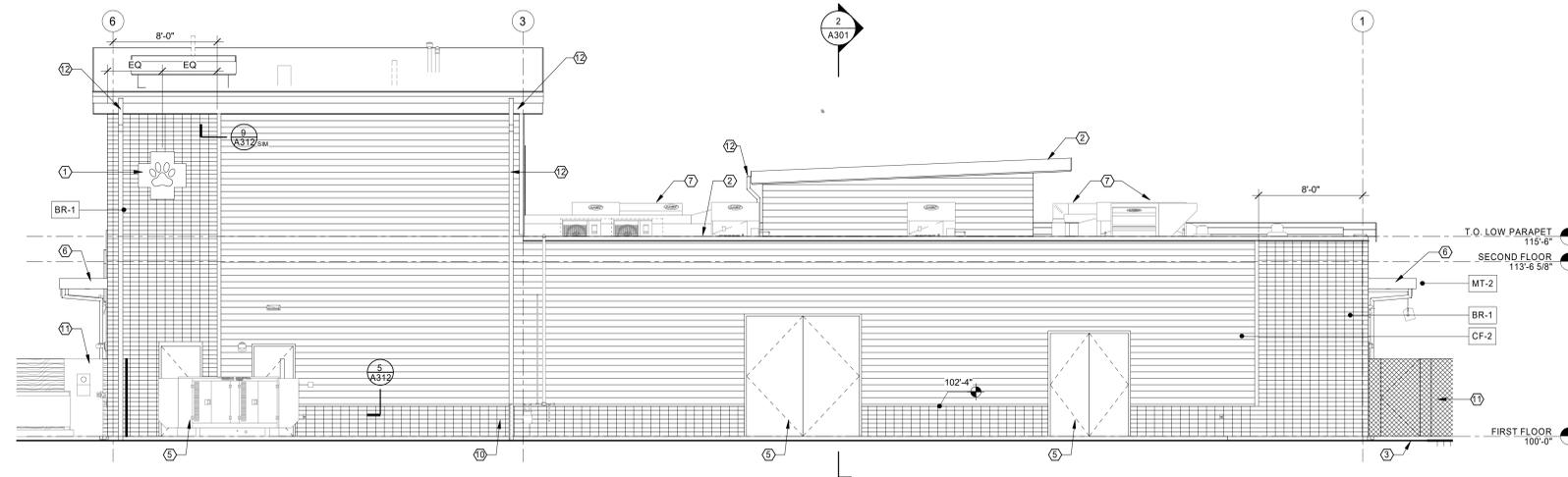
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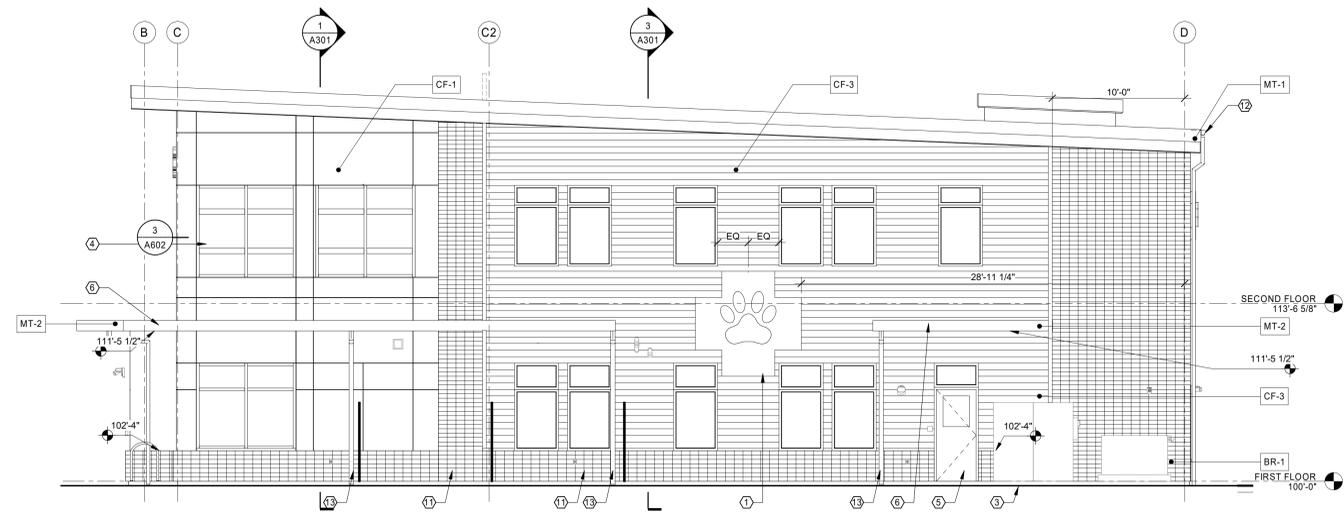
10.15.2021
PROJECT# | PEC_BLDG
DESIGNED BY | JONES
DRAWN BY | JACOBSEN
REVISIONS

EXTERIOR ELEVATIONS

A201



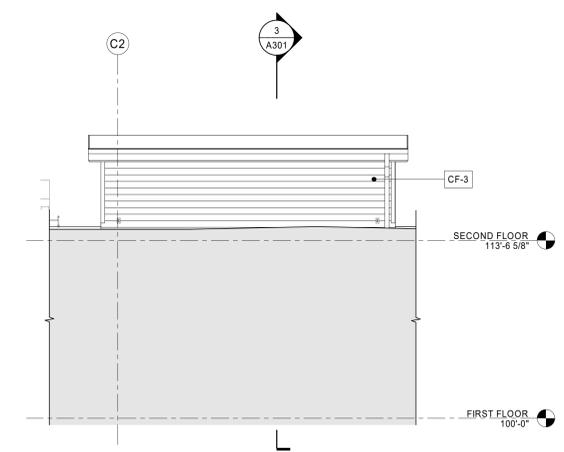
1 EAST ELEVATION
A202 3/16" = 1'-0"



2 SOUTH ELEVATION
A202 3/16" = 1'-0"

SOUTH ELEVATION GLAZING CALCS (SECONDARY STREET)

| | | |
|--|----------|---|
| GROUND FLOOR WALL AREA (BETWEEN 2'-0" AND 10'-0") | 612 SF | |
| GROUND FLOOR GLAZING AREA (BETWEEN 2'-0" AND 10'-0") | 171 SF | |
| 171 SF GLAZING / 612 SF WALL AREA = | 28% | PROVIDED GLAZING AT GROUND FLOOR REQUIRED |
| SECOND FLOOR WALL AREA (FINISH FLOOR TO FINISH FLOOR) | 238 SF | |
| SECOND FLOOR GLAZING AREA (FINISH FLOOR TO FINISH FLOOR) | 1,138 SF | |
| 228 SF GLAZING / 1,138 SF WALL AREA = | 20% | PROVIDED GLAZING AT SECOND FLOOR REQUIRED |



3 CLERESTORY SOUTH ELEVATION
A202 3/16" = 1'-0"

MATERIALS LEGEND

- CF-1** CEMENT FIBER PANEL
BASIS OF DESIGN: AMERICAN FIBER CEMENT
FINISH: PATINA
COLOR: 070 - FLINT
CONTACT: RYAN HUNTER - 303.808.3122
- CF-2** CEMENT FIBER PANEL
BASIS OF DESIGN: AMERICAN FIBER CEMENT
FINISH: PATINA
COLOR: 020 - GRANITE
CONTACT: RYAN HUNTER - 303.808.3122
- CF-3** CEMENT FIBER LAP SIDING - 8" EXPOSURE
BASIS OF DESIGN: HARDIEPLANK
FINISH: CEDARMILL
COLOR: COBBLESTONE
- BR-1** BRICK
BASIS OF DESIGN: SIZE: ECONOMY BRICK
MUTUAL MATERIALS
PATTERN: STACK BOND
COLOR: HARBOR MIST
- MT-1** METAL PRODUCT
COLOR: DARK BRONZE
- MT-2** METAL PRODUCT
COLOR: RED
- INDICATES FROSTED GLASS

EXTERIOR ELEVATION KEYNOTES

1. EXTERIOR WALL MOUNTED SIGNAGE. PROVIDE BLOCKING AS NECESSARY. COORDINATE ELECTRICAL REQUIREMENTS. VERIFY FINAL DESIGN WITH ARCHITECT AND OWNER.
2. PRE-FINISHED METAL PARAPET CAP
3. GRADE, SLOPE AWAY FROM BUILDING. COORDINATE REQUIREMENTS W/ CIVIL & LANDSCAPE.
4. ALUMINUM STOREFRONT WINDOW SYSTEM- SEE WINDOW SCHEDULE
5. INSULATED EXTERIOR DOOR. ENSURE 4" HEAD AT MASONRY
6. PRE-FINISHED METAL FASCIA AT CANOPY
7. MECHANICAL EQUIPMENT- SEE MECH DRAWINGS
8. LIGHT FIXTURE- COORDINATE ALL INSTALLATION LOCATIONS AND REQUIREMENTS W/ ELECTRICAL
9. FIRE DEPARTMENT CONNECTION- COORD. W/ FIRE PROTECTION
10. GAS METER- SEE MECHANICAL
11. FENCING- SEE SITE PLAN.
12. PRE-FINISHED METAL GUTTER AND DOWNSPOUT. PIPE TO STORM. COORDINATE W/ CIVIL
13. PRE-FINISHED METAL GUTTER AND DOWNSPOUT. PROVIDE SPLASH BLOCK FOR SURFACE DRAINAGE

DR. EARL ELLINGSON
1914 S. RESERVE ST. MISSOULA, MT
PET EMERGENCY CENTER



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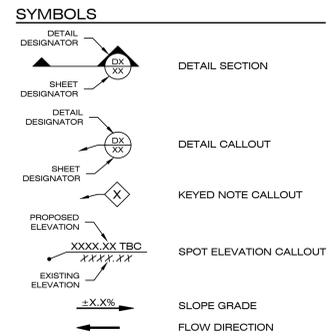
PERMIT SET

10.15.2021
PROJECT# | PEC_BLDG
DESIGNED BY | JONES
DRAWN BY | JACOBSEN
REVISIONS

EXTERIOR ELEVATIONS

A202

| LEGEND | | | |
|----------|--------------------------------|--|------------------------------|
| EXISTING | PROPOSED | | |
| | (E) PROPERTY BOUNDARY | | (P) EASEMENT |
| | (E) ADJACENT PROPERTY BOUNDARY | | (P) WATER LINE |
| | (E) LOT LINE | | (P) WATER SERVICE |
| | (E) EASEMENT | | (P) SEWER LINE |
| | (E) WATER SERVICE | | (P) SEWER SERVICE |
| | (E) SEWER LINE | | (P) SEWER FORCE MAIN |
| | (E) SEWER SERVICE | | (P) SEWER FORCE MAIN SERVICE |
| | (E) SEWER FORCE MAIN | | (P) STORM DRAIN PIPE |
| | (E) SEWER FORCE MAIN SERVICE | | (P) OVERHEAD UTILITY |
| | (E) STORM DRAIN PIPE | | (P) BURIED POWER |
| | (E) OVERHEAD UTILITY | | (P) GAS LINE |
| | (E) BURIED POWER | | (P) TELEPHONE LINE |
| | (E) GAS LINE | | (P) TELEVISION LINE |
| | (E) TELEPHONE LINE | | (P) FIBER OPTIC LINE |
| | (E) TELEVISION LINE | | (P) ROAD CENTERLINE |
| | (E) FIBER OPTIC LINE | | (P) FENCE LINE |
| | (E) ROAD CENTERLINE | | (P) DITCH |
| | (E) FENCE LINE | | (P) SWALE |
| | (E) DITCH | | (P) IRRIGATION FORCE MAIN |
| | (E) SWALE | | (P) MINOR CONTOUR |
| | (E) IRRIGATION FORCE MAIN | | (P) ASPHALT |
| | (E) MINOR CONTOUR | | (P) GRAVEL |
| | (E) ASPHALT | | (P) CONCRETE |
| | (E) GRAVEL | | (P) SEWER MANHOLE |
| | (E) CONCRETE | | (P) SEWER CLEANOUT |
| | (E) SEWER MANHOLE | | (P) SEPTIC TANK |
| | (E) SEWER CLEANOUT | | (P) DRAINFIELD |
| | (E) SOIL PROFILE | | (P) WELL |
| | (E) PERCOLATION TEST | | (P) FIRE HYDRANT |
| | (E) GROUNDWATER MONITORING | | (P) WATER METER |
| | (E) SEPTIC TANK | | (P) WATER VALVE |
| | (E) DRAINFIELD | | (P) REDUCER |
| | (E) WELL | | (P) THRUST BLOCK |
| | (E) FIRE HYDRANT | | (P) WATER BLOW-OFF |
| | (E) WATER METER | | (P) STORM DRAIN MANHOLE |
| | (E) WATER VALVE | | (P) CULVERT |
| | (E) WATER BLOW-OFF | | (P) CURB INLET |
| | (E) STORM DRAIN MANHOLE | | (P) CATCH BASIN |
| | (E) CULVERT | | (P) SUMP |
| | (E) CURB INLET | | (P) UTILITY MANHOLE |
| | (E) CATCH BASIN | | (P) LIGHT POLE |
| | (E) SUMP | | (P) SIGN |
| | (E) UTILITY MANHOLE | | (P) MAILBOX |
| | (E) TELEPHONE JUNCTION BOX | | (P) DECIDUOUS TREE |
| | (E) POWER VAULT | | (P) CONIFEROUS TREE |
| | (E) TELEVISION JUNCTION BOX | | (P) BUSH/SHRUB |
| | (E) ELECTRICAL TRANSFORMER | | |
| | (E) POWER METER | | |
| | (E) GAS METER | | |
| | (E) POWER POLE | | |
| | (E) GUY WIRE | | |
| | (E) LIGHT POLE | | |
| | (E) SIGN | | |
| | (E) MAILBOX | | |
| | (E) DECIDUOUS TREE | | |
| | (E) CONIFEROUS TREE | | |
| | (E) BUSH/SHRUB | | |



GENERAL CONDITIONS OF CONSTRUCTION:

- The Standard General Conditions of the Contract prepared by the Engineers Joint Contract Documents Committee (Copyright 2007), as included in Montana Public Works Standard Specifications, are herein referred to as the General Conditions within these Drawings. Copies of the General Conditions will be provided to Contractor upon written request to Engineer.
- Wherever used in these Drawings, the terms, whether printed with initial capital letters or not, as listed in the Standard General Conditions of the Construction Contract (General Conditions), Article 1 - Definitions and Terminology, prepared by the Engineers Joint Contract Documents Committee (Copyright 2007) will have the meanings indicated, which are applicable to both the singular and plural thereof, except as follows:
 - The Contract Documents shall mean the Drawings as shown in these plans and any applicable referenced standards, specifications, or laws.
 - The Contract Price shall mean the moneys payable by Owner to Contractor for completion of the Work in accordance with the Agreement.
 - The Contract Times shall mean the number of days or the dates stated in the Agreement to complete the Work so that it is ready for final payment. If no such dates are established, the Contract Time shall be 120 days to complete the Work.
 - Effective Date of the Agreement shall have the meaning as listed in the General Conditions, Article 1. If no such Agreement exists, the Effective Date of the Agreement shall be the day the Contractor proceeds with the Work.
- By proceeding with the Work as shown on these Drawings, the Contractor makes the following representations:
 - Contractor has examined and carefully studied the Drawings and other related data.
 - Contractor is familiar with and is satisfied as to all federal, state and local laws and Regulations that may affect cost, progress, performance and furnishing of the Work.
 - Contractor has visited the site and become familiar with and is satisfied as to the general, local and Site conditions that may affect cost, progress, performance or furnishing of the Work.
 - Contractor acknowledges that Owner and Engineer do not assume responsibility for the accuracy or completeness of information and data shown or indicated in the Drawings with respect to Underground Facilities at or contiguous to the site.
 - Contractor has obtained and carefully studied (or assumes responsibility for having done so) all such additional supplementary examinations, investigations, explorations, tests, studies and data concerning conditions (surface, subsurface and Underground Facilities) at or contiguous to the site or otherwise, which may affect cost, progress, performance or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences and procedures of construction to be employed by Contractor including applying the specific means, methods, techniques, sequences and procedures of construction, if any, expressly required by the Drawings to be employed by the Contractor, and safety precautions and programs incident thereto.
 - Contractor is aware of the general nature of work to be performed by Owner and others at the site that relates to the Work.
 - Contractor has given Engineer written notice of all conflicts, errors, ambiguities or discrepancies that Contractor has discovered in the Drawings and the written resolution thereof by Engineer is acceptable to Contractor.
 - The Drawings are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
- In resolving disputes resulting from conflicts, errors or discrepancies, the order of precedence shall be as follows, as applicable to this project: Written agreement between owner and contractor, specifications, Drawings. Within the Specifications, the order of precedence is as follows, as applicable to this project: Addenda/Change Orders, Contractor's Bid, Special Provisions, Instructions to Bidders, Supplemental General Conditions, Notice Inviting Bids, General Conditions, Technical Specifications, Referenced Standard Specifications. With reference to the Drawings, the order of precedence is as follows, as applicable to this project: Figures govern over scaled dimensions, Detail drawings govern over general drawings, Addenda/Change Order drawings govern over contract drawings, contract drawings govern over standard drawings, contract drawings govern over shop drawings.
- If Contractor believes that any subsurface or physical condition at or contiguous to the Site that
 - is uncovered or revealed either in or of such a nature as to require a change in the Drawings; or
 - differs materially from that shown or indicated in the Drawings; or
 - is of an unusual nature, and differs materially from conditions ordinarily encountered and generally recognized as inherent in work of the character provided in the drawings;
 then Contractor shall promptly after becoming aware thereof and before further disturbing the subsurface or physical conditions or performing any Work in connection therewith (except in an emergency), notify Owner and Engineer in writing about such condition. Contractor shall not further disturb such condition or perform any Work in connection therewith (except as aforesaid) until receipt of written order to do so.
- Section 2.06 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.03.A.2 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.05 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.06 of the General Conditions is hereby incorporated into these Drawings.
- Section 4.05 of the General Conditions is hereby incorporated into these Drawings.
- Section 6.01, 6.02.A, and 6.03 of the General Conditions are hereby incorporated into these Drawings.
- Substitutes and "Or-Equals" items are subject to the provisions of the General Conditions, Section 6.05.
- Section 6.13 of the General Conditions is hereby incorporated into these Drawings, except that Section 6.13.D shall be replaced with the following:

Contractor's duties and responsibility for safety and for protection of the Work shall continue until such time as all the Work is completed and Engineer and Owner, as applicable to the Work, have accepted that the work is complete.
- Section 6.11, 6.14, 6.15, 6.16, 6.18, 6.19, 6.20, and 6.21 of the General Conditions are hereby incorporated into these Drawings.
- Article 9 - Engineers Status During Construction of the General Conditions is hereby incorporated into these Drawings, except as follows:
 - Delete the last sentence of Section 9.05.A.
 - Delete Section 9.06, 9.07, 9.08.B, 9.08.C, and 9.09.D.
- Section 10.02 of the General Conditions is hereby incorporated into these Drawings.
- Article 13 - Tests and Inspections, Correction, Removal or Acceptance of Defective Work of the General Conditions is hereby incorporated into these Drawings.

STANDARD SPECIAL PROVISIONS:

- The Contractor shall be responsible for all permits, licenses and fees required for completion of this project unless specifically noted otherwise.
- The Contractor shall provide the Owner with a 24 hour phone number of a party responsible and capable of immediate local response to emergency maintenance for the duration of the Work. Contractor shall provide the name of the responsible party and phone number in writing prior to proceeding with the Work.
- Unless noted otherwise, the contractor shall be responsible for any necessary traffic control on and off-site including obtaining any applicable permits.
- Material stockpiled along the project route shall be done so in a manner that does not affect public safety and is in a neat and orderly fashion.
- The Contractor shall be responsible for disposing of all waste and excess materials such as, but not limited to: vegetation, trees, brush, asphalt, concrete, sub-grade soils, etc., offsite in accordance with local, state and federal laws. The Owner reserves the right to request certain waste materials to be stockpiled at a location on-site.
- The contractor will be responsible to adhere to the MDEQ or EPA approved Storm Water Pollution Prevention Plan (SWPPP), if applicable to the project. The contractor is responsible for repairing any damage made to BMPs identified in the SWPPP. The approved Storm Water Pollution Prevention Plan will be provided by Owner to Contractor upon written request. If a SWPPP has not been prepared for the project, but is required by regulation, the Contractor is responsible for preparing and submitting a Notice of Intent and SWPPP.
- The Contractor will be required to make every effort to immediately restore the construction area once the construction task is completed. All seeding shall be completed in accordance with MPWSS 02910. This includes such required activities as finish grading, spreading of topsoil, restoring irrigation, replacing traffic and street signs, etc. The contractor will have 48 hours to begin restoration once the construction task in the immediate area is complete. Once restoration is begun, it must be completed without interruption to the extent possible.
- After all work on this project is completed and before final acceptance of the project, the entire project shall be neatly finished to the lines, grades, and cross sections shown on the plans and as hereinafter specified.
 - Drainage facilities, such as inlets, catch basins, storm pipe, culverts, and curb and gutter shall be cleaned of all debris, gravel, silt or other foreign material.
 - The Contractor shall remove and dispose of all construction stakes.
 - All areas disturbed by the construction shall be shaped to present a uniform appearance blending into the contour of adjacent properties. All surface replacement and landscaping shall be completed.
 - Except as otherwise permitted, all excess excavated materials shall be disposed of away from the site of the work.
 - Broken concrete and other debris resulting from pavement or sidewalk removal, excavated rock in excess of the amount permitted, and other waste and debris encountered in excavated work, and other similar waste materials shall be disposed of away from the site.

There will be no separate measurement or payment for cleanup, and all costs for such work shall be included in the Contract Price.
- No on-site burning of waste materials will be allowed.
- If a street has not been surfaced and cleaned, the Contractor shall be responsible for dust control and maintenance of the street. Also, if detours are made on a gravel road, the Contractor is responsible for dust control and maintenance on the detours. See "Air Quality" below also.
- Daily street sweeping shall be completed on both ends of each street during construction. Unpaved detours or any other fugitive dust emission sources from construction and demolition should be watered and/or chemically stabilized so emissions are less than 20% opacity.

UTILITY NOTES:

- The Contractor shall notify appropriate personnel for utility locations and notice of construction commencement at least two business days prior to proceeding with the Work. Before Contractor proceeds with the Work, a common locate service (One Call) is available at 1-800-425-5111. All Underground Facilities may not be located by the One Call service including but not limited to such Underground Facilities as irrigation systems, public and private water and sewer systems, etc.
- The information and data shown or indicated in the Drawings with respect to existing Underground Facilities at or contiguous to the Site is based on information and data furnished to Owner or Engineer by the owners of such Underground Facilities, including Owner, or by others. Unless it is otherwise noted:
 - Owner and Engineer shall not be responsible for the accuracy or completeness of any such information or data; and
 - The cost of all of the following will be included in the Contract Price, and Contractor shall have full responsibility for:
 - Reviewing and checking all such information and data.
 - Locating all Underground Facilities shown or indicated in the Drawings.
 - Coordination of the Work with the owners of such Underground Facilities, including Owner, during construction, and
 - The safety and protection of all such Underground Facilities and repairing any damage thereto resulting from the Work.
- At least 2 business days before beginning any excavation, the Contractor shall, according to MCA 69-4-501, notify all owners of underground facilities and coordinate the Work with the owners of such underground facilities. The information shown or indicated in the Drawings with respect to existing underground facilities is based on information and data obtained from the owners of the facilities without field exploration, and as such, Owner and Engineer are not responsible for the accuracy or completeness of such information or data.
- The Contractor shall support and protect all exposed utilities in conformance with the utility owner's standards.
- All utility services shall be constructed per the International Plumbing Code, Local Jurisdictional policy, and the service provider standards and specifications.
- All utility work shall be completed before paving.

SUBMITTALS, QUALITY CONTROL & ASSURANCE, INSPECTIONS, AND TESTING:

- Contractor shall comply with Summary of Work, Section 01010, MPWSS.
- Contractor shall comply with Project Coordination, Section 01041, MPWSS.
- Contractor shall comply with Field Engineering, Section 01050, MPWSS. Replace Part 1.1.A with "Notify Engineer of required survey work at least 5 days before starting work."
- Contractor shall comply with Submittals, Section 01300, MPWSS.
- Contractor shall comply with the Contractor Quality Control and Owner Quality Assurance, Section 01400 MPWSS.
- Contractor shall comply with Contract Closeout, Section 01700, MPWSS.
- Contractor shall comply with all Density Control Testing, Part 1.3, for Sub Base Course, Section 02234 MPWSS. This does not exclude any other requirements of Section 02234 MPWSS.
- Contractor shall comply with all Density Control Testing, Part 1.3, and Materials Submittals, Part 1.4, for Crushed Base Course, Section 02235 MPWSS. This does not exclude any other requirements of Section 02235 MPWSS.
- Contractor shall comply with Pavement and Material Testing Requirements, Part 3.29, for Asphalt Concrete Pavement, Section 02510 MPWSS. This does not exclude any other requirements of Section 02510 MPWSS.
- Contractor shall complete trench excavation and backfill in accordance with Section 02221 MPWSS. This includes backfill for storm drainage infrastructure.
- The Contractor shall coordinate with Engineer to obtain samples of trench backfill material to be used on-site. This includes backfill for storm drainage infrastructure.
- Contractor will be responsible for coordination with a material testing company of the Owner's selection to complete compaction testing of trench backfill. Coordination includes updating appropriate personnel employed by the material testing company every work day as to progress of work so adequate testing can be completed.
- The Contractor will be required to prepare a set of detailed as-built drawings to be presented to the Engineer at the completion of the project. The as-built drawings shall be updated daily and reviewed weekly by the Project Engineer. As-built drawings shall include (but not limited to) location/depths of existing utilities encountered during completing the Work and location/depths of installed infrastructure completed as part of the Work. Installed infrastructure includes culverts, ponds, storm drainage systems, catch basins, dry-well sumps, storm manholes, swales, ditches, dry utilities (gas, power, phone, etc.), and road and pedestrian features such as handicap ramps, sidewalks, roads, curb and gutter, etc.

CONSTRUCTION NOTES:

- All Work shall be in accordance with the Montana Public Works Standard Specifications (MPWSS), Sixth Edition, dated April 2010, Local Jurisdictional Standards, Special Provisions, and Contract Documents.
- Contractor shall comply with Construction and Temporary Facilities, Section 01500, MPWSS.
- Contractor shall comply with Construction Traffic Control, Section 01570, MPWSS.
- For road plan and profile sheets, the stationing and elevations provided are for finished grade at centerline of road, unless noted otherwise.
- For proposed pipe installations (culverts, storm drains, irrigation, etc.), the stationing is from centerline of pipe and elevations are from invert of pipe, unless noted otherwise.
- Elevations shown on the Drawings are to finished surface grade unless otherwise indicated.
- Elevations for curb and gutter are for top back of curb, unless otherwise indicated. Elevations provided at curb lay downs are for the "projected" top back of curb, as though the specified curb was being installed through the lay down. This allows the contractor to set his curb string line or forms based on the elevations shown on the plans, and then cut out the extra concrete for the lay down.
- All material furnished on or for this project shall meet the minimum requirements of the approving agencies or as set forth herein, whichever is more restrictive.
- If more than one acre will be disturbed during construction the contractor is responsible to notify DEQ or submit Storm Water Pollution Prevention Permit (SWPPP) to DEQ prior to construction.

CONSTRUCTION STAKING:

- Construction staking to be provided under separate contract with either the Owner or General Contractor. It shall be the responsibility of the contractor for scheduling and payment.
- Contractor is responsible to coordinate and request staking at least five days in advance, unless otherwise agreed upon in writing by Engineer.
- Staking will be provided as indicated in the Contract Documents, or as requested by contractor.
- Cut sheets will be provided to the contractor with elevation from hub to finished grade, unless noted otherwise. Cut sheets for pipe installation provide the elevation from the hub to the invert of the pipe, unless noted otherwise.
- Engineer does not consider staking to be complete and ready for use until cut sheets have been delivered to Contractor. Contractor's uses of construction staking prior to receipt of cut sheets is at contractor's risk. Any work incorrectly installed due to contractor's use of preliminary construction staking will be removed and replaced at contractor's expense.

GRADING NOTES:

- All ramps shall be sloped @ 12:1 max (8.33%) with a cross slope less than 2%.
- Square cut all asphalt.
- Contractor shall protect all adjacent improvements (buildings, roadways, fences, ditches, parking lots, utilities, sidewalks, curbs, gutter, park recreation improvements, trees, etc.) from damage and erosion. All disturbed areas shall be restored to their original condition.
- Compact subgrade and gravel cushion to 95% proctor density or per geotechnical engineering report, whichever provides a greater level of compaction.

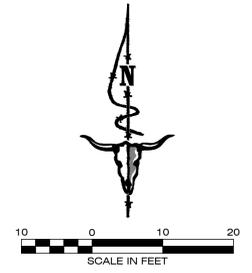
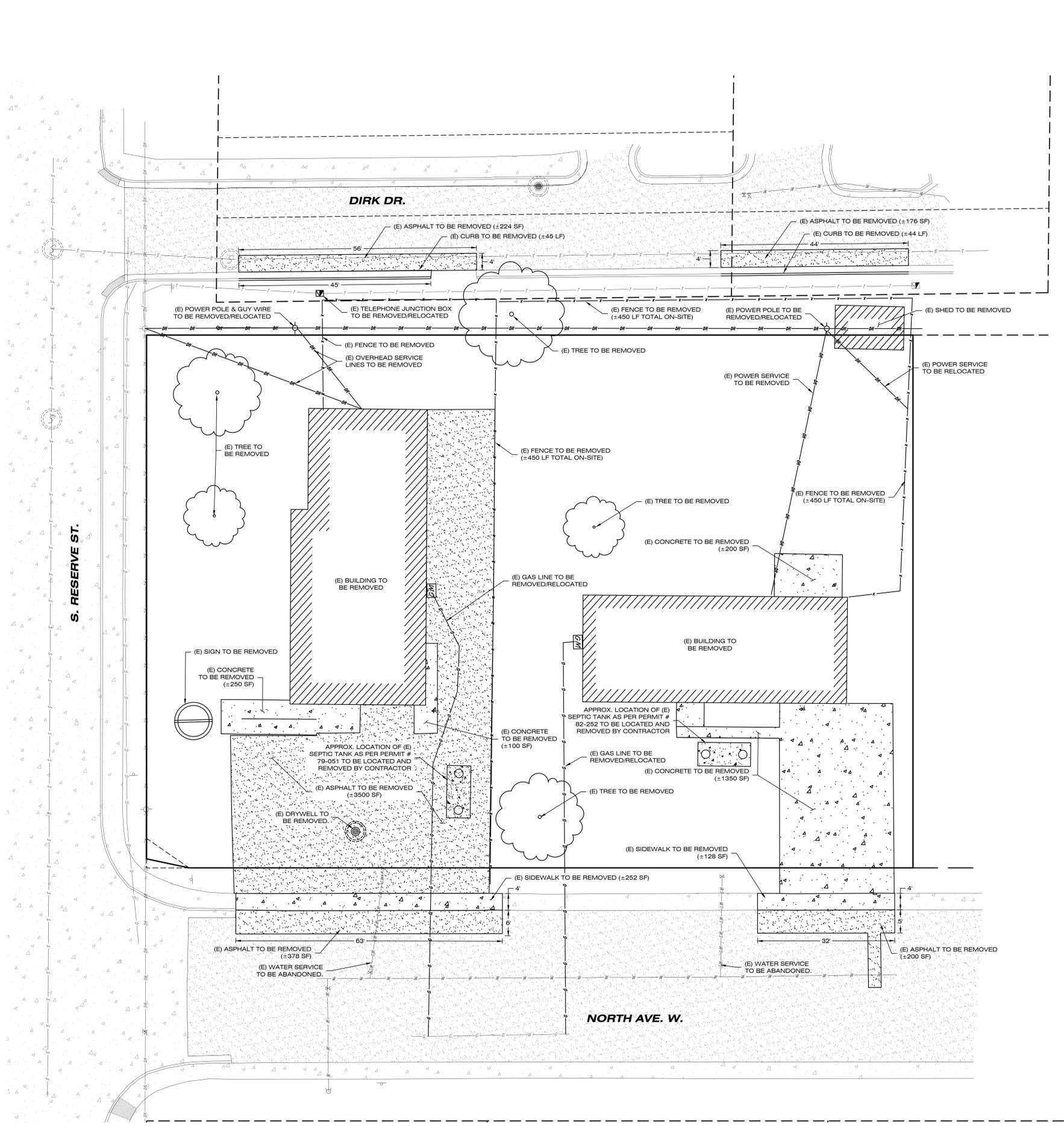
ABBREVIATIONS:

| | | | |
|--------|------------------------------------|--------|---|
| BC | BACK OF CURB | MUTCD | MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES |
| BP | BEGINNING POINT | NWE | NORTHWESTERN ENERGY |
| BSW | BACK OF SIDEWALK | (P) | PROPOSED |
| CBU | CLUSTER BOX UNIT | PRC | POINT OF REVERSE CURVATURE |
| OMP | CORRUGATED METAL PIPE | PC | POINT OF CURVATURE |
| ELEV | ELEVATION | PT | POINT OF TANGENT |
| EP | ENDING POINT | PVI | POINT OF VERTICAL INTERSECTION |
| (E) | EXISTING | R | RADIUS |
| FFEL | FINISHED FLOOR ELEVATION | ROW | RIGHT OF WAY |
| FG | FINISHED GRADE | SF | SQUARE FOOT |
| FL | FLOWLINE | SM | SIMILAR |
| HP | HIGH POINT | STA | STATION |
| I.E. | INVERT ELEVATION | STD | CITY OF MISSOULA STANDARD DRAWING |
| INV | INVERT | SW | SIDEWALK |
| LD | LANDDOWN | TBC | TOP BACK OF CURB |
| LF | LINEAR FOOT | TOA | TOP OF ASPHALT |
| MAX | MAXIMUM | TOC | TOP OF CONCRETE |
| MIN | MINIMUM | TYP | TYPICAL |
| ME | MATCH EXISTING | U.N.O. | UNLESS NOTED OTHERWISE |
| M.E.P. | MECHANICAL, ELECTRICAL, & PLUMBING | | |
| MPOC | MID POINT OF CURVE | | |



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DR. EARL ELLINGSON
1914 S. RESERVE ST. MISSOULA, MT
PET EMERGENCY CENTER

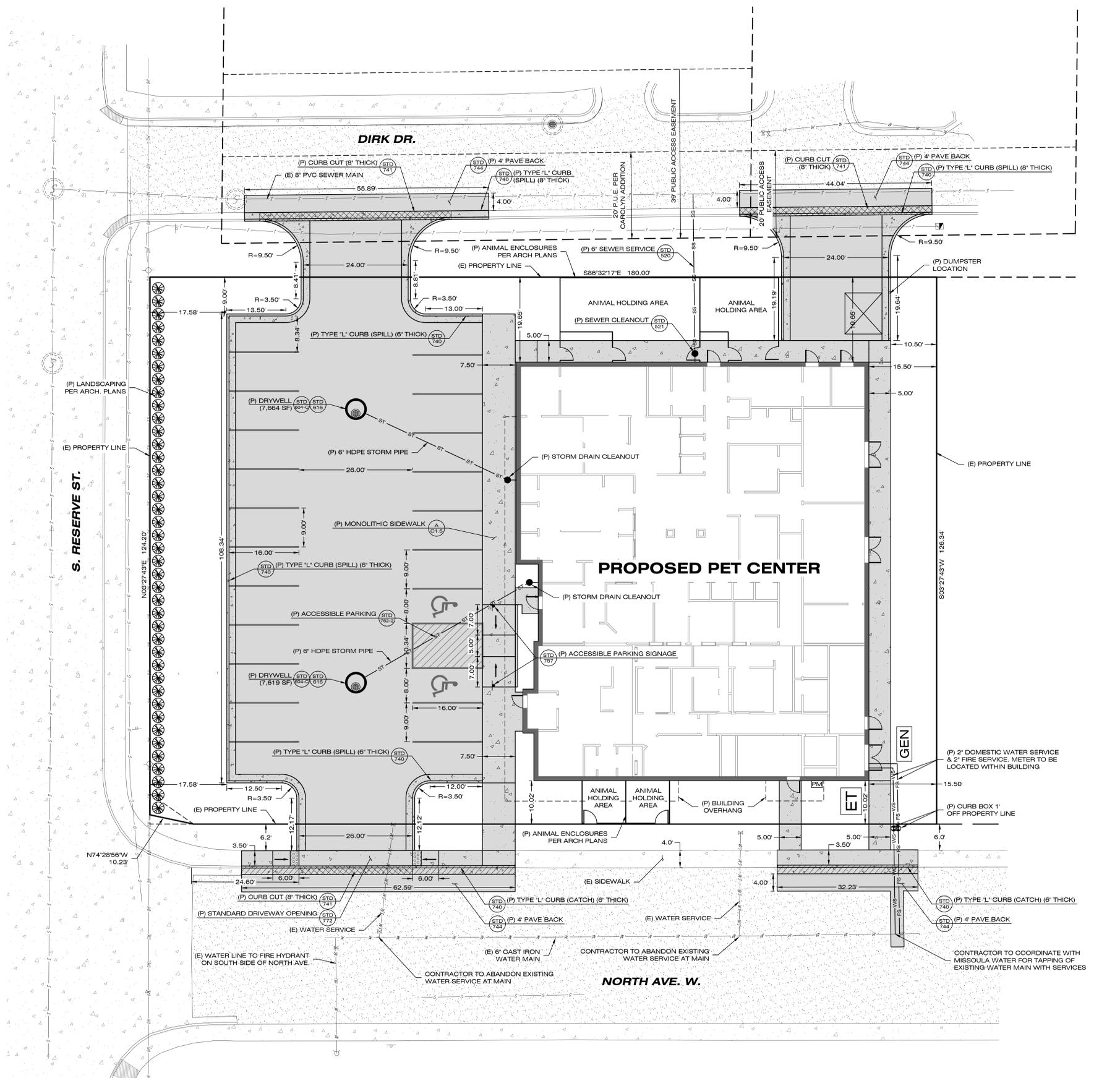


- UTILITY NOTES:**
1. COORDINATE WITH UTILITY PROVIDER FOR DEMOLITION AND ABANDONMENT OF UTILITIES SERVICING EXISTING STRUCTURES.
- ASBESTOS NOTES:**
1. ALL DEMOLITION AND RENOVATION PROJECTS REQUIRE AN ASBESTOS INSPECTION BY AN ACCREDITED ASBESTOS INSPECTOR.
 2. NOTIFY THE MONTANA DEPARTMENT OF ENVIRONMENTAL QUALITY (MTDEQ) FOR ALL NON-RESIDENTIAL DEMOLITION OR RENOVATION.
 3. NOTIFICATION FORMS ARE AVAILABLE AT ASBESTOS.MT.GOV OR CALL THE DEQ ASBESTOS CONTROL PROGRAM AT (406) 444-5300 OR EMAIL deqacponline@mt.gov. FORMS MUST BE RECEIVED BY DEQ TWO WEEKS PRIOR TO THE START DATE OF THE PROJECT.
 4. FOR MORE INFORMATION ON THE ASBESTOS INSPECTION REQUIREMENT, LOCATING AN ACCREDITED ASBESTOS INSPECTOR, AND OTHER ASBESTOS REGULATORY REQUIREMENTS GO TO ASBESTOS.MT.GOV OR CALL (406) 444-5300.
- SITE QUANTITIES NOTE:**
1. QUANTITIES SHOULD BE CONSIDERED APPROXIMATE AND ARE A BEST ESTIMATE BASED ON FIELD SURVEY.

DR. EARL ELLINGSON
 1914 S. RESERVE ST. MISSOULA, MT
PET EMERGENCY CENTER

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 DD PRICING SET
 07.15.2021
 PROJECT# | 20006086
 DESIGNED BY | MM
 DRAWN BY | AE





LEGEND

- 'CATCH' CURB & GUTTER
- 'SPILL' CURB & GUTTER
- 'LAYDOWN' CURB

NOTE:

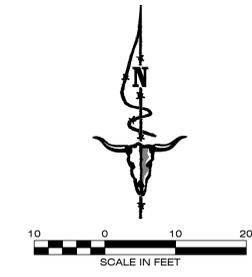
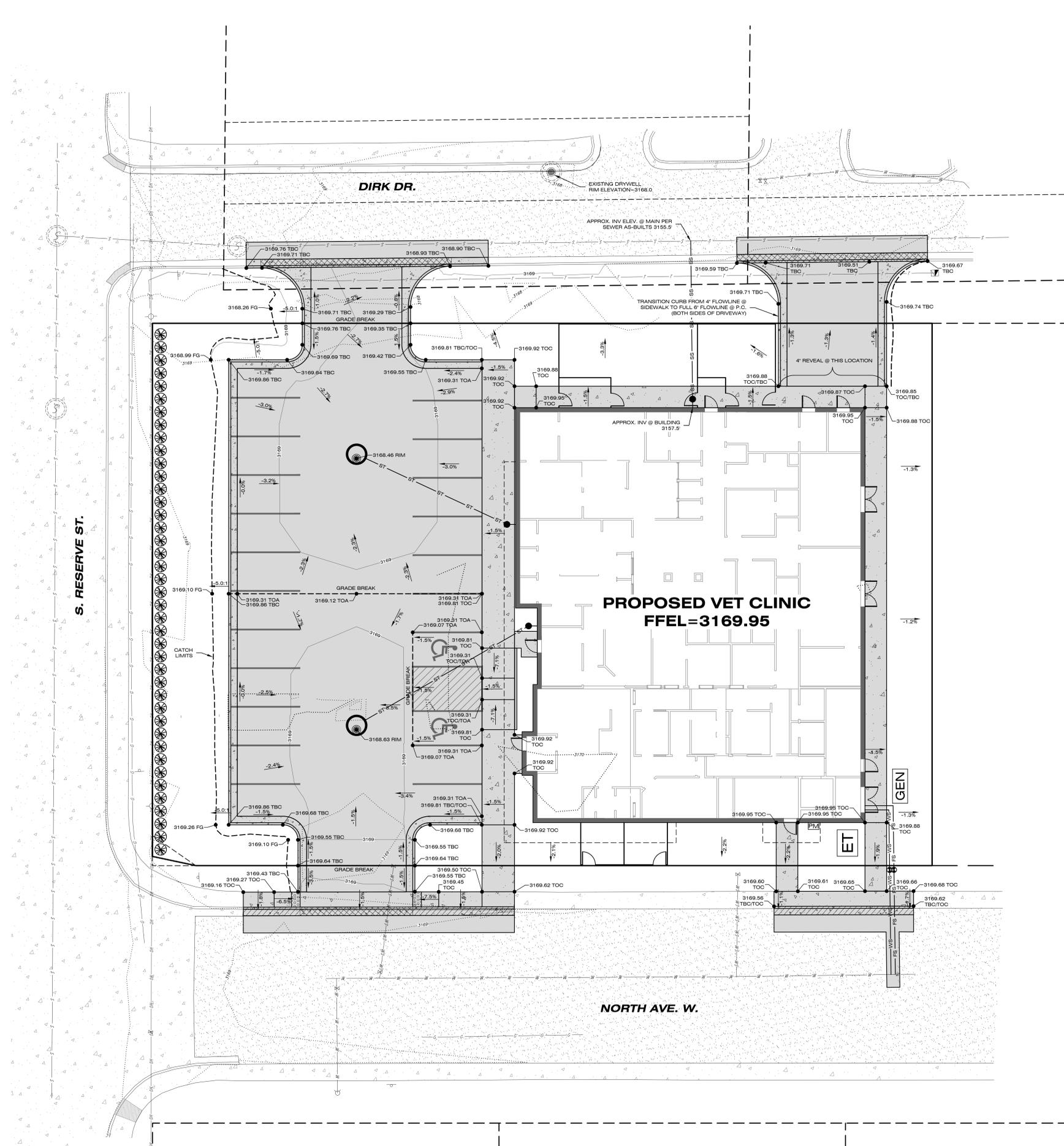
1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE DETAILS AND DIMENSIONS
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB

STRIPING NOTES:

1. STRIPING PAINT MATERIAL SHALL BE PER MUTCD 2009 EDITION AND APPROVED BY OWNER

SIGN INSTALLATION NOTES:

1. SIGNS SHALL BE LOCATED AND INSTALLED PER MUTCD 2009 EDITION.
2. BOTTOM OF ALL SIGNS SHALL BE INSTALLED AT LEAST 7' ABOVE THE ADJACENT FINISHED GRADE OR TOP BACK OF CURB, AS APPLICABLE.



NOTES:

1. FOR ALL ADA RAMP CALLOUTS SEE SITE PLAN.
2. ALL ADA PARKING AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE AMERICANS WITH DISABILITY ACT, WHICH INCLUDES BUT IS NOT LIMITED TO:
 - A. SLOPES WITHIN ADA PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - B. ACCESSIBLE ROUTE CROSS SLOPES SHALL NOT EXCEED 2%.
 - C. RAMP SHALL NOT EXCEED 12:1 IN SLOPE NOR RISE IN EXCESS OF 6' UNLESS OTHERWISE NOTED.
 - D. ALL ADA RAMP SHALL HAVE A MINIMUM 2' OF TRUNCATED DOMES THE FULL WIDTH OF RAMPLANDING.
3. MAXIMUM SLOPE ON ALL CUT AND FILLS SHALL BE 2:1. GRADE TO 4:1 WHEN POSSIBLE.
4. THE DIMENSIONS OF THE BUILDING FOOT PRINT ARE APPROXIMATE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ELEVATION DIFFERENTIALS WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHOULD BE AWARE THAT THE ACCURATE LAYOUT IS CRITICAL TO THE SUCCESS OF THIS GRADING PLAN. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE ACCURATE LAYOUT OF THIS GRADING PLAN.
6. THIS GRADING PLAN ADDRESSES STORM AND SURFACE WATER MITIGATION ONLY. CONTAINMENT OF CONTAMINANTS PRODUCED IN OR AROUND THE EXISTING OR PROPOSED STRUCTURES SHALL BE BY OTHERS.
7. STORM RUNOFF WILL BE PIPED FROM THE BUILDING ROOF DRAINS AND CHANNELLED OFF FROM PAVED AREAS TO CURB CUTS AND COLLECTION AND DISPOSAL AREAS. ALL DRAINAGE SHALL BE DIRECTED AWAY FROM BUILDINGS.
8. FOR PURPOSES OF CLARITY THE INTERNAL LOT BOUNDARIES, ALLEY EASEMENT, VACATED ROAD EASEMENTS, AND UTILITY EASEMENTS HAVE NOT BEEN SHOWN ON THIS PLAN. PLEASE REFER TO SITE PLAN WHICH SHOWS THE EXISTING SITE CONDITIONS.
9. ALL TOP BACK OF CURB ELEVATIONS ARE REPRESENTATIVE OF FULL HEIGHT CURB UNLESS OTHERWISE NOTED.



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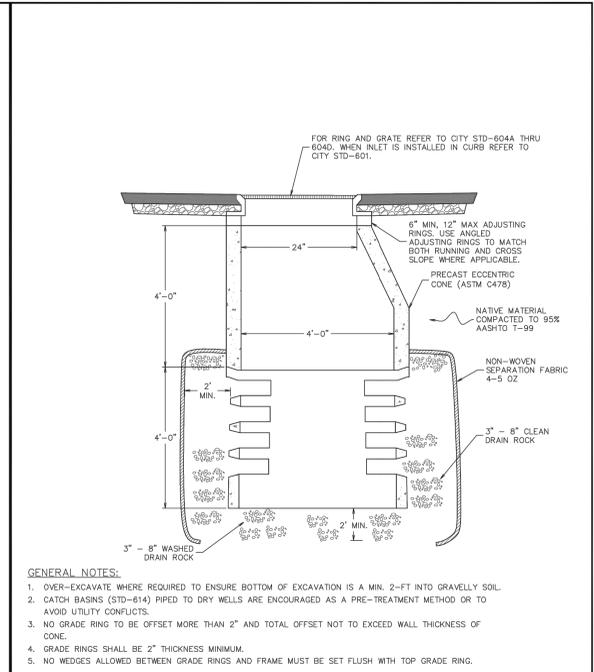
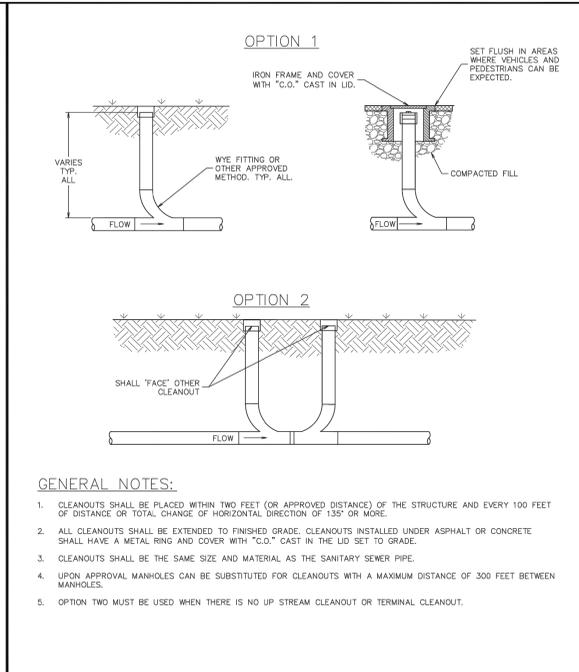
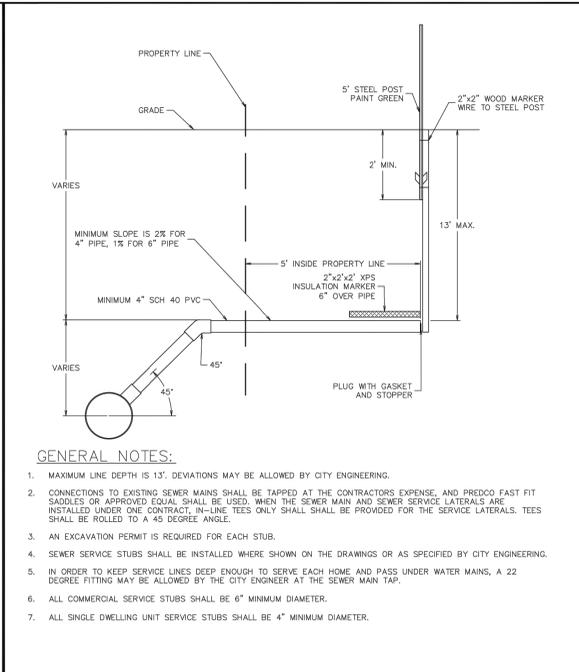
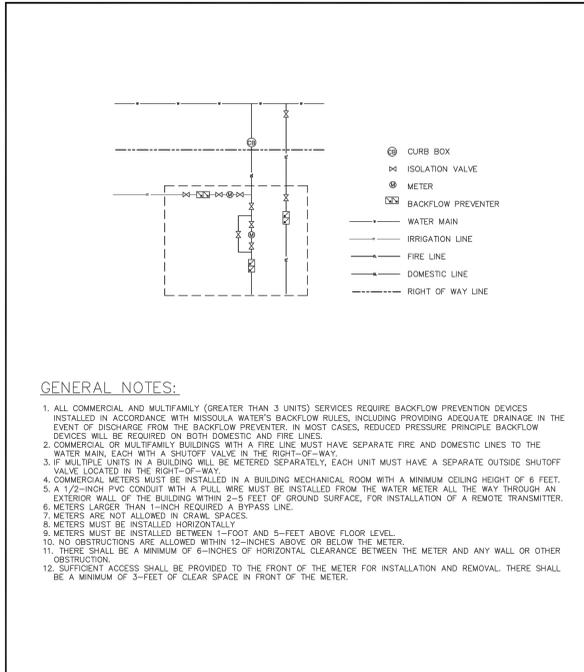
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DD PRICING SET

07.15.2021
 PROJECT# | 20006086
 DESIGNED BY | MM
 DRAWN BY | AE

GRADING PLAN

C1.4

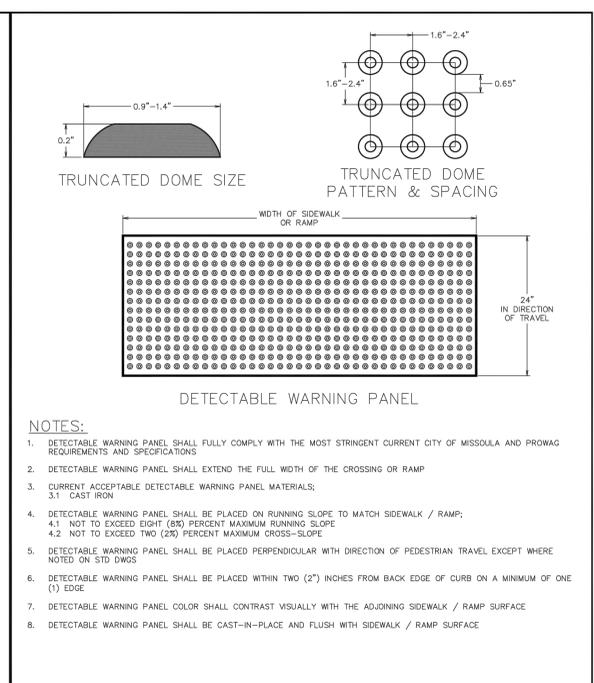
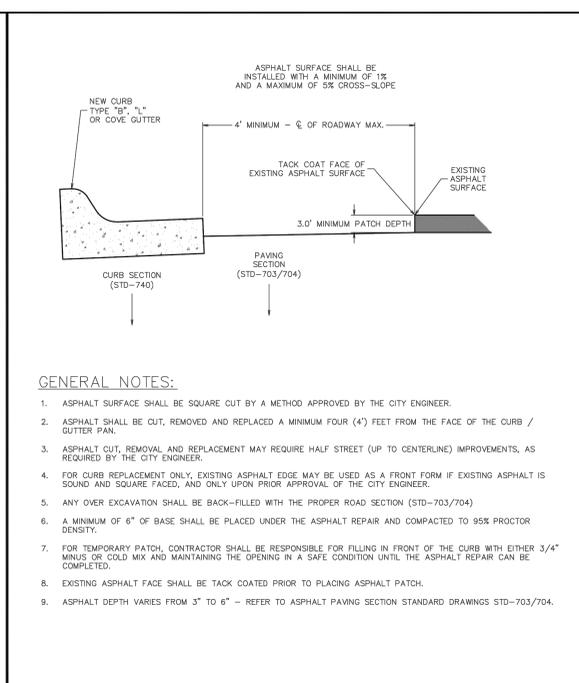
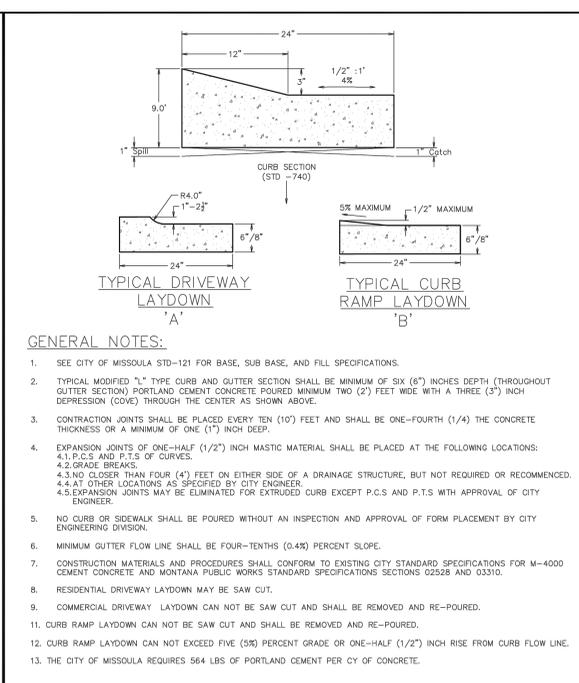
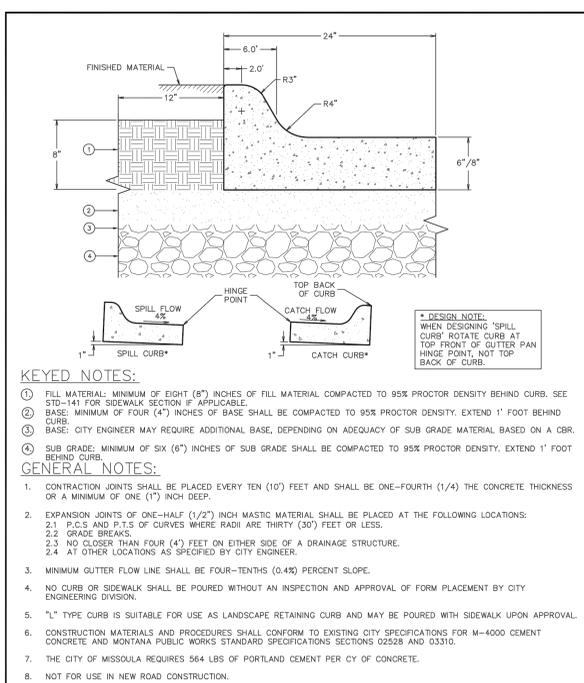


Engineering Division
 Approved By
 Utilities Engineer
 Logan McInnis, PE
 Revised: 09/28/2020
STD - 403

Engineering Division
 Approved By
 Project Manager
 Ross Mollenhauer, PE
 Revised: 09/28/2020
STD - 520

Engineering Division
 Approved By
 City Engineer
 Kevin J. Slovarp
 Adopted: 03/2004
 Revised: 06/14/2017
STD - 521

Engineering Division
 Approved By
 Utility Engineer
 Andy Schultz, PE
 Revised: 09/28/2020
STD - 616



Engineering Division
 Approved By
 City Engineer
 Kevin J. Slovarp
 Adopted: 01/30/1980
 Revised: 03/15/2017
STD - 740

Engineering Division
 Approved By
 City Engineer
 Kevin J. Slovarp
 Adopted: 04/18/1974
 Revised: 03/20/2017
STD - 741

Engineering Division
 Approved By
 City Engineer
 Kevin J. Slovarp
 Adopted: 02/06/1986
 Revised: 03/20/2017
STD - 744

Engineering Division
 Approved By
 City Engineer
 Kevin J. Slovarp
 Adopted: 03/12/2004
 Revised: 03/14/2017
STD - 750

Return To:

EARL ELLINGSON
1914 S. RESERVE ST.
MISSOULA, MT 59801

202109934 B:1053 P:1264 Pages:4 Fee:\$28.00
04/19/2021 01:42:39 PM Easement
Tyler R. Gernant, Missoula County Clerk & Recorder



GRANT OF EASEMENT

This Easement is granted this 15 day of ^{April} ~~March~~, 2021, by Joseph K. Hankel and Cynthia A. Hankel, of 2430 Dirk Dr., Missoula, MT 59802, herein referred to as "GRANTORS," to Wilderness Creek Properties, LLC, of 1914 S. Reserve St., Missoula, MT 59801, herein referred to as "GRANTEE."

WITNESSETH:

WHEREAS, GRANTORS are the owners of the following-described real property in Missoula County, Montana:

Lot 2 of CAROLYN ADDITION, a platted subdivision in Missoula County, Montana, according to the official recorded plat thereof; and

WHEREAS, GRANTEE is the owner of the following-described real property in Missoula County, Montana:

The West 20 feet of Lot 8, and all of Lots 9 and 10, in Block 2 of MACLAY ADDITION, a platted subdivision in Missoula County, Montana, according to the official recorded plat thereof; and

WHEREAS, GRANTORS desire to grant unto GRANTEE an easement for ingress and egress over GRANTORS' property for the benefit of GRANTEE'S Lots 8 and 9 real properties.

NOW, THEREFORE, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration paid by GRANTEE, the receipt and sufficiency of which

is hereby acknowledged, it is agreed as follows:

1. GRANTORS hereby grant, assign, convey, transfer and set over unto GRANTEE a public access easement containing approximately 1000 square feet and being 50 feet in width, to benefit of GRANTEE'S property, for ingress and egress over and across the lands of GRANTORS, at the location depicted on the attached Exhibit "A," which Exhibit is by reference incorporated herein.
2. GRANTEE shall have the right to construct, maintain and repair roads for the purpose of access and to enter upon GRANTORS' property in a reasonable manner, from time to time, for the purpose of repairing or reconstructing the roads, including the right of free ingress and egress by vehicles or otherwise, over and across the property affected by this easement.
3. This easement is for the benefit of the above-described land of GRANTEE and shall run with the land and shall be binding upon and inure to the benefit of the parties hereto, their respective heirs, personal representatives, successors and assigns.
4. GRANTEE shall repair any damages to Dirk Drive caused by GRANTEE, or anyone working or acting on behalf of GRANTEE, during the construction phase of the roads.

DATED the 15 day of ^{April} ~~March~~, 2021.

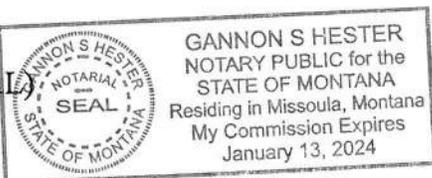

Joseph K. Hankel


Cynthia A. Hankel

STATE OF MONTANA)
) ss.
County of Missoula)

On this 15 day of ^{April} ~~March~~, 2021, before me, the undersigned, a Notary Public for the State of Montana, personally appeared Joseph K. Hankel and Cynthia A. Hankel, known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

(SEAL)  GANNON S HESTER
NOTARY PUBLIC for the
STATE OF MONTANA
Residing in Missoula, Montana
My Commission Expires
January 13, 2024



DATED the 19th day of ^{April} ~~March~~, 2021.

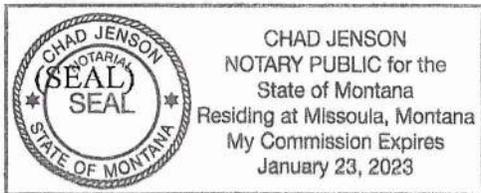
Wilderness Creek Properties, LLC

By: [Signature]
WILDERNESS CREEK PROPERTIES, Its MEMBER

STATE OF MONTANA)
) ss.
County of Missoula)

On this 19 day of ^{April} ~~March~~, 2021, before me, the undersigned, a Notary Public for the State of Montana, personally appeared Earl Ellingson, known to me to be the member of Wilderness Creek Properties, LLC, and acknowledged to me that he/she executed the same.

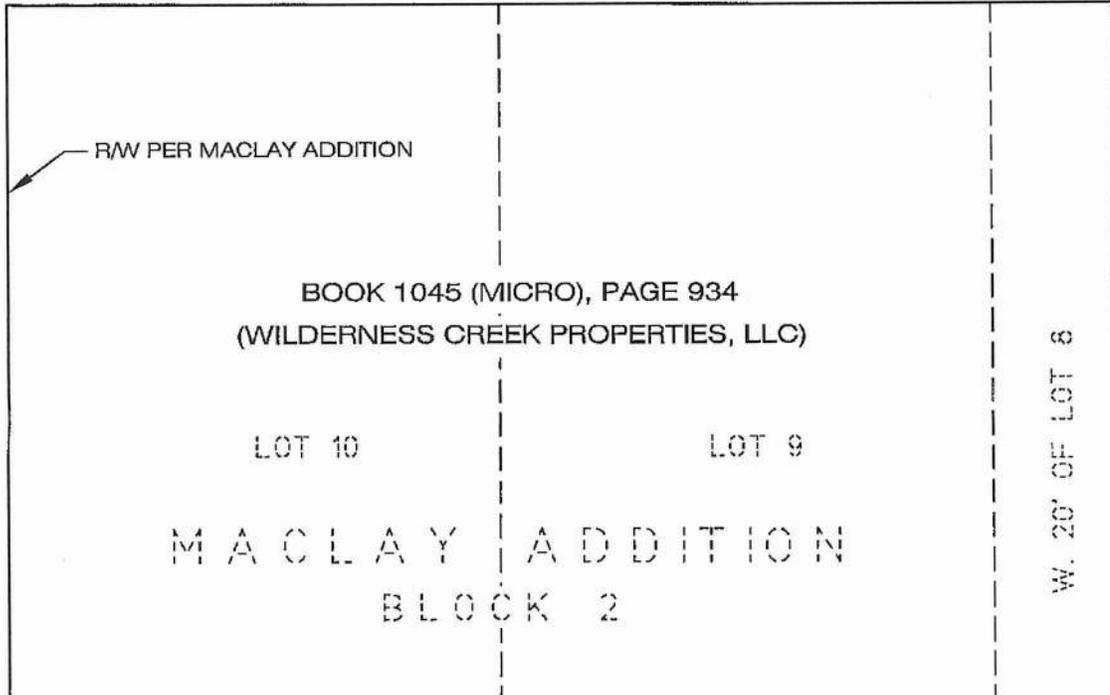
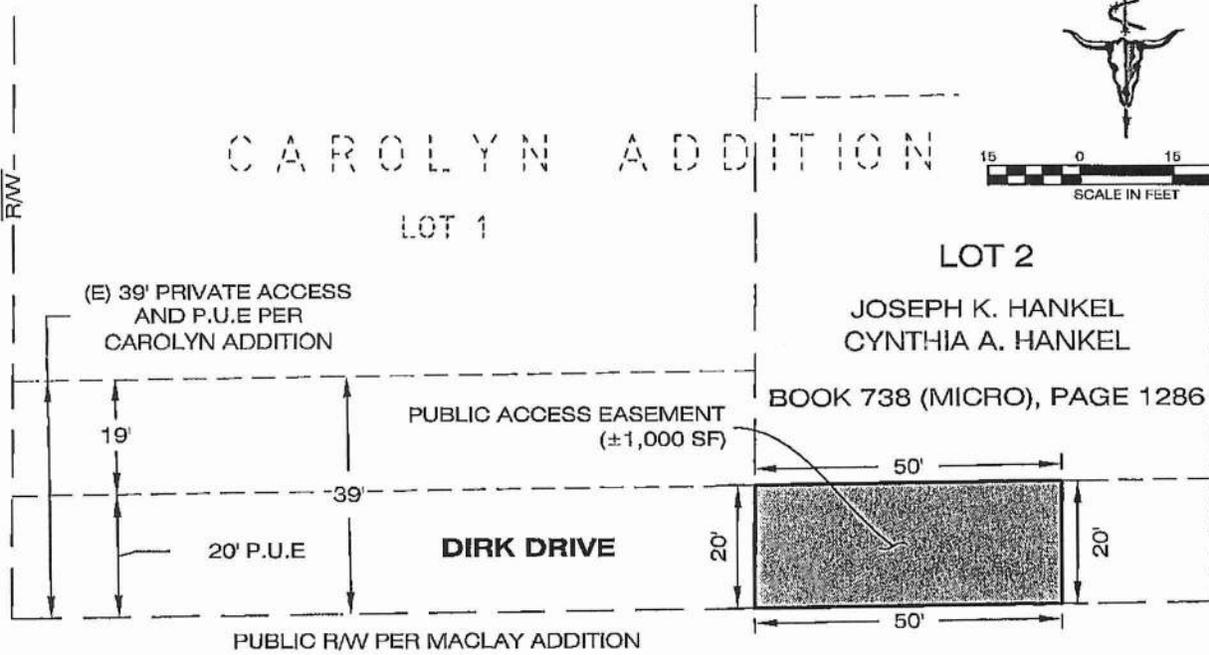
IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



[Signature]

EXHIBIT A

LOT 2 OF CAROLYN ADDITION LOCATED IN THE
SW1/4 OF SEC. 29, T.13N., R19W., P.M.M.,
MISSOULA COUNTY, MONTANA



LEGEND

- (E) EXISTING
- P.U.E PUBLIC UTILITY EASEMENT
- R/W RIGHT OF WAY

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MISSOULA, MT FAX: 406.721.5224
59801 www.imegcorp.com

Return To:

EMIL ELIANGSON
1914 S. RESERVE ST.
MISSOULA, MT 59801

202109935 B:1053 P:1265 Pages:4 Fee:\$28.00
04/19/2021 01:42:39 PM Easement
Tyler R. Gernant, Missoula County Clerk & Recorder



GRANT OF EASEMENT

This Easement is granted this 7th day of April, 2021, by KD Partners, LLP, of 422 Livingston Ave., Missoula, MT 59801, herein referred to as "GRANTOR," to Wilderness Creek Properties, LLC, of 1914 S. Reserve St., Missoula, MT 59801, herein referred to as "GRANTEE."

WITNESSETH:

WHEREAS, GRANTOR is the owner of the following-described real property in Missoula County, Montana:

Lot 1 of CAROLYN ADDITION, a platted subdivision in Missoula County, Montana, according to the official recorded plat thereof; and

WHEREAS, GRANTEE is the owner of the following-described real property in Missoula County, Montana:

The West 20 feet of Lot 8, and all of Lots 9 and 10, in Block 2 of MACLAY ADDITION, a platted subdivision in Missoula County, Montana, according to the official recorded plat thereof; and

WHEREAS, GRANTOR desires to grant unto GRANTEE an easement for ingress and egress over GRANTOR'S property for the benefit of GRANTEE'S Lot 10 real property.

NOW, THEREFORE, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration paid by GRANTEE, the receipt and sufficiency of which

is hereby acknowledged, it is agreed as follows:

1. GRANTOR hereby grants, assigns, conveys, transfers and sets over unto GRANTEE a public access easement containing approximately 4719 square feet and being 121 feet in width, to benefit GRANTEE'S property, for ingress and egress over and across the lands of GRANTOR, at the location depicted on the attached Exhibit "A," which Exhibit is by reference incorporated herein.
2. GRANTEE shall have the right to construct, maintain and repair roads for the purpose of access and to enter upon GRANTOR'S property in a reasonable manner, from time to time, for the purpose of repairing or reconstructing the roads, including the right of free ingress and egress by vehicles or otherwise, over and across the property affected by this easement.
3. This easement is for the benefit of the above-described land of GRANTEE and shall run with the land and shall be binding upon and inure to the benefit of the parties hereto, their respective heirs, personal representatives, successors and assigns.
4. GRANTEE shall repair any damages to Dirk Drive caused by GRANTEE, or anyone working or acting on behalf of GRANTEE, during the construction phase of the roads.

DATED the 7th day of ~~March~~^{April}, 2021.

KD Partners, LLP

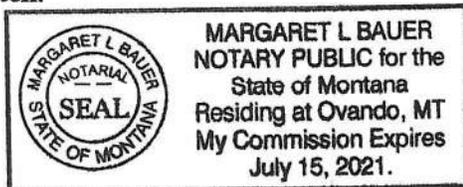
By: Katrina Delridge
KD Partners, LLP, Its Managing Partner

STATE OF MONTANA)
) ss.
County of Missoula)

On this 7th day of ~~March~~^{April}, 2021, before me, the undersigned, a Notary Public for the State of Montana, personally appeared Katrina Delridge, known to me to be the Managing Partner of KD Partners, LLP, and acknowledged to me that he/she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

(SEAL)



Margaret Bauer

DATED the 19th day of ~~March~~ ^{April}, 2021.

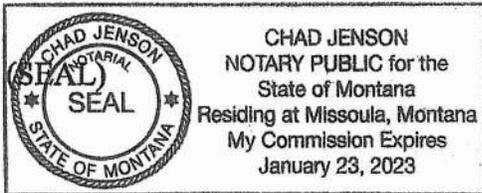
Wilderness Creek Properties, LLC

By: [Signature]
Wilderness Creek Properties, Its MEMBER

STATE OF MONTANA)
) ss.
County of Missoula)

On this 19 day of ~~March~~ ^{April}, 2021, before me, the undersigned, a Notary Public for the State of Montana, personally appeared Earl Ellingson, known to me to be the member of Wilderness Creek Properties, LLC, and acknowledged to me that he/she executed the same.

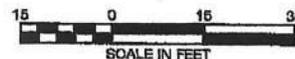
IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



[Signature]

EXHIBIT A

LOT 1 OF CAROLYN ADDITION LOCATED IN THE
SW1/4 OF SEC. 29, T.13N., R19W., P.M.M.,
MISSOULA COUNTY, MONTANA



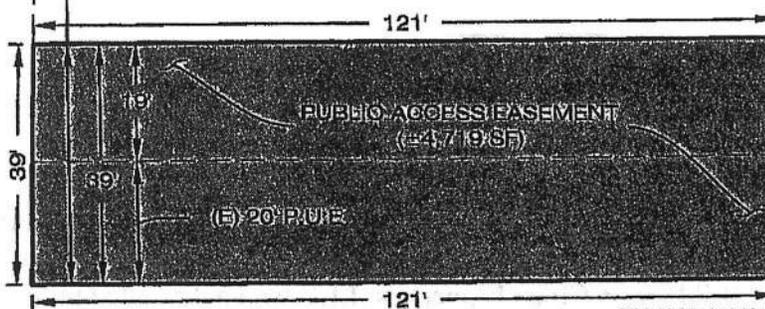
LOT 1
BOOK 715 (MICRO), PAGE 899
(KD PARTNERS, LLP)

(E) 39' PRIVATE ACCESS
AND P.U.E PER
CAROLYN ADDITION

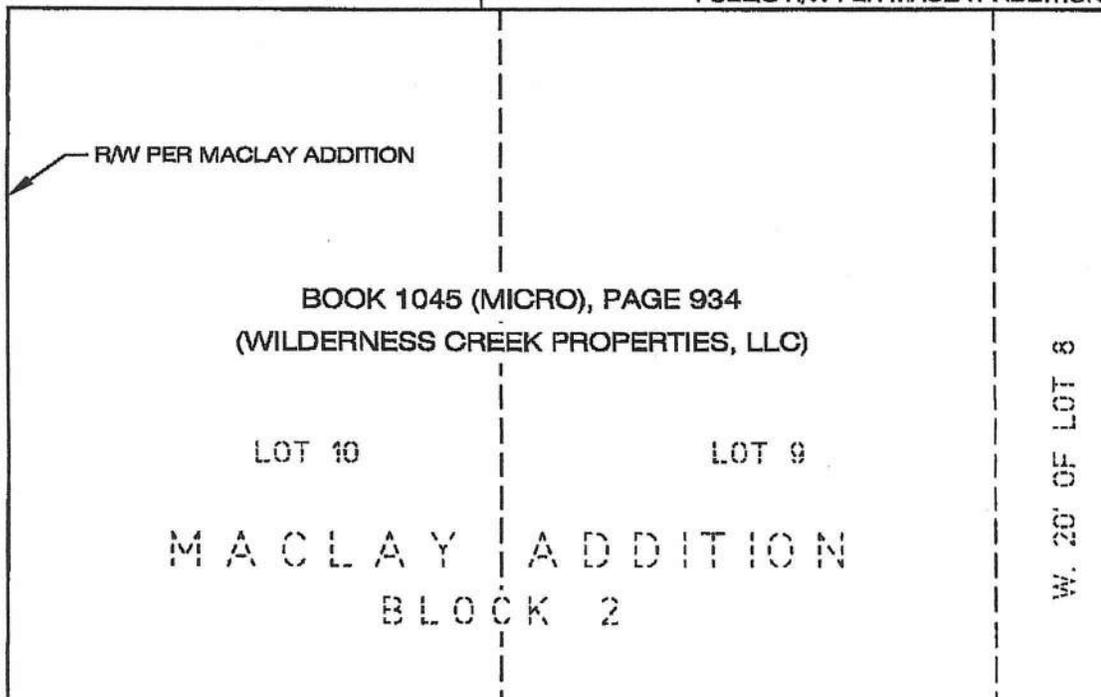
C A R O L Y N A D D I T I O N

LOT 2

RESERVE STREET



DIRK DRIVE



LEGEND

- (E) EXISTING
- P.U.E PUBLIC UTILITY EASEMENT
- R/W RIGHT OF WAY

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