

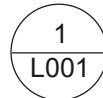
BID ALTERNATES

1. BASE BID:
TENNIS COURT STRIPING ONLY, AS SHOWN IN DETAIL 1 / L107.
STRIPING TO BE A WATER BASED PAINT.

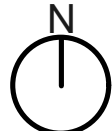
2. ALT. NO 1:
TENNIS COURT COLOR COAT AS SHOWN IN DETAIL 1 / L107.
SPECIFICATION SECTION 32 1307.

3. ALT. NO. 2:
1.5" THICK TENNIS COURT FINISH COURSE AS PER DETAIL
5/L107

MISSOULA SPORT COURT RECONSTRUCTION
PLAYFAIR PARK - TENNIS
3001 BANCROFT ST, MISSOULA, MT 59801



VICINITY MAP
NTS



I. GENERAL NOTES:

1. PERFORM ALL DEMOLITION AND NEW CONSTRUCTION WORK AS PER MONTANA PUBLIC WORKS STANDARD AND SPECIFICATIONS (MPWSS) 6TH EDITION AND CITY OF MISSOULA REGULATIONS.
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND UTILITY LOCATIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
3. DO NOT SCALE DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING OF WORK. START OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS.
4. INCREASES TO CONTRACT SUM OR TIME WILL NOT BE APPROVED FOR CONDITIONS OR SITUATIONS EVIDENT AT TIME OF BIDDING.
5. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR IN THE SPECIFICATIONS.
6. CHANGES OR DEVIATIONS FROM THE DRAWINGS MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE AND/OR AN APPROVED CHANGE ORDER WILL BE CONSIDERED UNAUTHORIZED. COORDINATE NECESSARY MODIFICATIONS WITH LANDSCAPE ARCHITECT PRIOR TO EXECUTING CONSTRUCTION. SEE PROJECT MANUAL FOR CONTRACT MODIFICATION PROCEDURES.
7. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND COMPLETION OF ALL WORK SHOWN AND SHALL COORDINATE WORK.
8. MAINTAIN A CLEAN WORK SITE AT ALL TIMES. NO RADIOS, TAPE PLAYERS, CD PLAYERS, ETC. ALLOWED ON SITE.
9. NOTIFY OWNER'S REPRESENTATIVE AND/OR OWNER IN WRITING OF ANY EXPECTED DISRUPTIONS IN SERVICE OR CHANGES IN CONSTRUCTION SCHEDULE AND OBTAIN WRITTEN PERMISSION AS SPECIFIED.
10. ALL AREAS USED FOR CONSTRUCTION AND/OR DAMAGED DURING THE EXECUTION OF THIS CONTRACT, INCLUDING STAGING AREAS, LANDSCAPE AND SITE ELEMENTS, WILL BE RESTORED UNDER A SEPARATE CONTRACT BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING LANDSCAPE, SITE AND ELEMENTS WITHIN THE LIMITS OF WORK, CONSTRUCTION VICINITY, AND/OR NOTED ON THE DOCUMENTS.
11. THE CONSTRUCTION DRAWINGS SHOW PRINCIPLE AREA AND LIMITS OF CONSTRUCTION WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY BE NECESSARY IN AREAS NOT SHOWN ON DRAWINGS DUE TO CHANGES AFFECTING ELECTRICAL, MECHANICAL, PLUMBING AND/OR OTHER SYSTEMS. THIS INCIDENTAL WORK SHALL BE PART OF THIS CONTRACT AND ALL TRADES SHALL INSPECT THESE AREAS, ASCERTAIN WORK REQUIRED AND PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL COMPONENTS AND ACCESSORIES FOR A COMPLETE AND FINISH INSTALLATION FOR PRODUCTS SHOWN ON THE DRAWING SHEETS.
13. THE SPECIFICATIONS INCLUDED WITH THESE DRAWINGS SHEETS ARE AN INTEGRAL PART OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL ENCLOSED INFORMATION.
14. CONTRACTOR SHALL NOT BLOCK ANY ROADS OR SIDEWALKS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION DE-WATERING AND MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF CONSTRUCTION.
16. CONTRACTOR SHALL CONTROL DUST IN ACCORDANCE WITH REGULATIONS OF LOCAL AIR POLLUTION CONTROL AUTHORITY.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION OF MUD, DUST OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY CONTRACTOR.
18. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTIES, PUBLIC AND PRIVATE, AT ALL TIMES DURING CONSTRUCTION.
19. THE OWNER/DESIGNER DOES NOT GUARANTEE THE ACCURACY OF THE SITE SURVEY INCLUDING AND NOT LIMITED TO: SERVICE LINES (WATER, POWER, GAS, STORM SEWER, TELEPHONE, FIBER OPTIC, TELEVISION, BROAD BAND, ETC.)
20. PROVIDE CONCRETE JOINTING AS SHOWN FOR ALL FLATWORK.
21. COORDINATE STAGING AREA WITH OWNER.
22. CONTACT ADJACENT PROPERTY OWNER(S) PRIOR TO BEGINNING WORK.
23. MAINTAIN ACCESS TO ALL PROPERTIES.
24. COORDINATE WORK WITH OTHER PROJECT(S)

II. RECORD DRAWINGS:

1. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIME WHEREON THE CONTRACTOR WILL RECORD ANY APPROVED DEVIATIONS IN THE CONSTRUCTION FROM THE APPROVED DRAWINGS, AS WELL AS THE LOCATIONS OF ALL EXISTING UTILITIES ENCOUNTERED. THESE FIELD RECORD DRAWINGS SHALL BE KEPT UP TO DATE AT ALL TIMES AND SHALL BE AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE UPON REQUEST. FAILURE TO CONFORM TO THIS REQUIREMENT MAY RESULT IN DELAY IN PAYMENT AND/OR FINAL ACCEPTANCE OF THE PROJECT.

III. SAFETY AND PROTECTION:

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE RIGHT OF THE OWNER, CITY AND OWNER REPRESENTATIVE TO OBSERVE OR OTHERWISE REVIEW THE WORK AND OPERATIONS SHALL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO MAINTAIN A SAFE WORK ENVIRONMENT.

IV. WARRANTY:

1. IF WITHIN ONE YEAR AFTER ACCEPTANCE OF THE WORK BY THE CITY, (PROJECT OWNER) ANY OF THE WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND/OR DRAWINGS, AND UPON WRITTEN NOTICE FROM THE PROJECT OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL CORRECT ANY WORK BEGINNING WITHIN SEVEN (7) CALENDAR DAYS OF SAID WRITTEN NOTICE. SHOULD THE CONTRACTOR FAIL TO RESPOND TO THE WRITTEN NOTICE WITHIN THE DESIGNATED TIME, THE CITY MAY CORRECT THE WORK AT THE EXPENSE OF THE CONTRACTOR. ANY HARD SURFACE SHALL BE WARRANTED FOR A PERIOD OF 2 YEARS FOLLOWING FINAL ACCEPTANCE OF THE PROJECT.

V. EXISTING CONDITIONS:

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS. THE CONTRACTOR SHALL REVIEW THE PROPOSED PLANS AND CONFIRM THAT THE DESIGN ELEVATIONS AND GRADES MATCH EXISTING FIELD CONDITIONS AND SHALL NOTIFY THE PROJECT OWNER OF ANY DISCREPANCIES OR UNFORSEEN CONDITIONS.

VI. PARK ACCESS:

1. ANY EXCAVATION SHALL BE BARRICADED. PARK, IN GENERAL, WILL BE OPEN TO THE PUBLIC.

VII. GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITY MAINS, FIRE HYDRANTS, VALVES, APPURTENANCES AND OTHER EXISTING SITE FACILITIES DURING CONSTRUCTION NOT SLATED FOR DEMOLITION INCLUDING ON-SITE PUBLIC AND PRIVATE PROPERTY.
2. INSTALL CONSTRUCTION FENCING AS REQUIRED OR NEEDED TO PROTECT THE PUBLIC FROM THE CONSTRUCTION AREA. FENCING SHALL BE OF A FREE STANDING TYPE WITHIN PAVED AREAS. NO DAMAGE TO EXISTING PAVEMENT WILL BE ALLOWED FOR SECURING FENCE. CONTRACTOR SHALL PERIODICALLY INSPECT FENCING AND REPAIR AS NECESSARY.
3. FOR TREE PROTECTION, ERECT AND MAINTAIN A CONSTRUCTION FENCE AS DETAILED IN DRAWING 5 / L105. FOR WORK WITHIN TREE DRIP LINE, HAND CLEAR AND HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEM. AT NO TIME SHALL EXCAVATION OCCUR WITHIN HALF THE RADIUS OF THE CANOPY DRIP LINE. PROVIDE SUPPORTS AND WET BURLAP OVER ROOTS AS REQUIRED.
4. PROTECT EXISTING VEGETATION INDICATED TO REMAIN AND REPLACE IF DAMAGED.
5. COVER HOLES AND TRENCHES WHEN WORK IS NOT IN PROGRESS. FENCE OR BARRICADE CHANGES OF PLANE MORE THAN 45 DEGREES HORIZONTALLY.
6. ALL WASTE MATERIAL FROM DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PER LOCAL, STATE AND FEDERAL REQUIREMENTS UNLESS OTHERWISE SPECIFIED. REMOVE FROM SITE EXCAVATED MATERIALS UNSUITABLE FOR USE AS FILL

- AND BACKFILL INCLUDING STRIPPED SOD. MATERIALS CONTAINING TRASH OR DEBRIS SHALL BE IMMEDIATELY REMOVED AND LEGALLY DISPOSED OF OFF-SITE.
7. CONTRACTOR TO PROTECT ALL EXISTING IMPROVEMENTS TO REMAIN AND REPAIR BACK TO ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE IF DAMAGE OCCURS RESULTANT FROM CONTRACTOR'S OPERATIONS OR NEGLIGENCE.
 8. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
 9. PROVIDE DEWATERING AND DRAINAGE TO KEEP EXCAVATIONS FREE OF WATER.
 10. CONTRACTOR TO PRESERVE AS MUCH BASE MATERIAL FROM SPORT COURT DEMOLITION AND REMOVAL TO BE USED IN PLACE FOR THE NEW SPORT COURT.
 11. CONTRACTOR SHALL REMOVE LAWNS AND GRASSES AS SPECIFIED.
 12. CONTRACTOR TO REMOVE TOPSOIL TO SPECIFIED DEPTH AND STORE ON-SITE FOR SITE RESTORATION.

VIII. EXISTING IRRIGATION NOTES:

1. LOCATION OF MAINLINE, LATERAL LINES, AND EXISTING HEADS ATTAINED FROM PARKS AND RECREATION AS-BUILT DRAWINGS UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY LOCATION BEFORE START OF CONSTRUCTION.
2. COORDINATE ALL ADJUSTMENTS OF EXISTING IRRIGATION SYSTEMS WITH OWNER.
3. AREAS OUTSIDE OF THE CONSTRUCTION OF LIMITS MUST REMAIN OPERATIONAL DURING THE GROWING SEASON TO THE MAXIMUM EXTENT POSSIBLE.
4. REMOVE ALL EXISTING AT-GRADE UN-REUSED SYSTEM COMPONENTS (INCLUDING HEADS WITH JOINTS, VALVE BOXES, ETC.) AND ABANDON ALL UN-REUSED MAIN AND CIRCUIT PIPING, UNLESS LOCATED WITHIN NEW SPORT COURT AREA. REMOVE ALL EXISTING MAIN AND CIRCUIT PIPING WITHIN NEW TENNIS COURT AREA.

IX. GENERAL GRADING NOTES:

1. SPOT ELEVATIONS SHOWN REPRESENT FINISHED ELEVATIONS AND GRADES. CONTRACTOR SHALL GRADE AND PREPARE ALL SUBGRADE IN ACCORDANCE WITH TOLERANCES INCLUDED IN SPECIFICATIONS.
2. MAXIMUM SLOPES: SPORT COURTS - MAXIMUM SLOPE 1% . SIDEWALKS - MAXIMUM CROSS SLOPE 2%. MAXIMUM LONGITUDINAL SLOPE 5%. EARTH SLOPES - THERE SHALL BE NO EARTH SLOPES GREATER THAN 25% (4:1).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING AND OR EXPORTING ALL MATERIAL AS REQUIRED TO PROPERLY GRADE THIS SITE. INCLUDING ALL NECESSARY SURFACE RESTORATION, TO THE FINISHED ELEVATIONS SHOWN HERE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND ACCOMMODATE UNCONSIDERED EXISTING CONDITIONS AND PROVIDE SMOOTH TRANSITIONS BETWEEN EXISTING AND NEW GRADES.

X. GENERAL OWNER WORK NOTES:

1. COORDINATE WITH OWNER'S REPRESENTATIVE FOR ALL OWNER PROVIDED WORK AND WORK BY OTHERS AS DETAILED.
2. CONTRACTOR TO ROUGH GRADE ALL AREAS IMPACTED BY CONSTRUCTION FOR SITE RESTORATION. REMOVE ALL ROCKS AND DEBRIS GREATER THAN 1" IN DIAMETER IN ANY DIRECTION.
3. WORK BY OWNER AND OTHERS:
 - 3.1. PARK BENCH - BY OWNER
 - 3.2. TENNIS POLES & NET - OWNER PROVIDED, CONTRACTOR INSTALLED
 - 3.3. SITE RESTORATION - BY OTHERS
 - 3.4. IRRIGATION - BY OTHERS

LIST OF DRAWINGS

L001	VICINITY MAP & GENERAL NOTES
L100	EXISTING CONDITIONS & DEMOLITION
L101	SITE PLAN
L102	GRADING PLAN
L103	HARDSCAPE LAYOUT
L104	COURT AND FENCING LAYOUT
L105	SITE DETAILS
L106	SITE DETAILS
L107	SITE DETAILS

ISSUE RECORD / REVISION:

PURPOSE	DATE:
65 PERCENT	02/24/22
95 PERCENT	04/19/22
95 PERCENT	04/27/22
100% CON.	07/21/22

Parks&Recreation
City of Missoula • 600 Gregg Lane • 721-PARK

PLAYFAIR PARK
3001 BANCROFT ST, MISSOULA, MT 59801



DATE: 4/26/22
DRAWN BY: GLS
CHECKED BY: EW

PROJECT NUMBER: PKR - 2022- VAR
SHEET NAME:

VICINITY MAP &
GENERAL NOTES

SHEET NUMBER:
L001

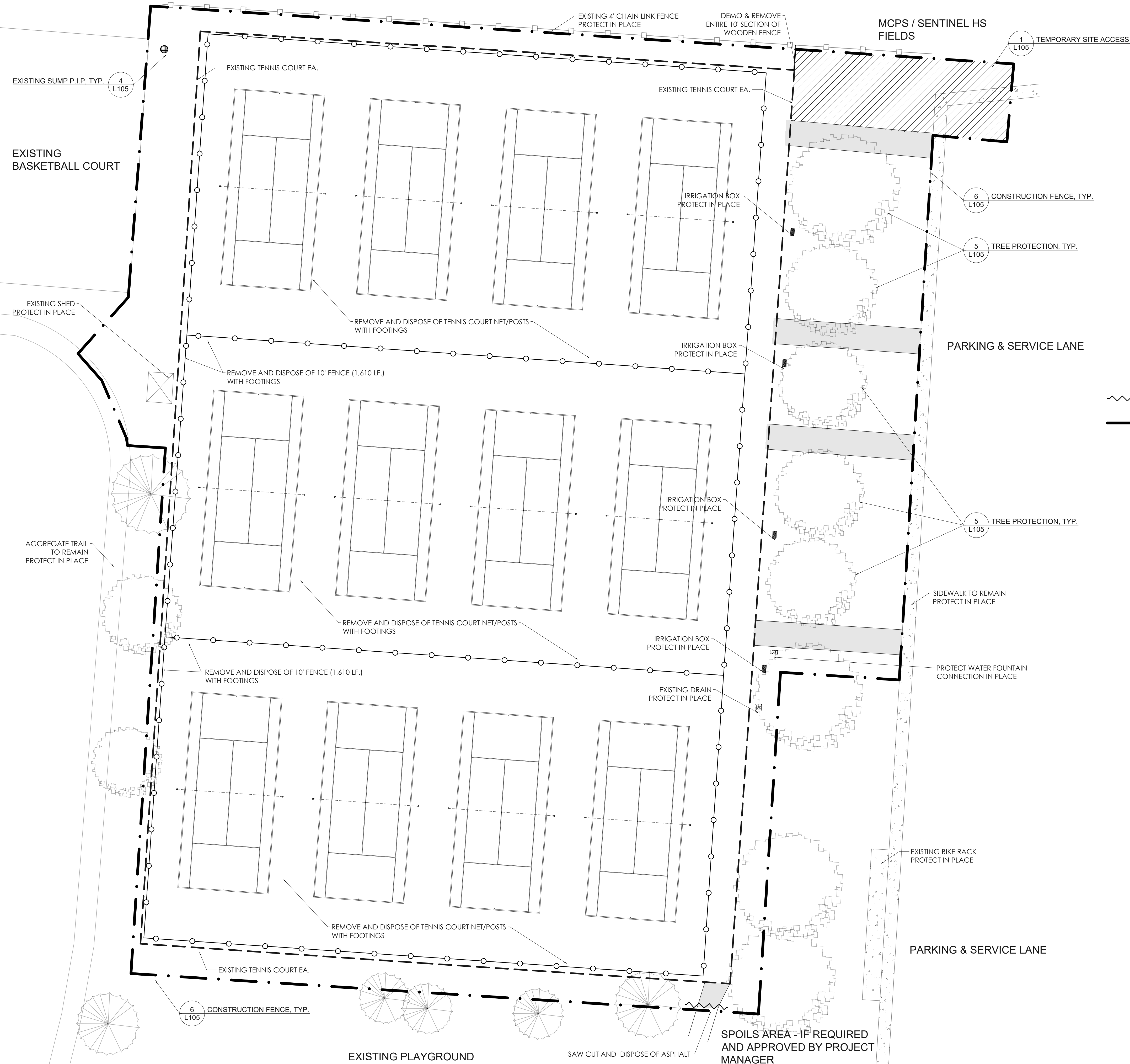
ISSUE RECORD / REVISION:	
PURPOSE	DATE:
65 PERCENT	02/24/22
95 PERCENT	04/19/22
95 PERCENT	04/27/22
100% CON.	07/21/22

PLAYFAIR PARK
3001 BANCROFT ST, MISSOULA, MT 59801



DATE:	4/26/22
DRAWN BY:	GLS
CHECKED BY:	EW
PROJECT NUMBER:	PKR-2022-VAR
SHEET NAME:	EXISTING CONDITIONS & DEMOLITION
SHEET NUMBER:	L100

L100



- NOTES:
- 1) NO AS BUILT IRRIGATION PLAN - FIELD VERIFY IRRIGATION. COORDINATE WITH PROJECT OWNER TO TURN OFF IRRIGATION A MINIMUM OF TWO WEEKS PRIOR TO WORK COMMENCING.
 - 2) PRESERVE AS MUCH BASE MATERIAL IN PLACE AS POSSIBLE WHEN REMOVING ASPHALT.
 - 3) PLAYGROUND, BASKETBALL AND AGGREGATE TRAIL TO REMAIN OPEN THROUGHOUT CONSTRUCTION. SWEEP BASKETBALL COURT AS NEEDED TO CLEAR DEBRIS GREATER THAN 1/4" IN DIAMETER IN ANY DIRECTION.

ABBREVIATIONS:

CL - CENTER LINE
EA - EDGE OF ASPHALT
PIP - PROTECT IN PLACE
SW - SIDEWALK

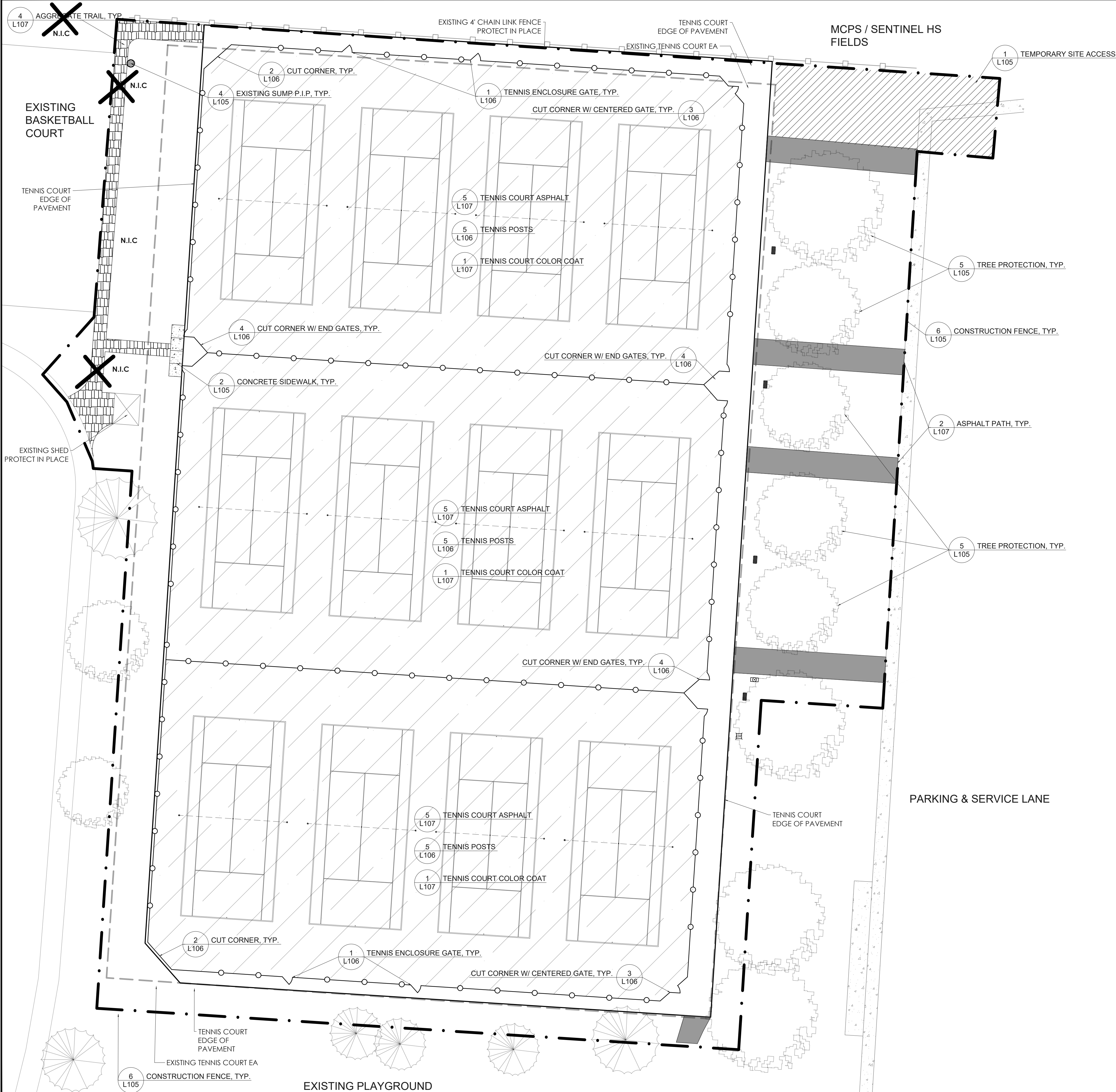
LEGEND

REMOVE & DISPOSE OF TENNIS COURT ASPHALT (85,626 SQ. FT.)

REMOVE & DISPOSE OF ASPHALT PATH (2,400 SQ. FT.)

SAW CUT

LIMIT OF CONSTRUCTION (1,500 LF.)



- NOTES:
- 1) FIELD VERIFY IRRIGATION (NO AS BUILT ON FILE)
 - 2) BASKETBALL COURT AND AGGREGATE PATH TO REMAIN OPEN
 - 3) SWEEP BASKETBALL COURT AS NEEDED TO CLEAR DEBRIS GREATER THAN 1/4" IN DIAMETER IN ANY DIRECTION.
 - 4) PROTECT EXISTING TREES IN PLACE AS NEEDED OR REQUIRED
 - 5) AGGREGATE TRAIL TO BE FLUSH WITH ADJACENT HARD SURFACES

ABBREVIATIONS:

- CL - CENTER LINE
EA - EDGE OF ASPHALT
PIP - PROTECT IN PLACE
SW - SIDEWALK

LEGEND

- EXISTING TENNIS COURT EDGE OF ASPHALT (EA)
- 4" DEPTH 5/8" CRUSHED AGGREGATE TRAIL (1,250 SQ. FT.)
DETAIL 4 / L107
- CONCRETE SIDEWALK - 100 SQ. FT.
DETAIL 2 / L105 . 5' SPACING CONTROL JOINTS.
- ASPHALT PATH - 2,435 SQ. FT
DETAIL 2/ L107
- TENNIS COURT ASPHALT - 82,110 SQ. FT.
DETAIL 5 / L107
- TENNIS COURT COLOR COAT (75,190 SQ.FT.).
DETAIL 1/L107. SPECIFICATION 32 1307.
- 10' CHAIN LINK FENCE (1,535 LF.)
DETAIL 6 / L106
- LIMIT OF CONSTRUCTION (1,500 LF.)

ISSUE RECORD / REVISION:	
PURPOSE	DATE:
65 PERCENT	02/24/22
95 PERCENT	04/19/22
95 PERCENT	04/27/22
100% CON.	07/21/22

Parks & Recreation
City of Missoula • 600 Gregg Lane • 721-PARK

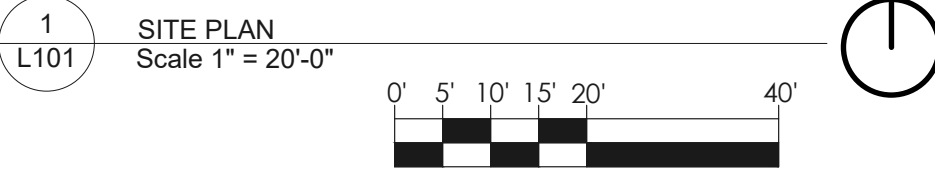
PLAYFAIR PARK
3001 BANCROFT ST, MISSOULA, MT 59801



DATE:	4/26/22
DRAWN BY:	GLS
CHECKED BY:	EW
PROJECT NUMBER:	PKR - 2022- VAR
SHEET NAME:	

SITE PLAN

SHEET NUMBER:
L101



ISSUE RECORD / REVISION:	
PURPOSE	DATE:
65 PERCENT	02/24/22
95 PERCENT	04/19/22
95 PERCENT	04/27/22
100% CON.	07/21/22

PLAYFAIR PARK

CITY OF MISSOULA, MONTANA



DATE:	4/26/22
DRAWN BY:	GLS
CHECKED BY:	EW
PROJECT NUMBER:	PKR - 2022- VAR
SHEET NAME:	

GRADING PLAN
SHEET NUMBER:
L102

- NOTES:
- EXCAVATE TO A DEPTH OF 4 INCH MIN. OR TO BOTTOM OF BASE COURSE WHEN OUTSIDE OF EXISTING TENNIS COURT/BASE COURSE.
 - PRESERVE AS MUCH BASE MATERIAL IN PLACE AS POSSIBLE TO BE REUSED AS BASE COURSE.

ABBREVIATIONS:

CL - CENTER LINE
EA - EDGE OF ASPHALT
PIP - PROTECT IN PLACE
SW - SIDEWALK

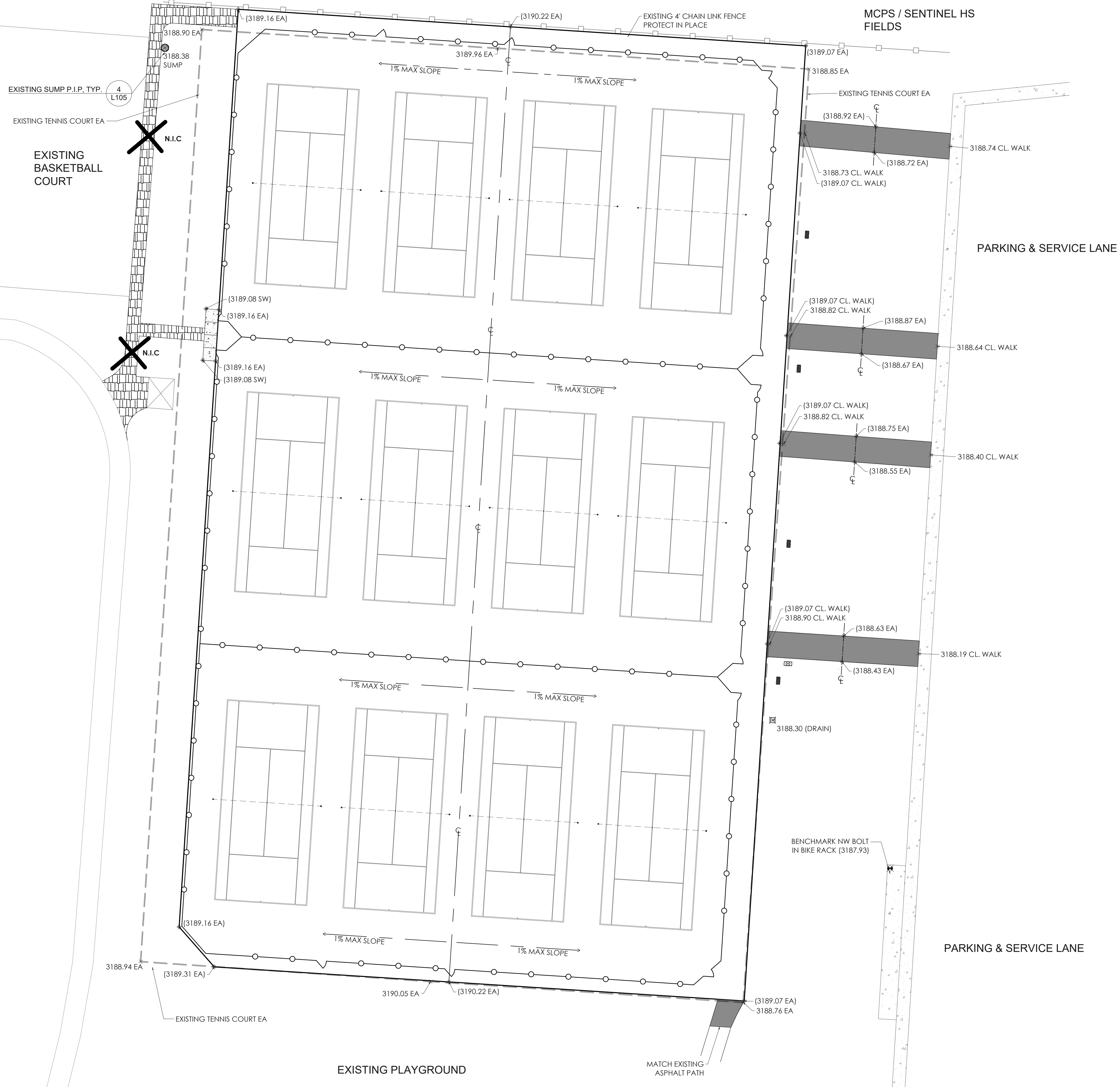
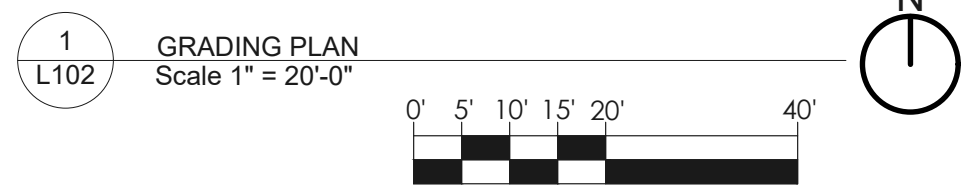
LEGEND

- EXISTING TENNIS COURT EDGE OF ASPHALT (EA)
- PROPOSED SPOT GRADE - (3189.07 EA)
- EXISTING SPOT GRADE
- BENCHMARK:
NORTHING - 977910.680 (INTERNATIONAL FOOT)
EASTING - 841575.801 (INTERNATIONAL FOOT)

Coordinate System:
Zone: Montana 2500
Datum: NAD 1983 (Conus)
Global reference datum:
NAD83(2011)
Global reference epoch: 2010
Geoid: GEOID18 (Conus)
Vertical datum: NAVD88

Project latitude: N46 51'02.35187"
Project longitude: W114 01'25.11233"
Project height: 3131.721

Ground scale factor: 1
False northing offset: 0.000
False easting offset: 0.000





NOTE:
1) CONFIRM LAYOUT WITH LANDSCAPE ARCHITECT OR PROJECT OWNER PRIOR TO PAVING
2) CONFIRM LAYOUT OF TRAIL WITH LANDSCAPE ARCHITECT OR PROJECT MANAGER

BENCHMARK:
NORTHING - 977910.680 (INTERNATIONAL FOOT)
EASTING - 841575.801 (INTERNATIONAL FOOT)

EXISTING TENNIS COURT EDGE OF ASPHALT (EA)

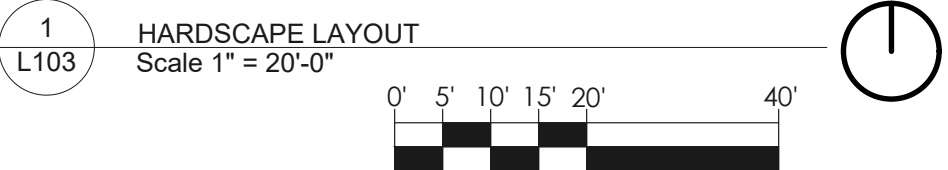
Point List (Hardscape) – Playfair Park

Spot Grade	Northing (International foot)	Easting (International foot)	Elevation (International foot)	Feature Code
SPORT COURT/ EA				
PLA 01	978244.575	841322.481	3189.16	SPORT COURT EA
PLA 02	978237.760	841428.262	3190.22	SPORT COURT EA CL
PLA 03	978230.366	841543.027	3189.07	SPORT COURT EA
PLA 04	978196.453	841540.786	3189.07	CENTER LINE OF WALK
PLA 05	978117.745	841535.496	3189.07	CENTER LINE OF WALK
PLA 06	978075.859	841532.849	3189.07	CENTER LINE OF WALK
PLA 07	977997.945	841528.053	3189.07	CENTER LINE OF WALK
PLA 08	977859.136	841519.109	3189.07	SPORT COURT EA
PLA 09	977866.530	841404.344	3190.22	SPORT COURT EA CL
PLA 10	977872.407	841313.119	3189.31	SPORT COURT EA
PLA 11	977887.901	841299.501	3189.16	SPORT COURT EA
PLA 12	977997.880	841306.587	3189.16	SPORT COURT EA
PLA 13	978107.859	841313.673	3189.16	SPORT COURT EA @ SW
PLA 14	978108.180	841308.683	3189.08	SW CORNER
PLA 15	978128.139	841309.969	3189.08	SW CORNER
PLA 16	978127.818	841314.959	3189.16	SPORT COURT EA@ SW
PLA 17	978186.193	841318.720	3189.16	SPORT COURT EA

Coordinate System:
Zone: Montana 2500
Datum: NAD 1983 (Conus)
Global reference datum:
NAD83(2011)
Global reference epoch: 2010
Geoid: GEOID18 (Conus)
Vertical datum: NAVD88

Project latitude: N46 51'02.35187"
Project longitude: W114 01'25.11233"
Project height: 3131.721

Ground scale factor: 1
False northing offset: 0.000
False easting offset: 0.000





MCPS / SENTINEL HS
FIELDS

- NOTES:
- 1) CONFIRM LAYOUT WITH LANDSCAPE ARCHITECT OR PROJECT MANAGER PRIOR TO PAVING.
 - 2) FENCE IS TO BE A MINIMUM OF 1 FOOT OFFSET FROM EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - 3) ALL GATE OPENINGS BETWEEN POSTS SHALL HAVE A CLEAR OPENING OF 4.'

BENCHMARK:
NORTHING - 977910.680 (INTERNATIONAL FOOT)
EASTING - 841575.801 (INTERNATIONAL FOOT)

EXISTING TENNIS COURT EDGE OF ASPHALT (EA)

Coordinate System:
Zone: Montana 2500
Datum: NAD 1983 (Conus)
Global reference datum:
NAD83(2011)
Global reference epoch: 2010
Geoid: GEOID18 (Conus)
Vertical datum: NAVD88

Project latitude: N46 51'02.35187"
Project longitude: W114 01'25.11233"
Project height: 3131.721

Ground scale factor: 1
False northing offset: 0.000
False easting offset: 0.000

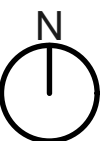
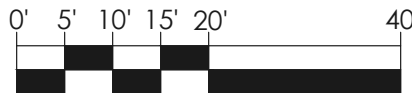
Point List (Fencing) – Playfair Park

Spot Grade	Northing (International foot)	Easting (International foot)	Elevation (International foot)	Feature Code
FENCING				
FEN 01	978227.546	841322.386		TERMINAL POST
FEN 02	978236.883	841333.009		TERMINAL POST
FEN 03	978224.666	841522.619		TERMINAL POST
FEN 04	978214.044	841531.955		TERMINAL POST
FEN 05	978112.754	841525.429		TERMINAL POST
FEN 06	978104.816	841516.430		TERMINAL POST
FEN 07	978095.789	841524.336		TERMINAL POST
FEN 08	977993.002	841517.714		TERMINAL POST
FEN 09	977985.064	841508.714		TERMINAL POST
FEN 10	977976.037	841516.621		TERMINAL POST
FEN 11	977874.747	841510.094		TERMINAL POST
FEN 12	977865.411	841499.472		TERMINAL POST
FEN 13	977877.628	841309.862		TERMINAL POST
FEN 14	977888.250	841300.526		TERMINAL POST
FEN 15	977998.022	841307.598		TERMINAL POST
FEN 16	978109.291	841314.767		TERMINAL POST
FEN 17	978117.229	841323.766		TERMINAL POST
FEN 18	978126.257	841315.860		TERMINAL POST

Point List (Tennis Posts) – Playfair Park

Spot Grade	Northing (International foot)	Easting (International foot)	Elevation (International foot)	Feature Code
TENNIS POSTS				
TEN 01	978164.724	841519.752		TENNIS POST
TEN 02	978167.427	841477.840		TENNIS POST
TEN 03	978167.938	841469.856		TENNIS POST
TEN 04	978170.642	841427.946		TENNIS POST
TEN 05	978171.153	841419.959		TENNIS POST
TEN 06	978173.857	841378.049		TENNIS POST
TEN 07	978174.368	841370.063		TENNIS POST
TEN 08	978177.072	841328.150		TENNIS POST
TEN 09	978044.972	841512.037		TENNIS POST
TEN 10	978047.675	841470.127		TENNIS POST
TEN 11	978048.187	841462.140		TENNIS POST
TEN 12	978050.890	841420.227		TENNIS POST
TEN 13	978051.401	841412.244		TENNIS POST
TEN 14	978054.105	841370.334		TENNIS POST
TEN 15	978054.616	841362.347		TENNIS POST
TEN 16	978057.320	841320.437		TENNIS POST
TEN 17	977925.220	841504.321		TENNIS POST
TEN 18	977927.924	841462.411		TENNIS POST
TEN 19	977928.435	841454.425		TENNIS POST
TEN 20	977931.139	841412.512		TENNIS POST
TEN 21	977931.650	841404.528		TENNIS POST
TEN 22	977934.353	841362.615		TENNIS POST
TEN 23	977934.865	841354.632		TENNIS POST
TEN 24	977937.568	841312.719		TENNIS POST

1 COURT AND FENCING LAYOUT
L104 Scale 1" = 20'-0"

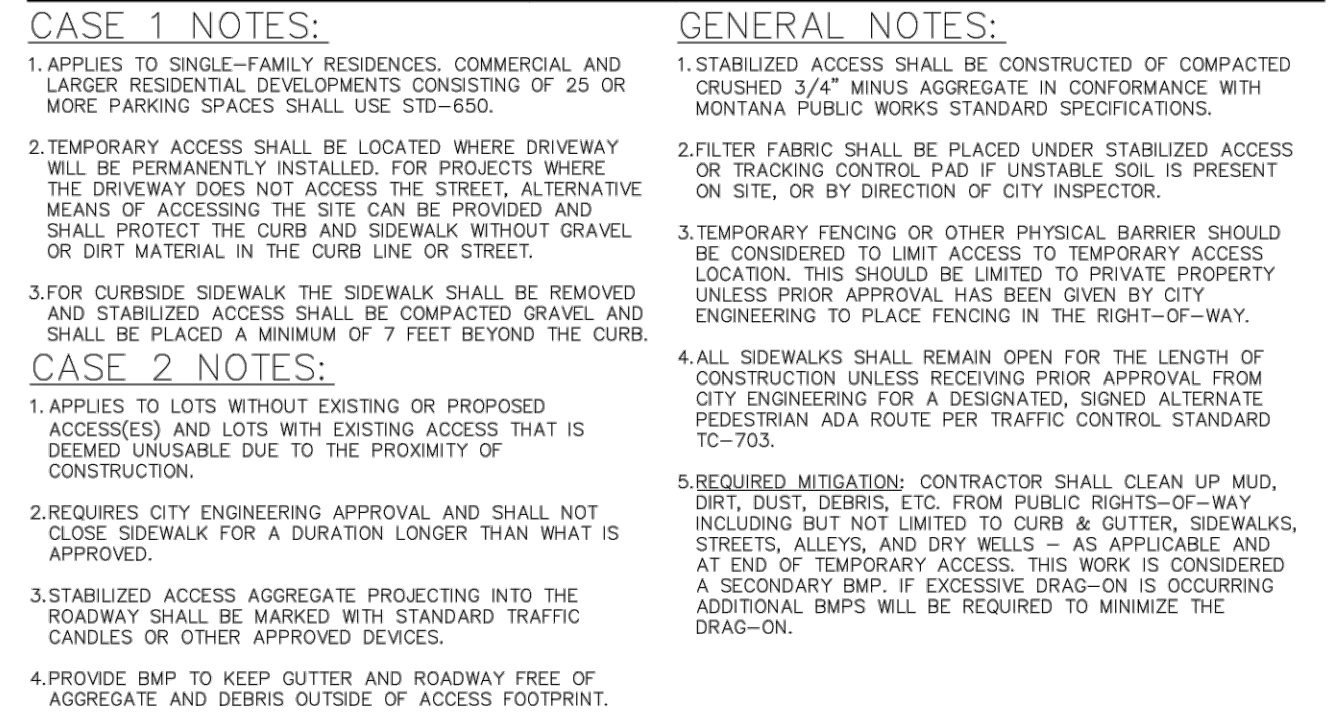


EXISTING
BASKETBALL
COURT

PARKING & SERVICE LANE

PARKING & SERVICE LANE

EXISTING PLAYGROUND



1 TEMPORARY ACCESS
L105 NTS



1. MINIMUM OF FOUR (4") INCHES OF CONCRETE SIDEWALK (TYPICAL), MINIMUM SIX (6") INCHES CONCRETE SIDEWALK THROUGH RESIDENTIAL DRIVEWAY OR MINIMUM EIGHT (8") INCHES CONCRETE SIDEWALK THROUGH COMMERCIAL DRIVEWAY OR ON CURB RAMPS PER STD DVGs.
2. MINIMUM OF FOUR (4") INCHES OF BASE SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
3. MINIMUM OF SIX (6") INCHES OF SUB GRADE SHALL BE COMPACTED TO 95% PROCTOR DENSITY.
4. CITY ENGINEER MAY REQUIRE ADDITIONAL BASE, DEPENDING ON SUB GRADE MATERIAL.
5. TRANSITION JOINTS SHALL BE PLACED AT LEAST 10 FEET FROM CURB OR SIDEWALK. SIDEWALK SHALL EXCEED TEN (10') FEET ON ANY SIDE. LONGITUDINAL JOINTS REQUIRED IF SIDEWALK WIDTH EXCEEDS TEN (10') FEET.
6. CONTRACTION JOINTS SHALL BE ONE-FOURTH (1/4) THE CONCRETE THICKNESS OR A MINIMUM OF ONE (1") INCH DEEP.
7. TRANSITION JOINTS OF ONE-HALF (1/2) INCH THICK MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS:
 - 7.1. EVERY FIFTY (50') FEET OF UNINTERRUPTED SIDEWALK.
 - 7.2. P.C.S AND P.T.S OF CURVES.
 - 7.3. GRADE BREAKS.
 - 7.4. RESIDENTIAL DRIVEWAYS SIX (6") INCH DEEP MASTIC SHALL BE INSTALLED AT THE TOP OF THE TRANSITION ON BOTH SIDES AND SHALL BE FINISHED IN PLACE BEFORE POURING.
 - 7.5. COMMERCIAL DRIVEWAYS EIGHT (8") INCH DEEP MASTIC SHALL BE INSTALLED AT THE TOP OF THE TRANSITION ON BOTH SIDES AND SHALL BE FINISHED IN PLACE BEFORE POURING.
 - 7.6. AT OTHER LOCATIONS AS SPECIFIED BY CITY ENGINEER BEFORE POURING.
 - 7.7. ALL EXPANSION JOINTS SHALL BE PLACED FLUSH OR JUST BELOW TOP FINISHED SURFACE OF SIDEWALK.
 - 7.8. ALL EXPANSION JOINTS SHALL BE FULL DEPTH, FULL WIDTH AND SEALED IN PLACE BEFORE THE FORMS WILL BE APPROVED.
8. FINISHED SURFACE = 12" MINIMUM SHOULDER UNLESS OTHERWISE APPROVED BY CITY ENGINEER.
9. FINISHED SIDEWALK SURFACE SHALL HAVE MEDIUM-TO-HEAVY BROOM TEXTURE.
10. NO SIDEWALK SHALL BE POURED WITHOUT AN INSPECTION AND APPROVAL OF FORM PLACEMENT BY CITY ENGINEERING DIVISION.
11. CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY STANDARD SPECIFICATIONS FOR M-4000 PORTLAND CEMENT CONCRETE AND M-4000 PORTLAND CEMENT CURB AND GUTTER SECTIONS 02526 AND 03310.
12. CITY OF MISSOURIA REQUIRES 564 LBS OF PORTLAND CEMENT PER CY OF CONCRETE.

2	CONCRETE SIDEWALK
1105	NTS



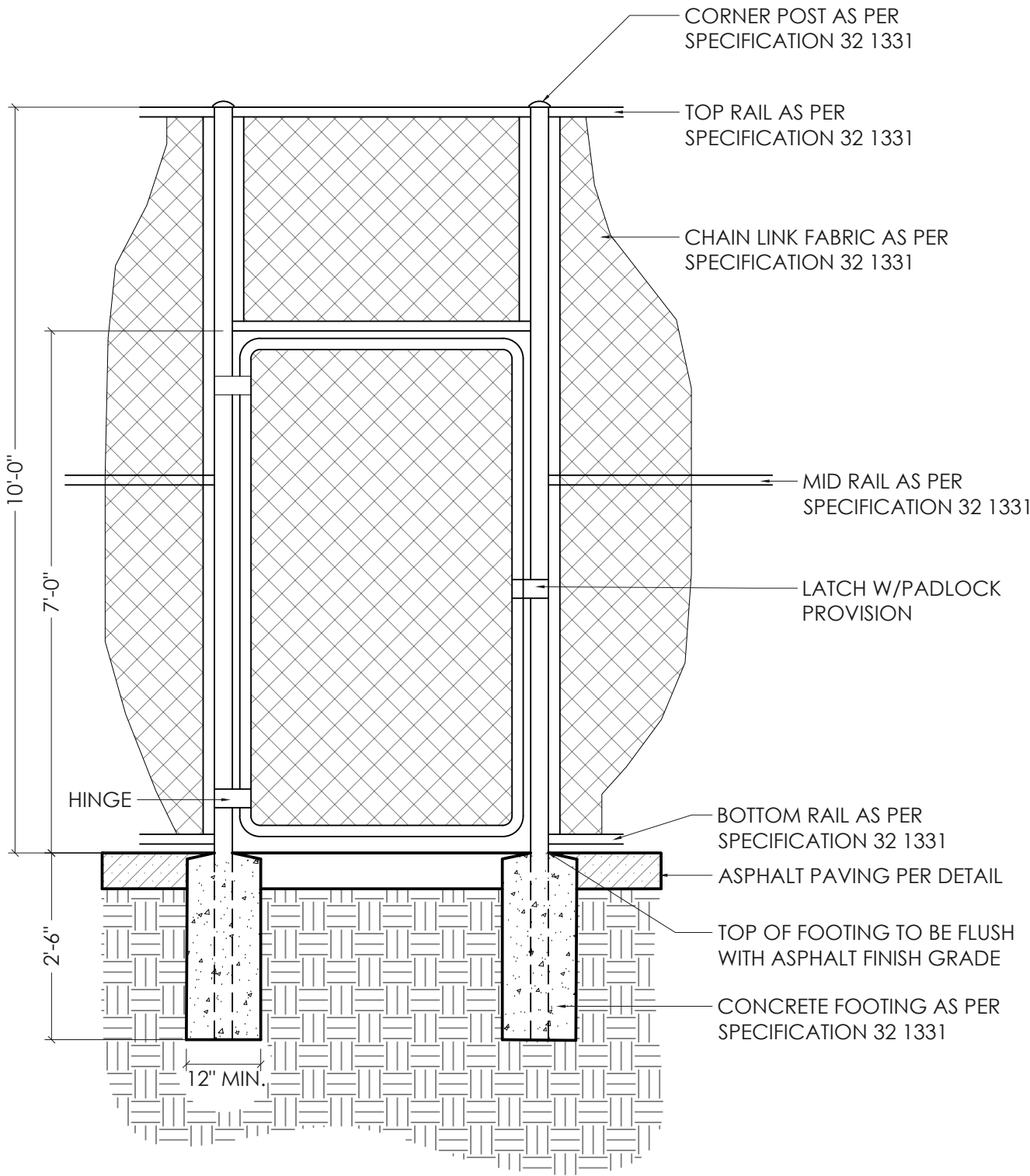
INSTALL TREE PROTECTION ZONE SIGNAGE IN VISIBLY PROMINENT LOCATIONS IN A MANNER APPROVED BY LANDSCAPE ARCHITECT OR OWNER. INSTALL ONE SIGN SPACED APPROXIMATELY EVERY 35 FEET ON TREE PROTECTION FENCING, BUT NO FEWER THAN FOUR SIGNS WITH EACH FACING A DIFFERENT DIRECTION.



- NOTES:
1. PROTECT TREES AS NEEDED OR REQUIRED THAT DOES NOT LIMIT ACCESS TO SITE WORK.



- NOTES:**
1. INSTALL CONSTRUCTION FENCING ALONG LIMIT OF WORK AND AROUND TREES TO BE PROTECTED BEFORE MATERIALS OR EQUIPMENT ARE MOVED ONTO THE SITE AND CONSTRUCTION BEGINS IN A MANNER THAT WILL PREVENT PEOPLE AND ANIMALS FROM EASILY ENTERING AREAS EXCEPT BY ENTRANCE GATES.
 2. WHERE FENCING IS LOCATED ADJACENT TO PEDESTRIAN WALKWAYS OR IN CLOSE PROXIMITY TO STREET INTERSECTIONS, DRIVEWAYS OR OTHER VEHICULAR CIRCULATION; CONSTRUCT FENCING SO AS NOT TO OBSTRUCT SAFE PASSAGE OR VISIBILITY AT VEHICLE INTERSECTIONS.
 3. MAINTAIN FENCING AND TREE PROTECTION ZONES FREE OF WEED AND TRASH.
 4. MAINTAIN FENCING AND SIGNAGE IN GOOD CONDITION AS ACCEPTABLE TO LANDSCAPE ARCHITECT OR OWNER AND REMOVE WHEN CONSTRUCTION OPERATIONS ARE COMPLETE AND ALL EQUIPMENT HAS BEEN REMOVED FROM THE SITE.
 5. FENCING SHALL BE OF A FREE STANDING TYPE WITHIN PAVED AREAS. NO DAMAGE TO EXISTING PAVEMENT WILL BE ALLOWED FOR SECURING FENCE.

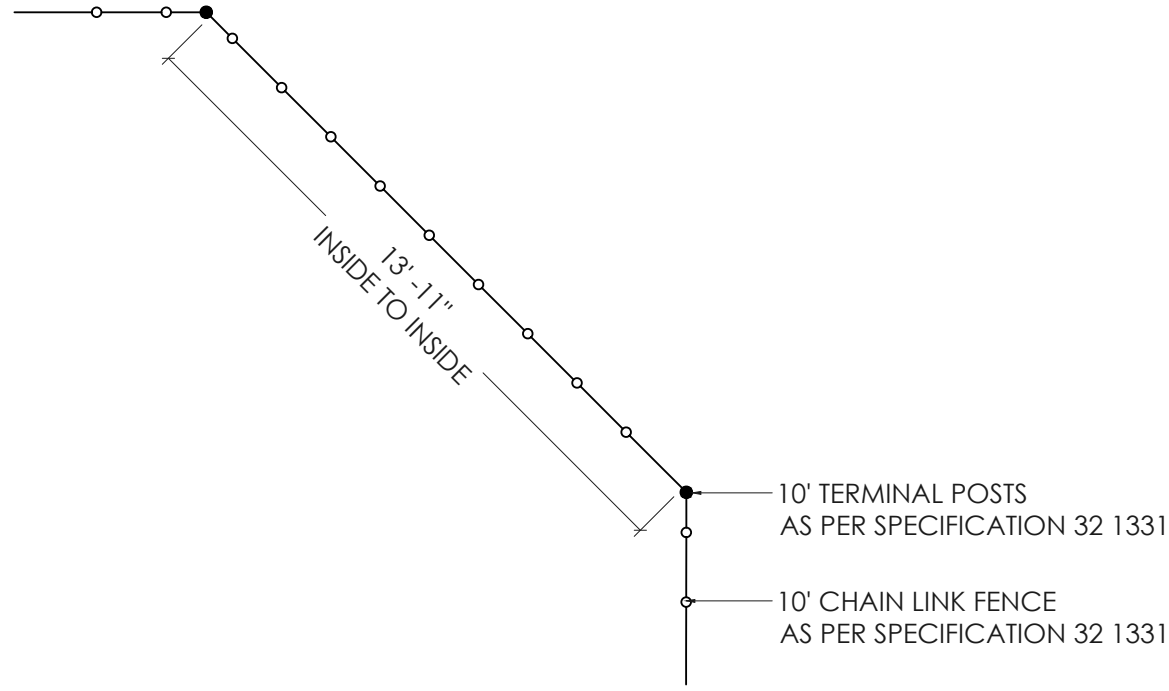


1
L106

TENNIS ENCLOSURE GATE
Scale 1/2" = 1'-0"

NOTES:

1. REFER TO DIMENSIONED COURT AND FENCE PLAN FOR OVERALL DIMENSIONS.

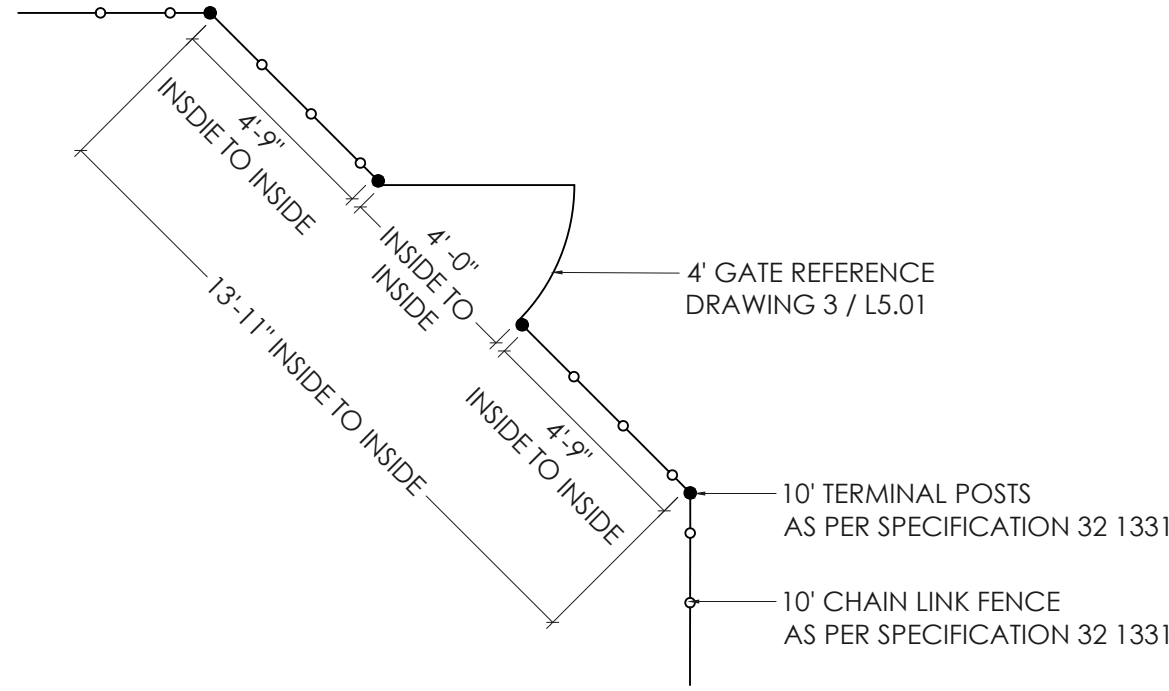


2
L106

CUT CORNER
Scale 1/4" = 1'-0"

NOTES:

1. REFER TO DIMENSIONED COURT AND FENCE PLAN FOR OVERALL DIMENSIONS.

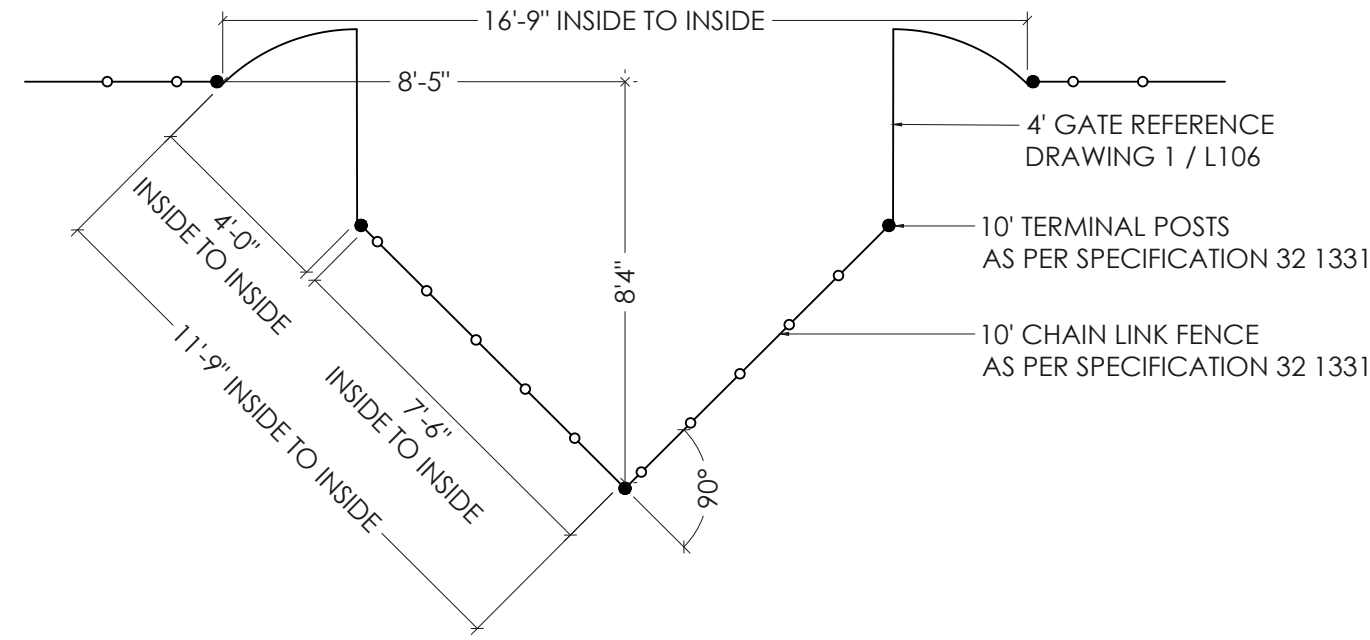


3
L106

CUT CORNER W/ CENTERED GATE
Scale 1/4" = 1'-0"

NOTES:

1. REFER TO DIMENSIONED COURT AND FENCE PLAN FOR OVERALL DIMENSIONS.

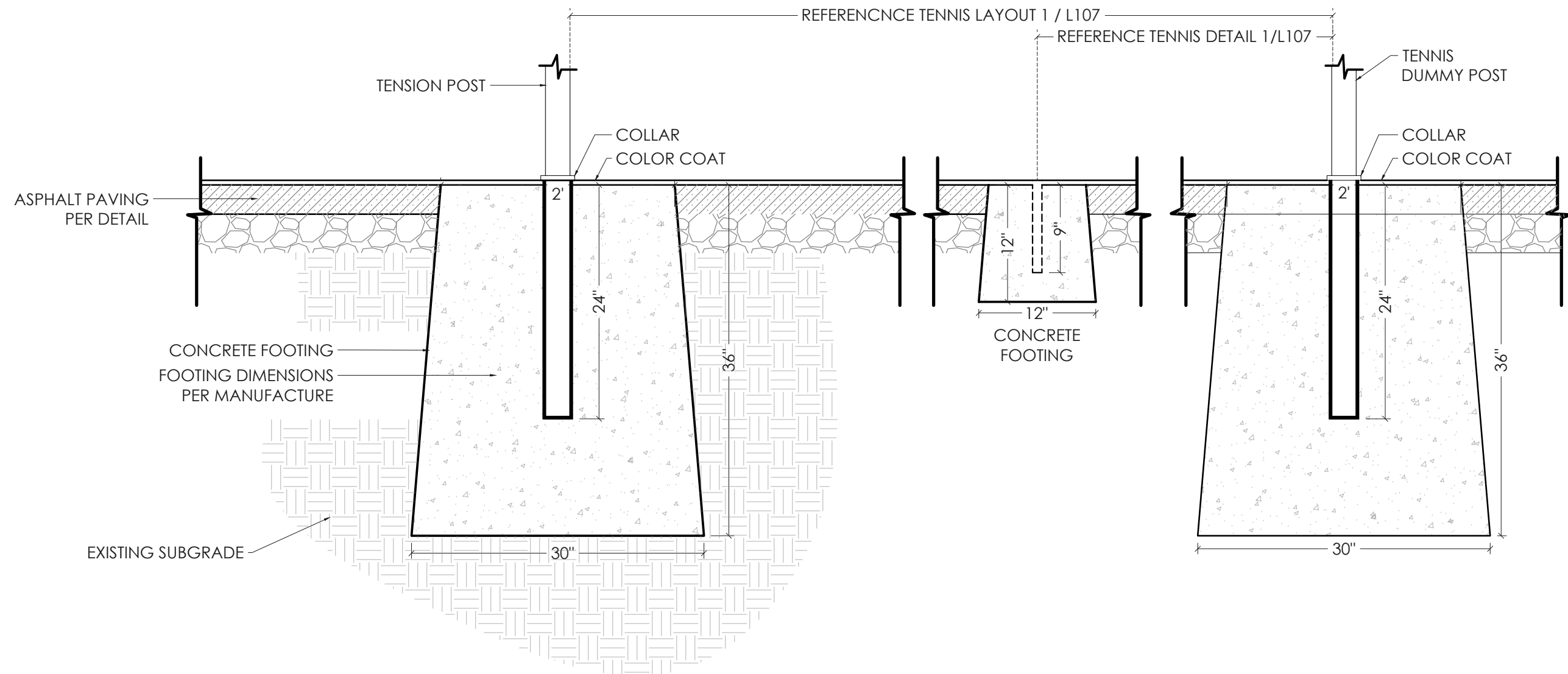


4
L106

CUT CORNER WITH END GATES
Scale 1/4" = 1'-0"

NOTES:

1. REFER TO DIMENSIONED COURT AND FENCE PLAN FOR OVERALL DIMENSIONS.

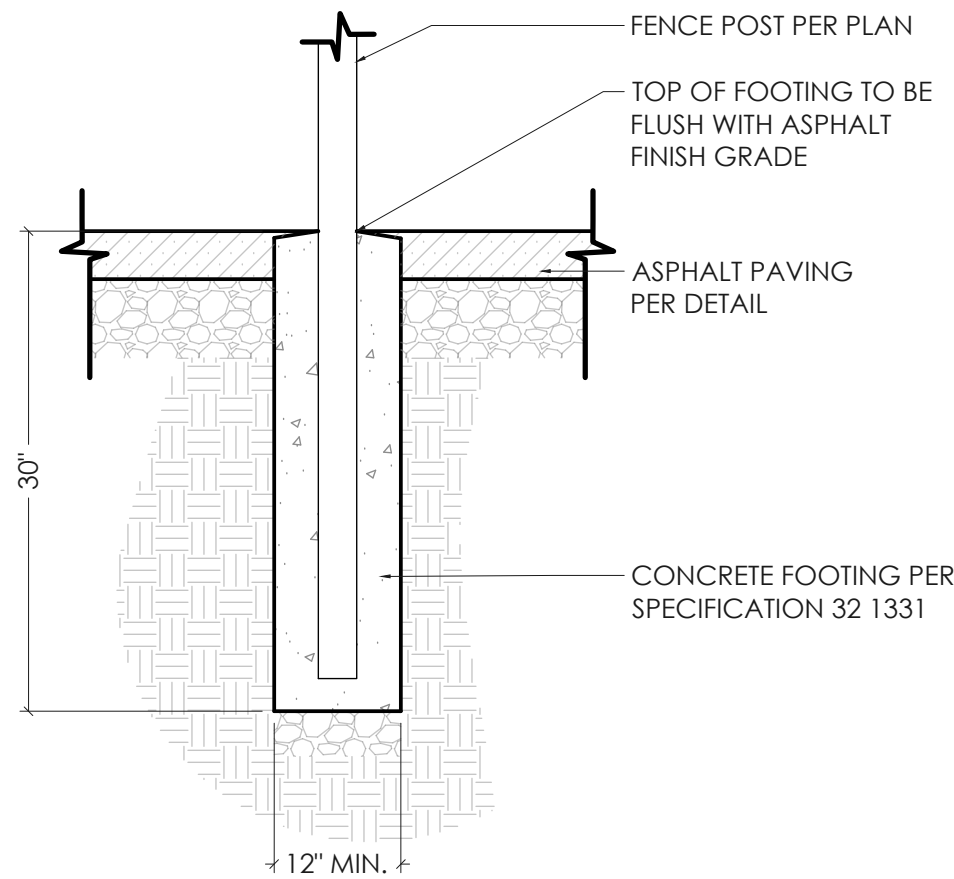


5
L106

TENNIS POSTS
Scale 1" = 1'-0"

NOTES:

1. OWNER PROVIDED, CONTRACTOR INSTALLED
2. CORE FOR FOOTINGS POST PAVING OF COURT
3. TOP OF FOOTINGS TO BE FLUSH WITH FINISH GRADE



6
L106

FENCE IN FLATWORK
Scale 1" = 1'-0"

NOTES:

1. CORE FOR FOOTINGS POST PAVING OF COURT
2. TOP OF FOOTINGS TO BE FLUSH WITH FINISH GRADE

ISSUE RECORD / REVISION:	
PURPOSE	DATE:
65 PERCENT	02/24/22
95 PERCENT	04/19/22
95 PERCENT	04/27/22
100% CON.	07/21/22



DATE: 4/26/22
DRAWN BY: GLS
CHECKED BY: EW

PROJECT NUMBER: PKR-2022-VAR
SHEET NAME:

SITE DETAILS

SHEET NUMBER:
L106

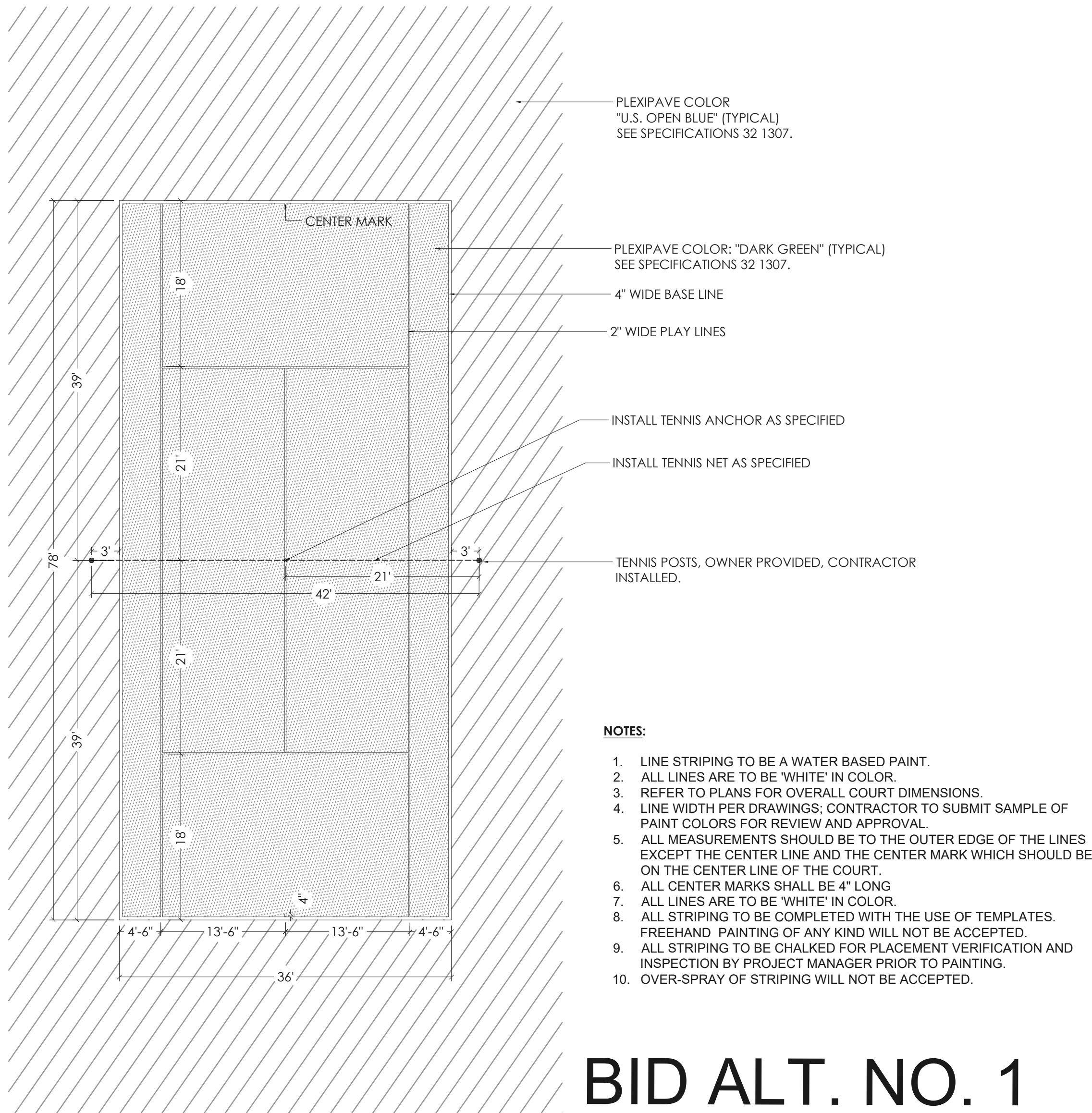
ISSUE RECORD / REVISION:	
PURPOSE	DATE:
65 PERCENT	02/24/22
95 PERCENT	04/19/22
95 PERCENT	04/27/22
100% CON.	07/21/22



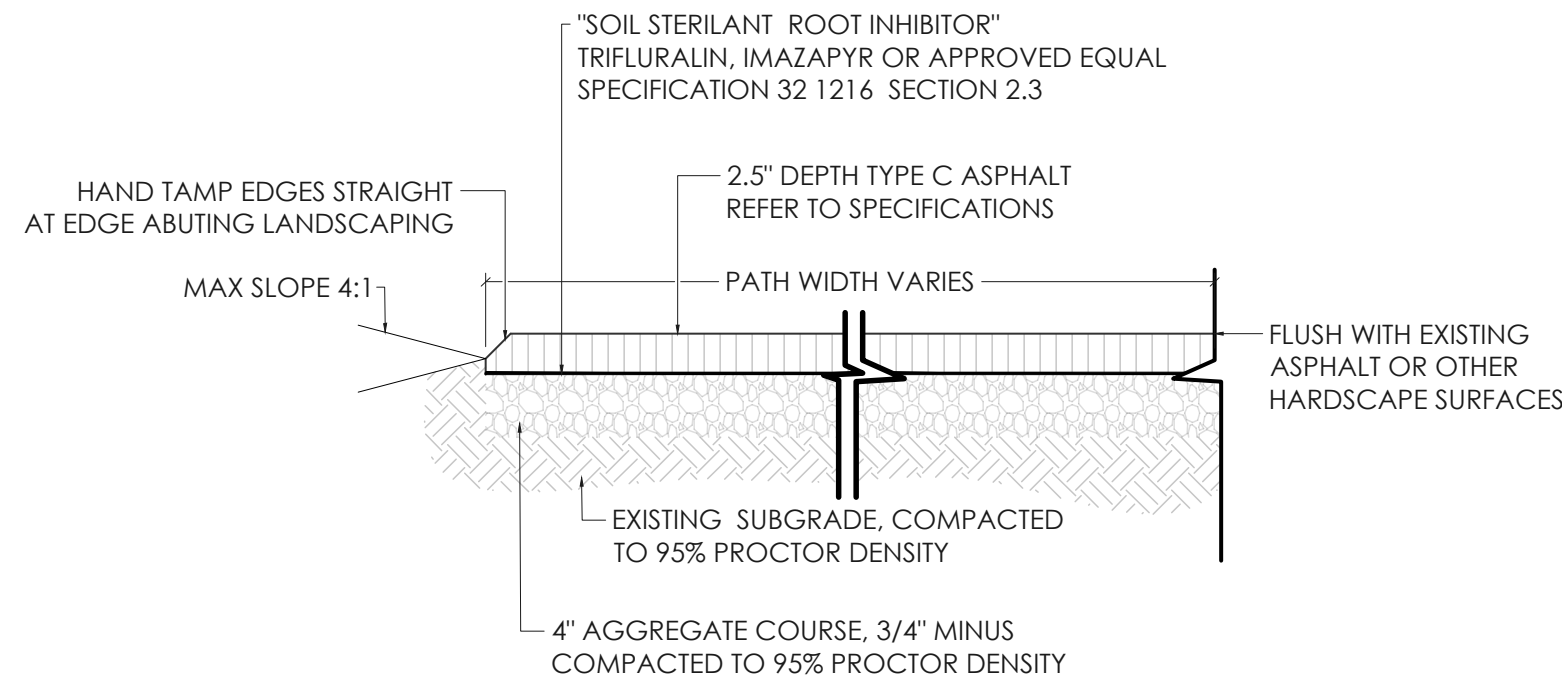
DATE:	4/26/22
DRAWN BY:	GLS
CHECKED BY:	EW
PROJECT NUMBER:	PKR - 2022- VAR
SHEET NAME:	

SITE DETAILS

SHEET NUMBER:
L107

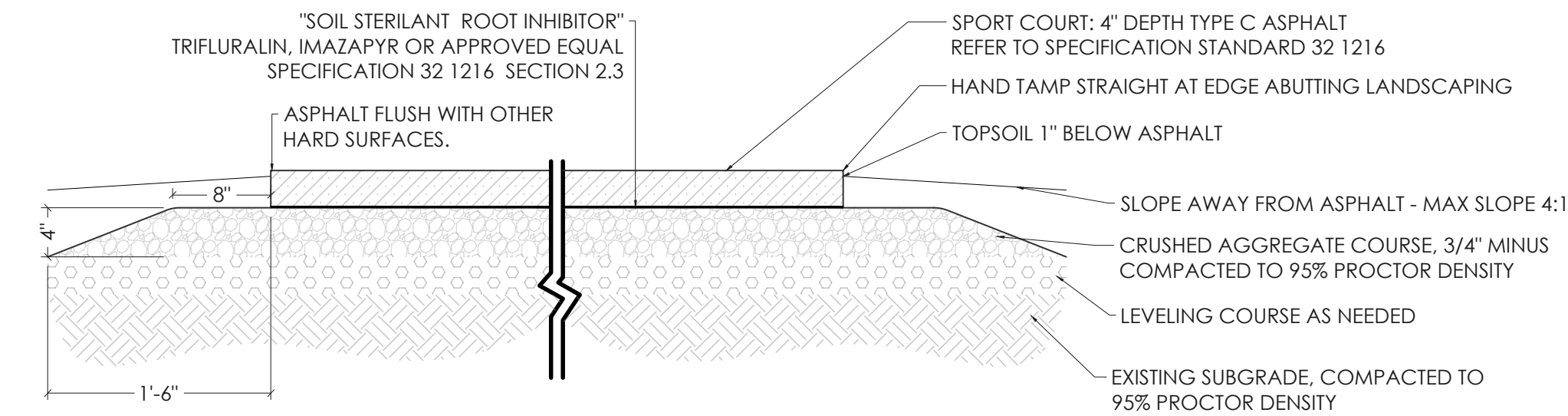


BID ALT. NO. 1



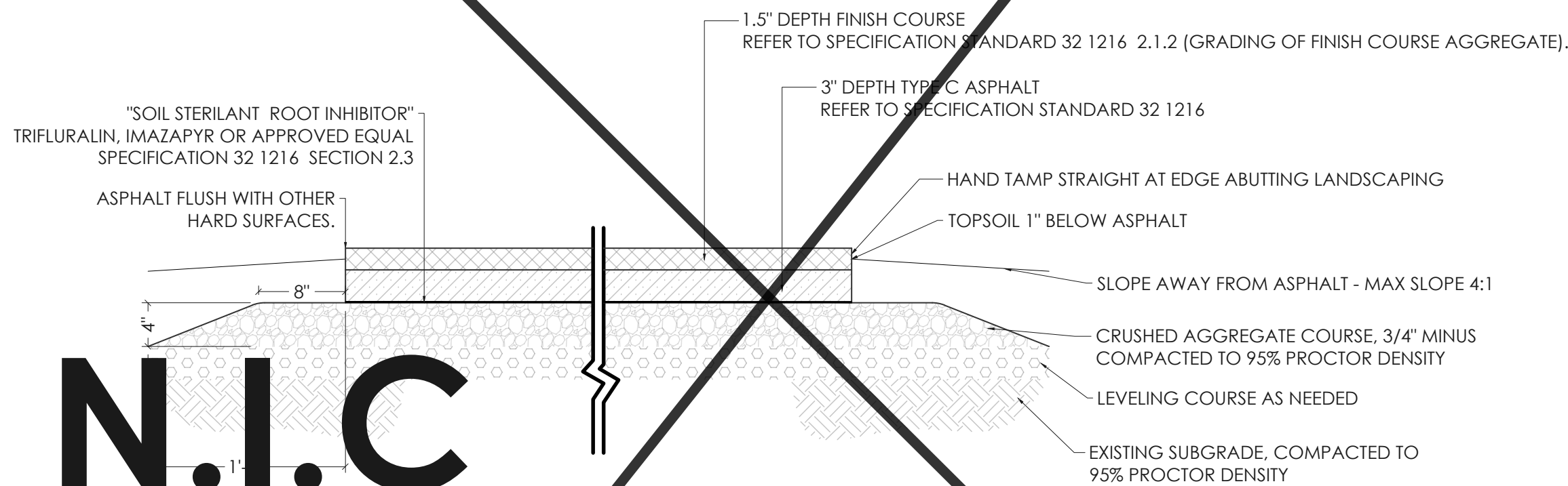
NOTE:

- "SOIL STERILANT ROOT INHIBITOR" SHALL BE APPLIED ON THE PREPARED SUBGRADE A MAXIMUM OF 2 HOURS PRIOR TO PAVING



NOTE:

- "SOIL STERILANT ROOT INHIBITOR" SHALL BE APPLIED ON THE PREPARED SUBGRADE A MAXIMUM OF 2 HOURS PRIOR TO PAVING



NOTE:

- "SOIL STERILANT ROOT INHIBITOR" SHALL BE APPLIED ON THE PREPARED SUBGRADE A MAXIMUM OF 2 HOURS PRIOR TO PAVING

N.I.C

BID ALT. NO. 2

5
L107
TENNIS COURT ASPHALT
Scale 1"= 1'-0"

1
L107
TENNIS COURT COLOR COAT
Scale 1" = 10'-0"

FLUSH WITH EXISTING HARDSCAPE SURFACES

NOTES:

- "SOIL STERILANT ROOT INHIBITOR" SHALL BE APPLIED ON THE PREPARED SUBGRADE A MAXIMUM OF 2 HOURS PRIOR TO FINISH COURSE.
- REMOVE TOPSOIL AND TURF TO SUITABLE SOILS FOR COMPACTED SUBGRADE
- REFER TO PART 5, SECTION 2 OF THE MISSOULA PARKS AND RECREATION DESIGN MANUAL FOR GRAVEL TRAIL NOTES AND AGGREGATE GRADATION.

4
L107
AGGREGATE TRAIL
NTS

N.I.C

TOPSOIL 1" BELOW TRAIL FINISH GRADE

SLOPE AWAY FROM TRAIL, MAX SLOPE 4:1

CRUSHED AGGREGATE COURSE, 3/4" MINUS 4" COMPACTED DEPTH, COMPACTED TO 95% PROCTOR DENSITY.

SOIL STERILANT, TRIFLURALIN OR APPROVED EQUAL

COMPACTED SUBGRADE