



**MISSOULA COMMUNITY PLANNING, DEVELOPMENT & INNOVATION**

Development Services Division

435 RYMAN | MISSOULA, MT 59802-4297 | 406.552.6630 | FAX 406.552.6053

**CITY CONDITIONAL USE APPLICATION**

**A. GENERAL INFORMATION**

- 1. One submittal packet is required for Completeness/Sufficiency Review.
- 2. Once the application is deemed complete by Development Services (DS), 2 submittal packets and the appropriate fee shall be submitted.
- 3. Name of Conditional Use Request: **Tavern & Casino Conditional Use**

4. Name(s) of Applicant: **Billy Fisher**  
 Mailing Address: **2728 Carnoustie Way, Missoula MT 59808**  
 Telephone Number: **406-370-6660**  
 Email Address: [Billyfisher2323@yahoo.com](mailto:Billyfisher2323@yahoo.com)

**Suzette Sargent**  
**1603 Drakestone, Nichols Hills OK 73120**  
**405-843-4166**  
**suzisarg@yahoo.com**

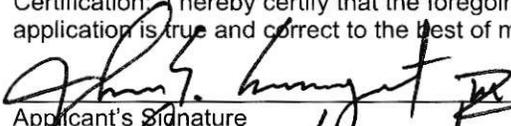
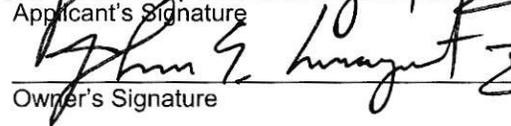
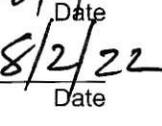
**John Sargent**  
**6955 Linda Vista Blvd, Missoula MT 59803**  
**406-240-0157**  
**sarge.pressbox@gmail.com**

5. Name(s) of all Owners of Record: **MMW, LLC. (Brian Walker, Suzette Sargent, John Sargent)**  
 Mailing Address(es): **PO Box 17754, Missoula, MT 59808**  
 Telephone Number(s): **(406) 327-1244**  
 Email Address(es): **brian@walkerhd.com, suzisarg@yahoo.com, sarge.pressbox@gmail.com**

6. Name and Company of Representative: **Paradigm 3 Architecture/Tori MacPherson**  
 Mailing Address: **125 1/2 W Main St. Missoula, MT 59802**  
 Telephone Number: **406-549-6120**  
 Email Address: **tori@paradigmv3.com**

7. If the applicant is someone other than the property owner, the owner must also sign the application in the space provided below.

Certification: I hereby certify that the foregoing information contained or accompanied in this application is true and correct to the best of my knowledge.

	
Applicant's Signature	Date
	
Owner's Signature	Date
	8/12/2022
Representative's Signature	Date

APPLICANT SIGNATURE 1 OF 3 OWNER SIGNATURE 1 OF 3 REPRESENTATIVE SIGNATURE 1 OF 1
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Suzette Sargent 8/2/22  
 Applicant's Signature Date

Suzette Sargent 8/2/22  
 Owner's Signature Date

Representative's Signature

OWNER SIGNATURE 2 OF 3  
 APPLICANT SIGNATURE 2 OF 3

Date



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8-5-22

Date

Owner's Signature

Date

Representative's Signature

Date



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Applicant's Signature

Date

8/1/22

Owner's Signature

Date

Representative's Signature

Date

**B. SUBJECT PROPERTY INFORMATION**

General location of subject property and address (if address has been assigned): **NW corner of Mullan Rd and Clark Fork Lane. Address: 3770 & 3720 Mullan Rd.**

Legal Description - complete and unabbreviated: **Tract A of Halling Farms, Tract 1 located in the Northeast Quarter of Section 18, Township 13 North, Range 19 West, P.M.M.**

Township, Range, Section(s): **13N, 18W, 18**

Subdivision, Lot(s), Block(s): **Halling Farms**

Tract(s), COS#: **Tract A of Halling Farms**

Bearings & Distances Descriptions (if boundaries of proposed Conditional Use are not exactly the same as the boundaries of the property legally described above):

Geocode: **04-2200-18-2-02-13-0000**

**C. ZONING AND GROWTH POLICY INFORMATION**

1. Complete the following table (where applicable, indicate Unzoned):

	Zoning	Current Land Use
Adjacent (North)	<b>B2-2 Community Business/C1-3 Neighborhood Commercial</b>	<b>Multi-dwelling residential/vacant</b>
Adjacent (South)	<b>M1-2 Limited Industrial</b>	<b>commercial, insulation, embroidery</b>
Adjacent (East)	<b>C1-4 Neighborhood Commercial</b>	<b>Financial services, bank, movie theater</b>
Adjacent (West)	<b>B2-2 Community Business</b>	<b>Multi-dwelling residential</b>

2. What is the current zoning of the property? **C1-3 Neighborhood Commercial**

3. What is the applicable comprehensive plan and land use designation for the property? **Community Mixed Use/Regional Commercial and Services**

4. What is the conditional use requested? **Tavern and Casino**

**D. RESPONSES TO TITLE 20 ZONING ORDINANCE CONDITIONAL USE REVIEW CRITERIA**

1. **Review Criteria.** Describe how the proposal meets the following review criteria. (Not all review criteria will apply in every case. Only the applicable review criteria need to be met.)

**a. Whether the conditional use is in accordance with the Growth Policy and complies with the Title 20 Zoning Ordinance;**

*As part of this site’s annexation into the city, it was already reviewed to make sure it aligned with the area’s growth policy and all other relevant adopted plans.*

*The 2035 Our Missoula City Growth Policy designates this site as Community Mixed Use and Regional Commercial and Services.*

*Per City of Missoula:*

- *Community Mixed Use contains uses which will serve adjacent neighborhoods and the community at large. This designation is along main transportation corridors, with the goal of accommodating vehicular traffic, active transportation methods, and transit. The Growth Policy indicates that the following zoning districts are most closely aligned with the Community Mixed Use Land Use Designation: C1-4, C2-4, M1R-2.*
- *Regional Commercial and Services contains uses with large land requirements; uses which involve outdoor storage of merchandise; uses which are automobile or regional retail-related; uses which provide support service to business or industry; and uses which support highway travel. The Growth Policy indicates that the following zoning districts are most closely aligned with the Regional Commercial and Services Land Use Designation: C1-4, C2-4, M1R-2, and OP3.*

*Under current City of Missoula Title 20, 20.10.020 Allowed Uses: Restaurant and Food & Beverage Retail Sales are permitted uses in this zone, Tavern and Casino are conditional uses.*

**b. Whether the conditional use is in the interest of the public convenience and will not have a significant adverse impact on the general welfare of the neighborhood or community;**

*We believe the proposed conditional use would benefit the public and surrounding neighborhood. The site is located a few blocks West of the Mullan Rd. and N Reserve St. intersection in a very busy commercial area. To the West is a significant number of residential developments (from multi-family to single family residential). Having the services of a restaurant, tavern, and casino available to the community without the need to access the busy main thoroughfare of N Reserve Street would be beneficial. Multiple neighbors to this site have expressed a need and desire for more dining and entertainment options in the area. The area West of Reserve and North of the river has been the focus of very significant residential development over the last ten years and is slatted through recent community master planning to have an even more intensive level of residential development in coming years. This massive increase in citizens living in this area will drive a continuing need for dining and entertainment options.*

*Additionally, the owners of this proposed business wish to offer a level of service and amenity that is currently only available at one or two other restaurants in the area. The plan is to offer an upscale casual dining experience in the bar, and a fine dining experience in the restaurant with a level of ambiance, food, and service, well above other area businesses. Additionally, the owners plan on offering a wide range of fine wines and gourmet take-and-bake foods from their general store.*

*For these reasons, we feel this new business will serve as a significant public convenience.*

*As for adverse impact on the general welfare of the neighborhoods we feel that there are no adverse effects likely because of the creation of this amenity. There are currently similar uses nearby, for example the Magic Diamond Liquor Store and Casino is 200 yards to the East on Mullan Rd, and the newly announced Restaurant, Tavern and Casino at the former Perkins site is less than 300 yards from this site. Given these pre-existing businesses with the same uses we feel that the proposed conditional use would not have a significant impact on the neighborhood, and instead would fit into it well.*

- c. Whether the conditional use is compatible with adjacent properties and uses in terms of physical elements such as open space design, screening and buffering and any applicable use specific standards and any other elements considered important by City Council;**

*The design of this development was created in a manner to exceed the requirements of the Use and Building Specific Standards in Chapter 20.40 of Title 20. These standards apply to this use and deal in detail and at length with issues of screening and buffering as well as many other standards intended to ensure the development is cohesive, attractive, pedestrian friendly and fits into the context of our community and neighborhoods. As a result, we are confident that the design is compatible with adjacent properties and will enhance the neighborhood. See below for reference to the design standards addressed with this design:*

*Per Title 20, 20.40.040 – Casinos, Taverns and Nightclubs; Casinos must be located on parcels with frontage on an arterial street. The requirement for frontage on an arterial street does not, however, apply to casinos in the CBD district.*

- Per City of Missoula Functional Classification of Streets to be Used for Designing Traffic Control Plans, Mullan Rd is a 2 Lane Arterial street.*

*Per Title 20, 20.40.170 – Commercial Uses Not Exceeding 30,000 square feet;*

- The building has been oriented to face public and private streets. Being a corner lot, this building has been placed to “hold the corner”.*
- The main customer entrance is located on the North elevation facing the customer parking lot and connected to the site’s sidewalk system.*
- Ground or wall mounted mechanical equipment, utility cabinets, junction boxes, valve boxes, utility meters, and the like will not be placed on, or in front of, primary facades. (The South, East, and North elevations are considered primary facades).*
- As shown on the site plan, a dumpster enclosure will be provided as part of the development to screen trash receptacles from view.*
- Surface parking is located behind the building as required.*
- General Commercial Design Standards that will be met by the proposed project:*
  - 1) Provide color variation in the building façade, including building trim or accent areas,*
  - 2) Provide building façade modulation,*
  - 3) Provide exterior materials that are clearly visibly texturally diverse.*
  - 4) Incorporate windows, doors, and other transparencies to encompass at least 25% of the first story of the building façade between finished grade and 12ft above grade.*
  - 5) Provide varied roof lines and multiple roof planes, with three or more roof slope planes,*

*\*Please note the exterior materials and colors have not been finalized, however the final selections will comply with the required standards above.*

- d. Whether the conditional use has operating characteristics that are compatible with the surrounding area in terms of hours of operation, outdoor lighting, noise, and traffic generation;**

*The use of this site conforms to that of the surrounding area. The outdoor lighting conforms to the surrounding properties, and the hours of operation, noise, and traffic generation are similar to the existing casino and lounge two properties to the east.*

Hours of Operation:

*The proposed hours of operation for the Casino and Liquor Store functions will be 10am-12am, and the Restaurant/Tavern hours of operation will be 11am-12am. In terms of surrounding area, to the East: the Bank is open 9am-4pm, Movie Theater hours vary ranging from 10am-12am. To the North: residential = N/A. To the West: residential = N/A, To the South: Walmart Supercenter is open 6am-11pm, various commercial businesses 8am-5pm. Approximately 0.2 miles to the East is the intersection of Mullan Rd and N Reserve St. which contains two Casino/Liquor Stores; Magic Diamond's hours of operation are 8am-12:30am, Lucky Lil's Casino is open 24 hours.*

Outdoor Lighting:

*Site lighting will be provided for safety that complies with City and governmental codes.*

Noise:

*While no excessive noise is anticipated outside the acceptable level for a Restaurant/Tavern/ & Casino, any noise produced by the proposed business will be contained within the building. Any exterior noise will be consistent with surrounding areas ie. traffic, pedestrians, mechanical equipment, etc.*

Traffic Generation:

*As part of this development, Clark Fork Lane is being connected through, increasing traffic connectivity in the area, and adding another non-motorized route from north to south in the area. Any increased traffic generation will be during business hours and the site improvements noted above will allow this site to operate in conjunction with the surrounding area.*

- e. Whether the conditional use will not have a significant adverse impact on traffic safety or comfort, including all modes of transport (non-motorized and motorized) and will functional and safe in terms of pedestrian, bicycle and vehicular access, parking, loading and servicing;**

*As part of this development, Clark Fork Lane is being connected through, increasing traffic connectivity in the area, and adding another non-motorized route from north to south in the area. The site's surrounding frontage and on-site parking area will be functional and safe in terms of pedestrian, bicycle, and all other uses.*

- f. Whether the proposed use will not impede the orderly development and improvement of the surrounding properties for uses permitted in the district; and**

*The addition of a Tavern and Casino on this property will not impede with the development and improvement of surrounding properties. These uses will be contained within one building that also houses a restaurant and liquor store. The proposed building is the second of three structures being developed on this property, and has had no adverse effects on the design/development of the other two structures.*

**g. Whether the proposed use and development properly addresses open space, light and protection of natural features.**

*This building and parking area design for this site was developed in order to maximize the open space, and preserve the natural light in the area. The site was previously developed and contained no undisturbed natural features or native habitat. The site will be fully developed but landscape areas will be created in a manner to create natural features and introduce flora and fauna to the site. Erosion protection protocols, dust control measures, site clean-off mats and other standards of care have been and will continue to be implemented during construction to protect surrounding sites and natural areas.*

**2. Factors to be Considered.**

*Section 20.85.070(I) In determining whether all applicable review criteria have been satisfied, the City Council may specifically consider agency and public testimony*

**E. ATTACHMENTS**

As separate attachments (8.5" x 11" or 11" x 17"), provide the following materials with the site clearly identified. Where appropriate, required information may be combined as long as the information is clearly presented. Please check the box if the material is included in the packet. If the material is not included in the submittal packet, please note "N/A".

- A cover letter** describing the purpose of the proposed project, existing site conditions, and a brief description of the proposal.
- A vicinity map** showing the subject property and the area within 300 feet of the subject property.
- A Zoning map** of the subject property and vicinity (showing the existing zoning district), extending at least 300 feet from the property boundaries.
- An aerial photo** of the subject property and vicinity extending at least 300 feet from the property boundaries.
- A Growth Policy/Comprehensive Plan map** of the subject property and vicinity extending at least 300 feet from the property boundaries for the applicable comprehensive plan, clearly showing the land use designation of the subject property and surrounding properties.
- The current plat** of the subject property.
- A site plan**, including existing and proposed landscaping, parking, streets/access, sidewalks, bike lanes, and any other improvements to the property.
- Building elevation drawings** of all proposed structures and/or photos of existing structures.
- Floor plans** of all existing and proposed buildings.

To Whom It May Concern,

On behalf of the property owners of 3770 & 3720 Mullan Rd. Missoula, MT 59808, we are requesting a Conditional Use Permit for Tavern and Casino uses at the above noted address.

This new food and beverage business is to offer a higher level of dining, shopping and entertainment experience than is currently available in the neighborhood. "Cru" will offer a wide range of bistro style menu options including fine steaks, seafood, and pizzas. The pub area will be a large airy atrium space with large amounts of glass and two bars on two levels. There will be an upstairs banquet room overlooking the river and offering views to the Southeast. There will also be a fine dining area that will be quieter and more subdued with a distinctly different menu than the atrium bar. There will also be a casino and a market which will feature fine wines, spirits, and take-and-bake foods. The entire goal is to create a place for area residents to have a variety of food and beverage experiences that leave them energized and glad to live in this part of Missoula. Attached you will find the proposed floor plans and building elevations.

The property currently has three buildings under design and development; the 1<sup>st</sup> being an office building (permit submitted by others), the second the restaurant under this submittal, and the third TBD by developer.

Under current City of Missoula Title 20, 20.10.020 Allowed Uses: Restaurant and Food & Beverage Retail Sales are permitted uses in this zone, Tavern and Casino are conditional uses. As noted in our application, there are multiple examples of businesses with the same uses within ¼ mile of this site.

Our client believes this development will be beneficial to the neighborhood and surrounding area. It is clear given the incredible growth in residential units in this area that there is a desire and need for more dining and entertainment venues to serve the many current, as well as thousands of soon-to-be, neighbors.

We look forward to working through the CUP process with you.

Sincerely,  
Tori MacPherson  
[tori@paradigmv3.com](mailto:tori@paradigmv3.com)

RE: Conditional Use Scoping Meeting

Date: 9/16/21

Attendants: DS Staff Lauren Stevens, Cassie Tripard, and Tori MacPherson

***In response to items brought up during the Conditional Use Scoping Meeting concerning this property:***

**Building square footage:**

It is the developer's intent that the total square footage for all three buildings on site DOES NOT exceed 30,000 square feet, therefore the Enterprise Commercial conditional use is not being requested.

**Parking:**

**Vehicular:**

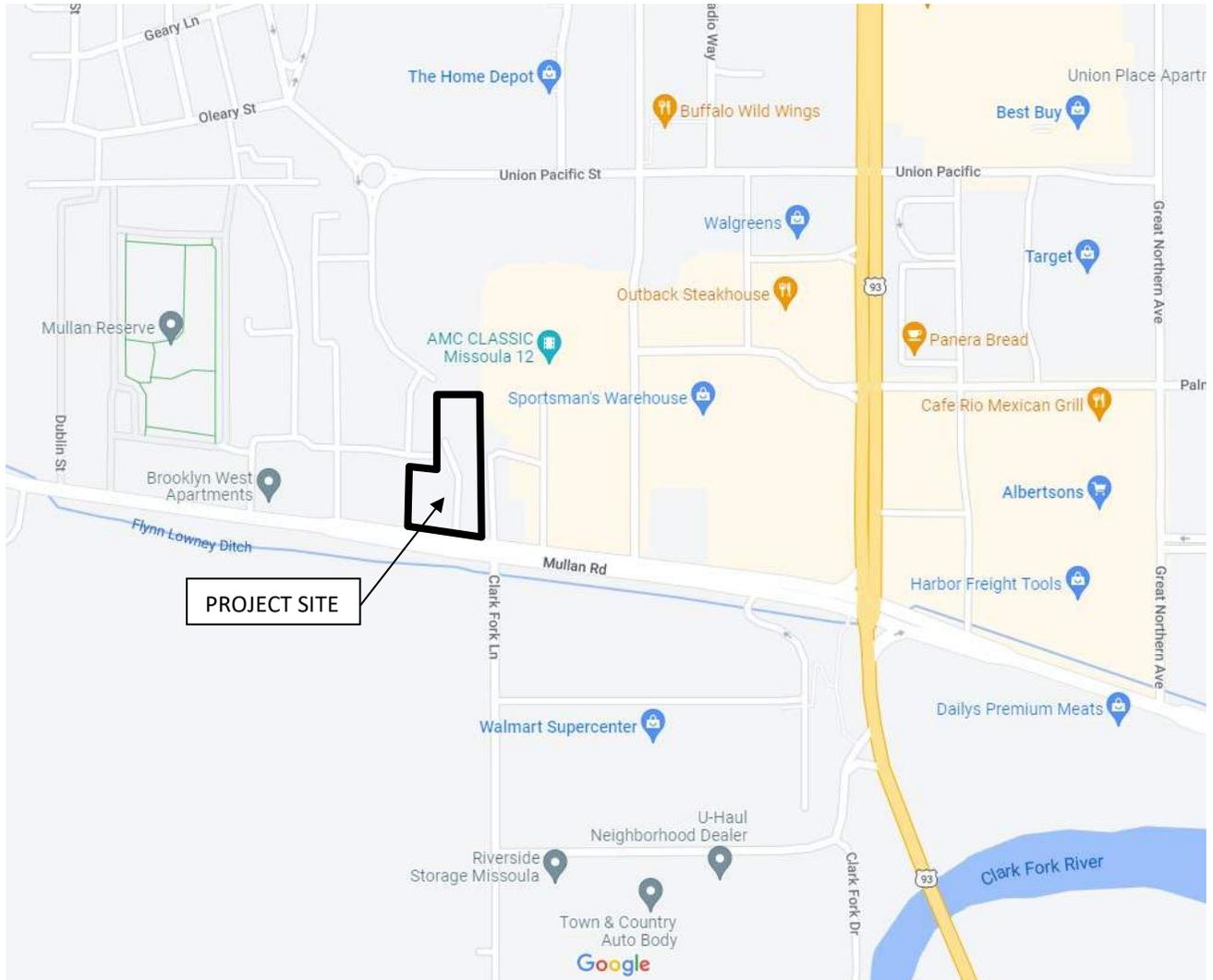
This development provides 101 parking spaces. 18 spaces are required for the proposed commercial building, as submitted by others. 78 spaces are required for the proposed restaurant building under this application. The developer is aware this leaves 5 spaces to support the third, TBD building. The developer will provide either a shared parking agreement or a building that only requires 5 spaces, at the time that building is submitted to the AJH. The design and development of the third building is by others, and not included in this submittal.

**Bike Parking:**

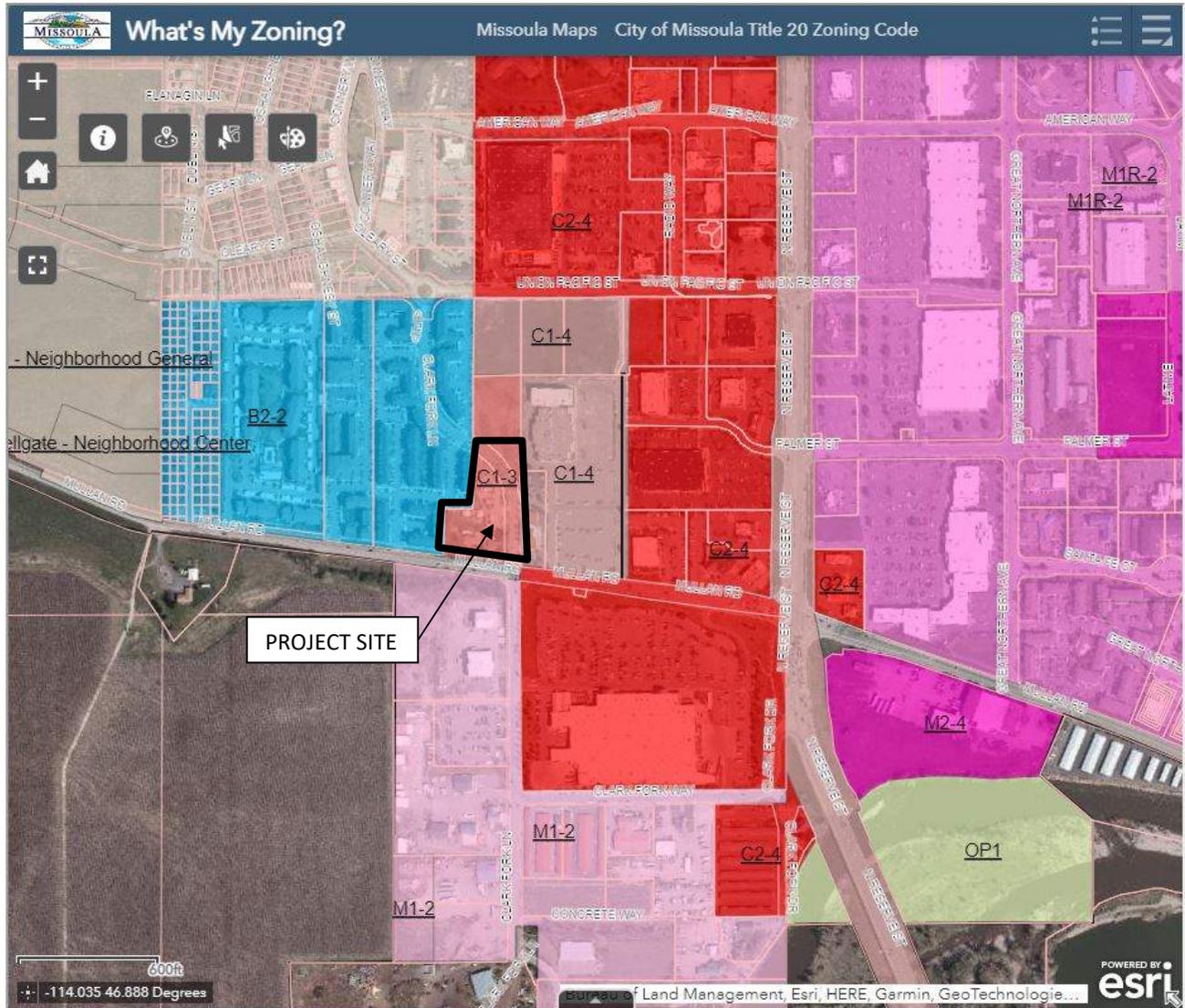
Short term and long term bike parking for the proposed restaurant building is included on the site plan. Required bike parking for the other two buildings on site is by others and not included in this submittal.

Please see attached parking calculations included on the floor plans.

**VICINITY MAP:**



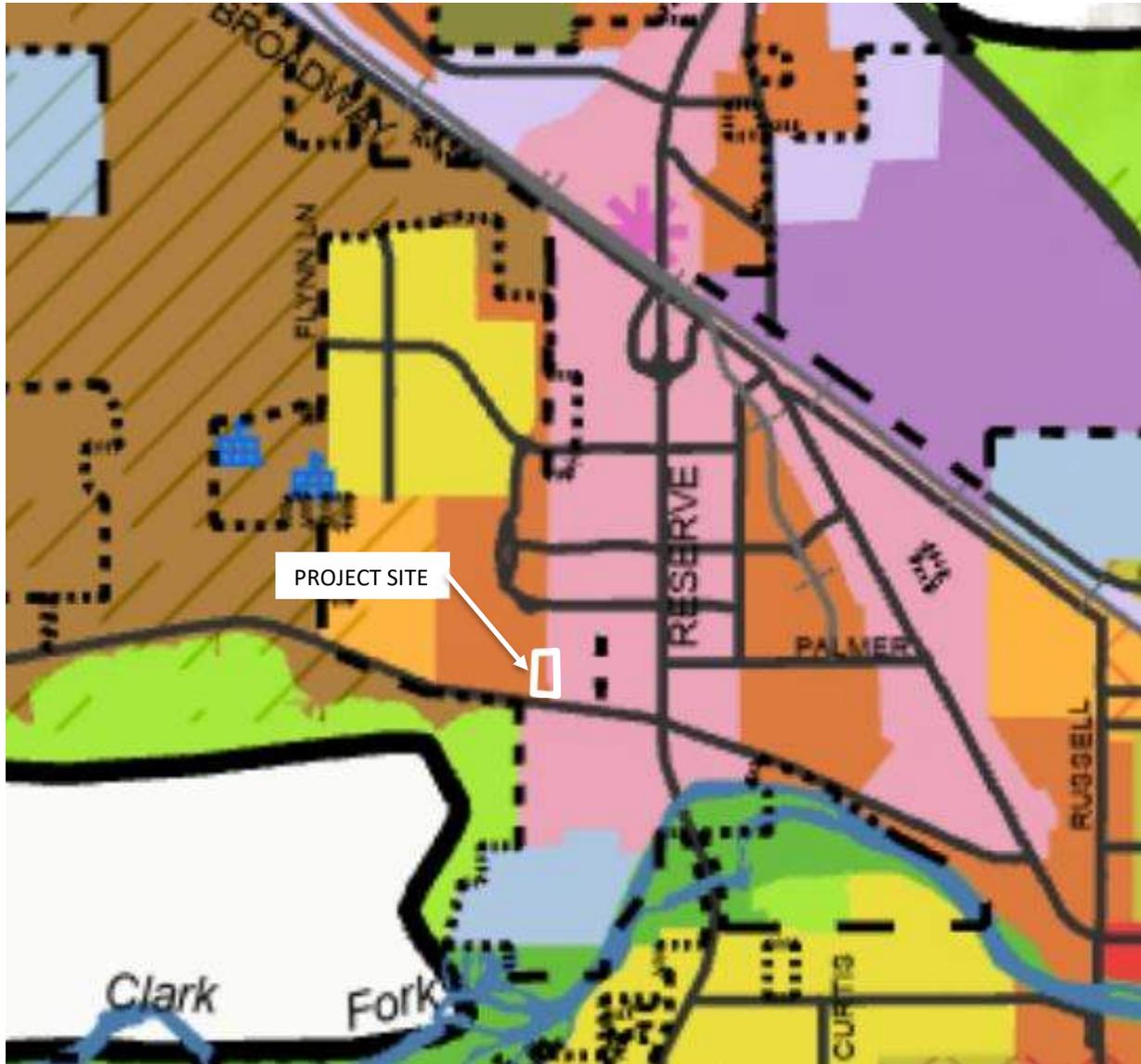
## ZONING MAP:



**AERIAL PHOTO:**



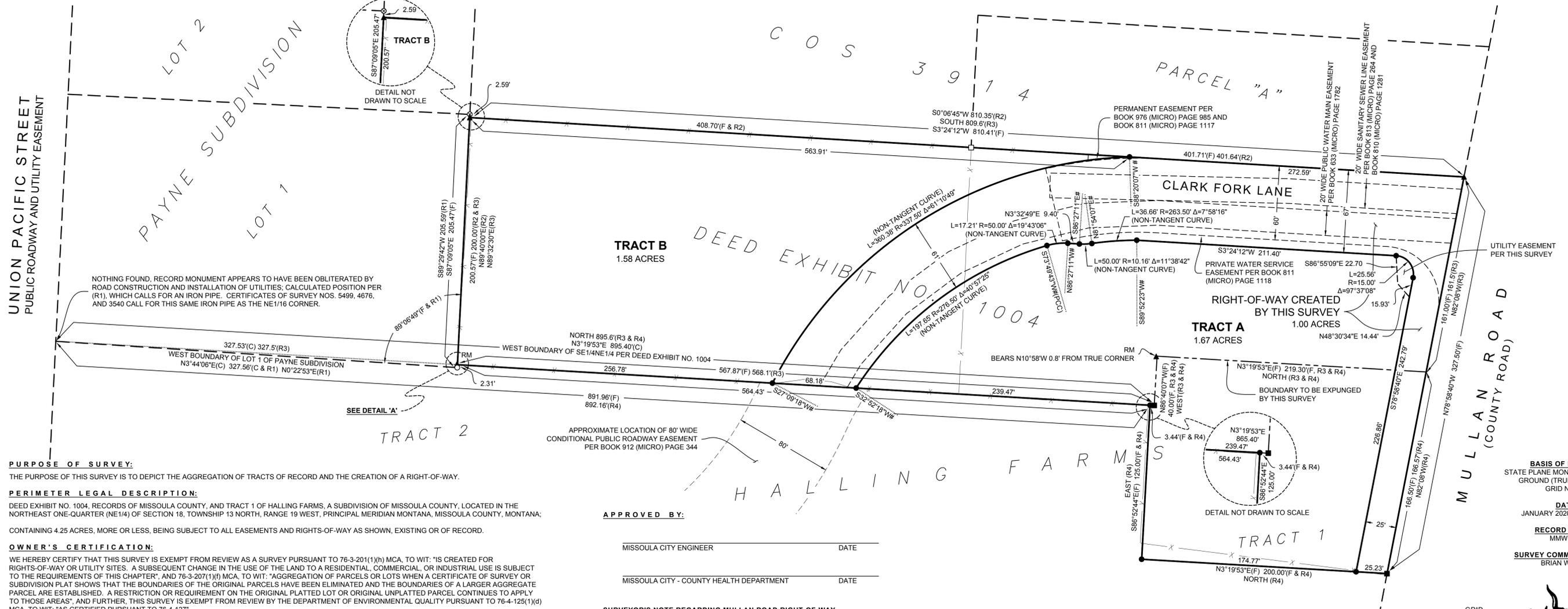
**GROWTH POLICY/COMPREHENSIVE PLAN:**



Land Use	
	Community Mixed Use
	Neighborhood Mixed Use
	Urban Center
	Regional Commercial and Services
	Open and Resource
	Parks and Open Lands
	Public and Quasi-Public
	Residential High Density - Greater than 24 units per acre
	Residential Medium High Density - 12 to 23 units per acre
	Residential Medium Density - 3 to 11 units per acre
	Residential Low Density - 1 to 2 units per acre
	Residential Rural - Less than 1 unit per 2 acres
	Sxwtpqyen (S-wh-tip-KAYN) Neighborhoods
	Industrial Light
	Industrial Heavy

# HALLING FARMS, TRACT 1

LOCATED IN THE NE1/4 OF SECTION 18, T.13N., R.19W., P.M.M., CITY OF MISSOULA, MISSOULA COUNTY, MONTANA



**PURPOSE OF SURVEY:**  
THE PURPOSE OF THIS SURVEY IS TO DEPICT THE AGGREGATION OF TRACTS OF RECORD AND THE CREATION OF A RIGHT-OF-WAY.

**PERIMETER LEGAL DESCRIPTION:**  
DEED EXHIBIT NO. 1004, RECORDS OF MISSOULA COUNTY, AND TRACT 1 OF HALLING FARMS, A SUBDIVISION OF MISSOULA COUNTY, LOCATED IN THE NORTHEAST ONE-QUARTER (NE1/4) OF SECTION 18, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN MONTANA, MISSOULA COUNTY, MONTANA, CONTAINING 4.25 ACRES, MORE OR LESS, BEING SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY AS SHOWN, EXISTING OR OF RECORD.

**OWNER'S CERTIFICATION:**  
WE HEREBY CERTIFY THAT THIS SURVEY IS EXEMPT FROM REVIEW AS A SURVEY PURSUANT TO 76-3-201(1)(h) MCA, TO WIT: "IS CREATED FOR RIGHTS-OF-WAY OR UTILITY SITES. A SUBSEQUENT CHANGE IN THE USE OF THE LAND TO A RESIDENTIAL, COMMERCIAL, OR INDUSTRIAL USE IS SUBJECT TO THE REQUIREMENTS OF THIS CHAPTER", AND 76-3-207(1)(f) MCA, TO WIT: "AGGREGATION OF PARCELS OR LOTS WHEN A CERTIFICATE OF SURVEY OR SUBDIVISION PLAT SHOWS THAT THE BOUNDARIES OF THE ORIGINAL PARCELS HAVE BEEN ELIMINATED AND THE BOUNDARIES OF A LARGER AGGREGATE PARCEL ARE ESTABLISHED. A RESTRICTION OR REQUIREMENT ON THE ORIGINAL PLATTED LOT OR ORIGINAL UNPLATTED PARCEL CONTINUES TO APPLY TO THOSE AREAS", AND FURTHER, THIS SURVEY IS EXEMPT FROM REVIEW BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY PURSUANT TO 76-4-125(1)(c) MCA, TO WIT: "AS CERTIFIED PURSUANT TO 76-4-127".

MMW, LLC  
BY: \_\_\_\_\_  
AS: \_\_\_\_\_ FOR MMW, LLC.  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_  
AS \_\_\_\_\_ FOR MMW, LLC.  
SS \_\_\_\_\_  
NOTARY PUBLIC

**CITY OF MISSOULA ACCEPTANCE OF RIGHT-OF-WAY:**  
THE CITY OF MISSOULA DOES HEREBY APPROVE AND ACCEPT THAT RIGHT-OF-WAY SURVEYED AND SHOWN HEREON, TO BE USED AS A PUBLIC RIGHT-OF-WAY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
SS \_\_\_\_\_  
MAYOR, CITY OF MISSOULA  
ATTEST: \_\_\_\_\_  
CLERK, CITY OF MISSOULA

**APPROVED BY:**  
MISSOULA CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
MISSOULA CITY - COUNTY HEALTH DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

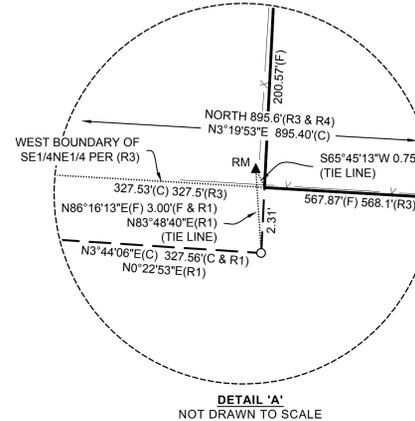
**SURVEYOR'S NOTE REGARDING MULLAN ROAD RIGHT-OF-WAY**  
MULLAN ROAD IS KNOWN TO BE A SIXTY-SIX FOOT WIDE PUBLIC RIGHT-OF-WAY PER "AN ACT REGULATING THE WIDTH OF ROADS" AND "AN ACT TO DELCLARE THE MILITARY OR MULLAN ROAD A PUBLIC HIGHWAY" ESTABLISHED BY THE FIFTH LEGISLATIVE ASSEMBLY OF THE TERRITORY OF MONTANA IN 1869 AND THE FIRST LEGISLATIVE ASSEMBLY OF THE TERRITORY OF MONTANA IN 1865. THIS FACT IS COMPLICATED BY THE PRECEDENT SET IN MORE RECENT HISTORY BY SURVEYORS, ATTORNEYS AND TITLE PROFESSIONALS WHO HAVE PURPORTED THE RIGHT-OF-WAY TO BE SIXTY FEET IN WIDTH.

GIVEN THAT THE NORTH LINE OF THE SIXTY-SIX FOOT WIDE RIGHT-OF-WAY WOULD LAY INSIDE OF THE PUBLIC RIGHT-OF-WAY INTENDED TO BE CREATED AND GRANTED TO THE CITY OF MISSOULA BY THIS SURVEY, THE DISCREPANCY BETWEEN THE LOCATION OF THE ACTUAL SIXTY-SIX FOOT RIGHT-OF-WAY AND THE LOCATION OF THE PURPORTED SIXTY FOOT WIDE RIGHT-OF-WAY IS NOT GRAPHICALLY DEPICTED OR ADDRESSED HEREON.

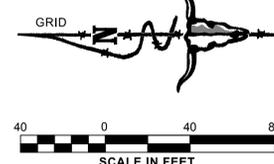
**GRANT OF RIGHT-OF-WAY AND UTILITY EASEMENT:**  
WE DO HEREBY DEDICATE THAT RIGHT-OF-WAY SURVEYED AND SHOWN HEREON TO THE CITY OF MISSOULA AS A PUBLIC RIGHT-OF-WAY, AND

FURTHER, WE DO HEREBY GRANT UNTO EACH AND EVERY PERSON, FIRM, OR CORPORATION, WHETHER PUBLIC OR PRIVATE, PROVIDING OR OFFERING TO PROVIDE TELEPHONE, TELEGRAPH, ELECTRIC POWER, GAS, CABLE TELEVISION, WATER, OR SEWER SERVICE TO THE PUBLIC, THE RIGHT TO THE JOINT USE OF AN EASEMENT FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, AND REMOVAL OF THEIR LINES AND OTHER FACILITIES, IN, OVER, UNDER, AND ACROSS EACH AREA DESIGNATED ON THIS PLAT AS "UTILITY EASEMENT" TO HAVE AND TO HOLD FOREVER.

MMW, LLC  
BY: \_\_\_\_\_  
AS: \_\_\_\_\_ FOR MMC, LLC.  
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON \_\_\_\_\_, 20\_\_\_\_,  
BY \_\_\_\_\_ AS \_\_\_\_\_ FOR MMW, LLC.  
SS \_\_\_\_\_  
NOTARY PUBLIC



- LEGEND**
- = SET 5/8"x24" REBAR WITH 1-1/4" YELLOW PLASTIC CAP (JACOBSON, 13748LS)
  - ⊗ = FOUND 1-1/4" YELLOW PLASTIC CAP (WGM GROUP KFA 13734LS)
  - = FOUND 1-1/4" YELLOW PLASTIC CAP (HOWARD 8376S)
  - = FOUND BOAT SPIKE
  - ▲ = FOUND 1-1/2" SQUARE HEAD BOLT
  - = FOUND 5/8" REBAR (NO CAP)
  - (F) = FOUND THIS SURVEY
  - (R1) = RECORD OR ADDITIVE PER PAYNE SUBDIVISION
  - (R2) = RECORD OR ADDITIVE PER CERTIFICATE OF SURVEY NO. 3914
  - (R3) = RECORD OR ADDITIVE PER DEED EXHIBIT NO. 1004
  - (R4) = RECORD OR ADDITIVE PER HALLING FARMS
  - RM = REFERENCE MONUMENT
  - # = RADIAL BEARING
  - (PCC) = POINT OF COMPOUND CURVATURE
  - x — = FENCELINE (EXISTING AT TIME OF FIELD SURVEY)



1817 SOUTH AVE. W. STE. A PH: 406.721.0142  
MISSOULA, MT FAX: 406.721.5224  
59801 www.imegcorp.com  
IMEG PROJECT NO. 20001714

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY SUPERVISION, AND SUBSTANTIALLY COMPLETED ON THE DATE SHOWN HEREON.

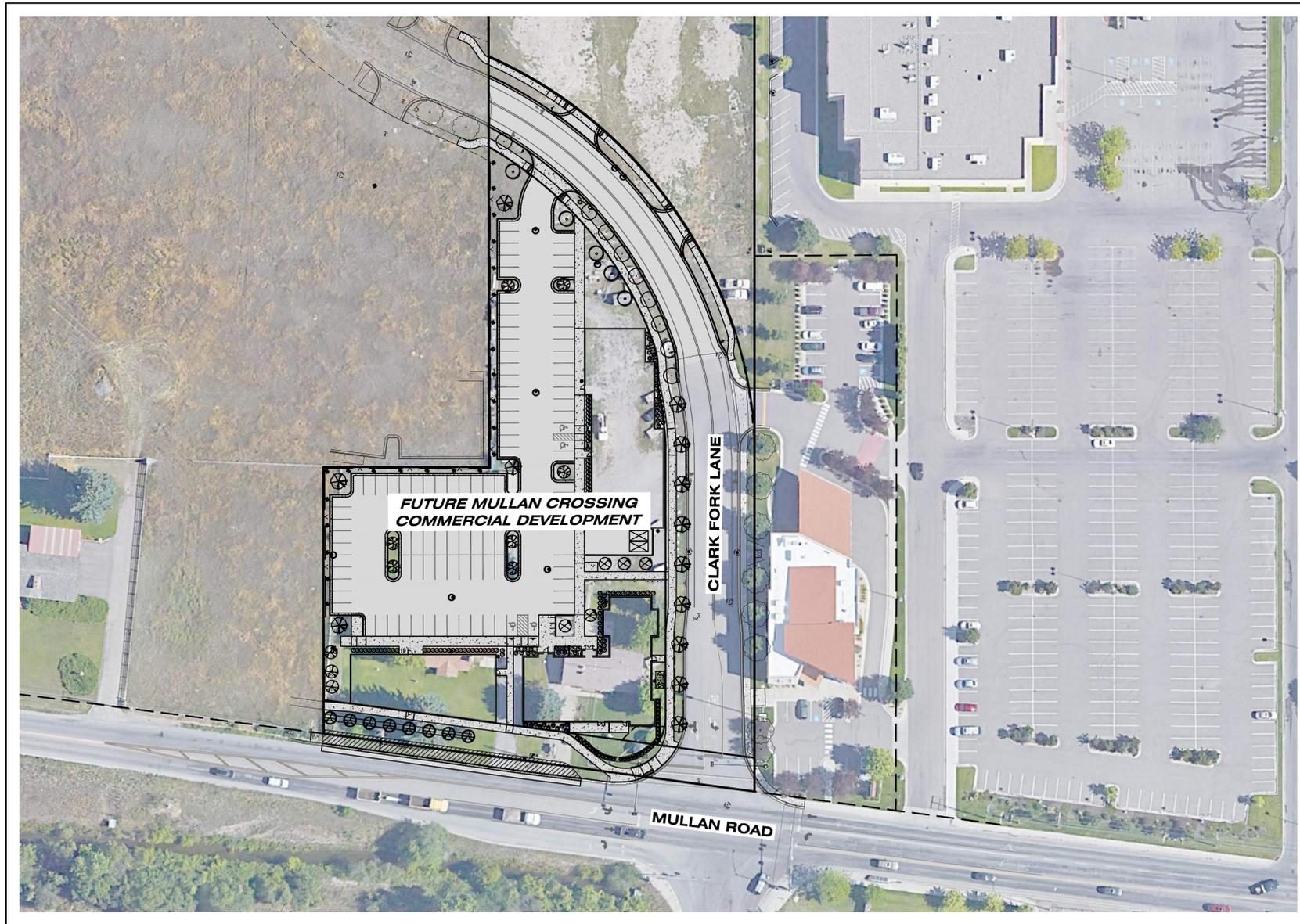
SS \_\_\_\_\_  
MATTHEW JACOBSON, PROFESSIONAL LAND SURVEYOR DATE \_\_\_\_\_  
MONTANA LICENSE NO. 13748LS



1/4	SEC.	T.	R.
X	18	13N.	19W.

# CIVIL CONSTRUCTION PLANS

LOCATED ON CLARK FORK LANE NORTH OF MULLAN ROAD  
 LOCATED IN SECTION 18, T.13N., R.19W., P.M.M., MISSOULA COUNTY, MONTANA.

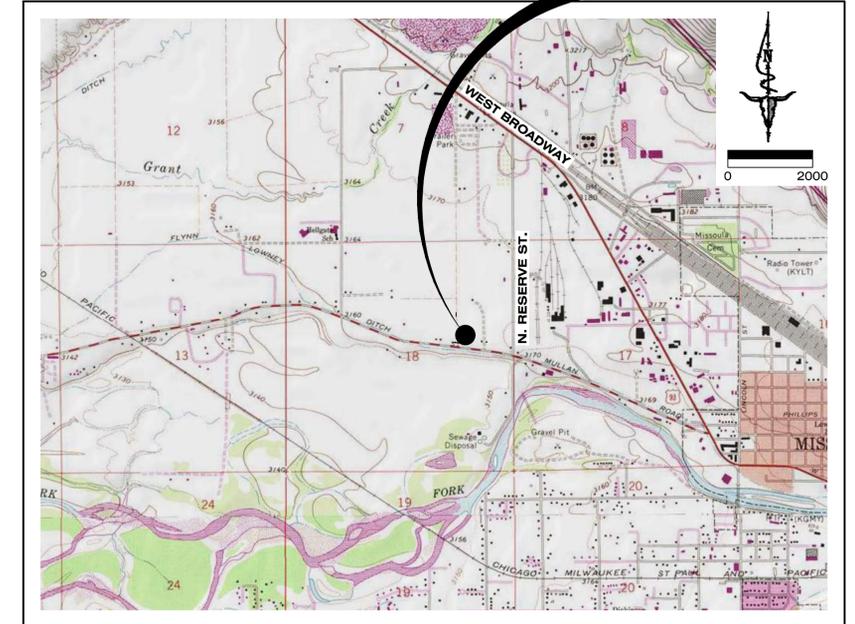


  
 CALL UTILITY NOTIFICATION  
 CENTER OF MONTANA  
**1-800-424-5555**  
 CALL FOR THE MARKING OF  
 UNDERGROUND UTILITIES  
**2 BUSINESS DAYS BEFORE**  
 YOU DIG, GRADE, OR EXCAVATE  
  
 SCALE IN FEET

**SHEET INDEX**

DESCRIPTION	SHEET NO.
LEGEND AND NOTES	SHEET 2 OF 9
SWPPP PLAN	SHEET 3 OF 9
DEMOLITION PLAN	SHEET 4 OF 9
SITE PLAN	SHEET 5 OF 9
GRADING AND DRAINAGE PLAN	SHEET 6 OF 9
LANDSCAPE PLAN	SHEET 7 OF 9
LANDSCAPE DETAILS	SHEET 8 OF 9
IRRIGATION PLAN	SHEET 9 OF 9
DETAIL SHEET	SHEET D1 OF D2
DETAIL SHEET	SHEET D2 OF D2

## VICINITY MAP



MISSOULA, MISSOULA COUNTY, MT

PROJECT STATUS		
THESE PLANS REQUIRE, AT A MINIMUM, APPROVAL FROM THE AGENCIES LISTED BELOW. THEREFORE, THE OWNER & CONTRACTOR ARE ADVISED THAT BIDS & CONTRACTS SHOULD NOT BE FINALIZED UNTIL INDICATED BELOW.		
AGENCIES REVIEW STATUS:	REFERENCE #	APPROVAL DATE
CITY OF MISSOULA (CITY)		
PLAN SET IS READY FOR CONSTRUCTION <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
AS-BUILT DATE: _____		
PROJECT HAS BEEN CONSTRUCTED IN GENERAL CONFORMANCE WITH THE ABOVE APPROVALS, STATED SPECIFICATIONS, AND SHOWN HERE IN, UNLESS OTHERWISE SPECIFIED.		
PROJECT NOTES:		



1817 SOUTH AVE. W. STE. A  
 MISSOULA, MT 59801  
 PH: 406.721.0142  
 FAX: 406.721.5224  
 WWW.IMEG.CORP.COM

DATE	REVISIONS
08/10/2021	REV. 1
09/03/2021	REV. 2
10/22/2021	REV. 3
05/24/2022	REV. 4
	REV. 5

DESIGNED: CM  
 DRAFTED: AE  
 CHECKED: JR  
 DATE: 04/05/2022

LOCATION: D.L.E. 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.M.M., MISSOULA COUNTY, MONTANA  
 PREPARED FOR: MMW, LLC

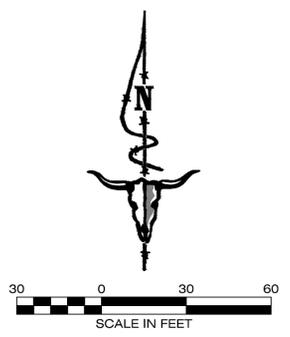
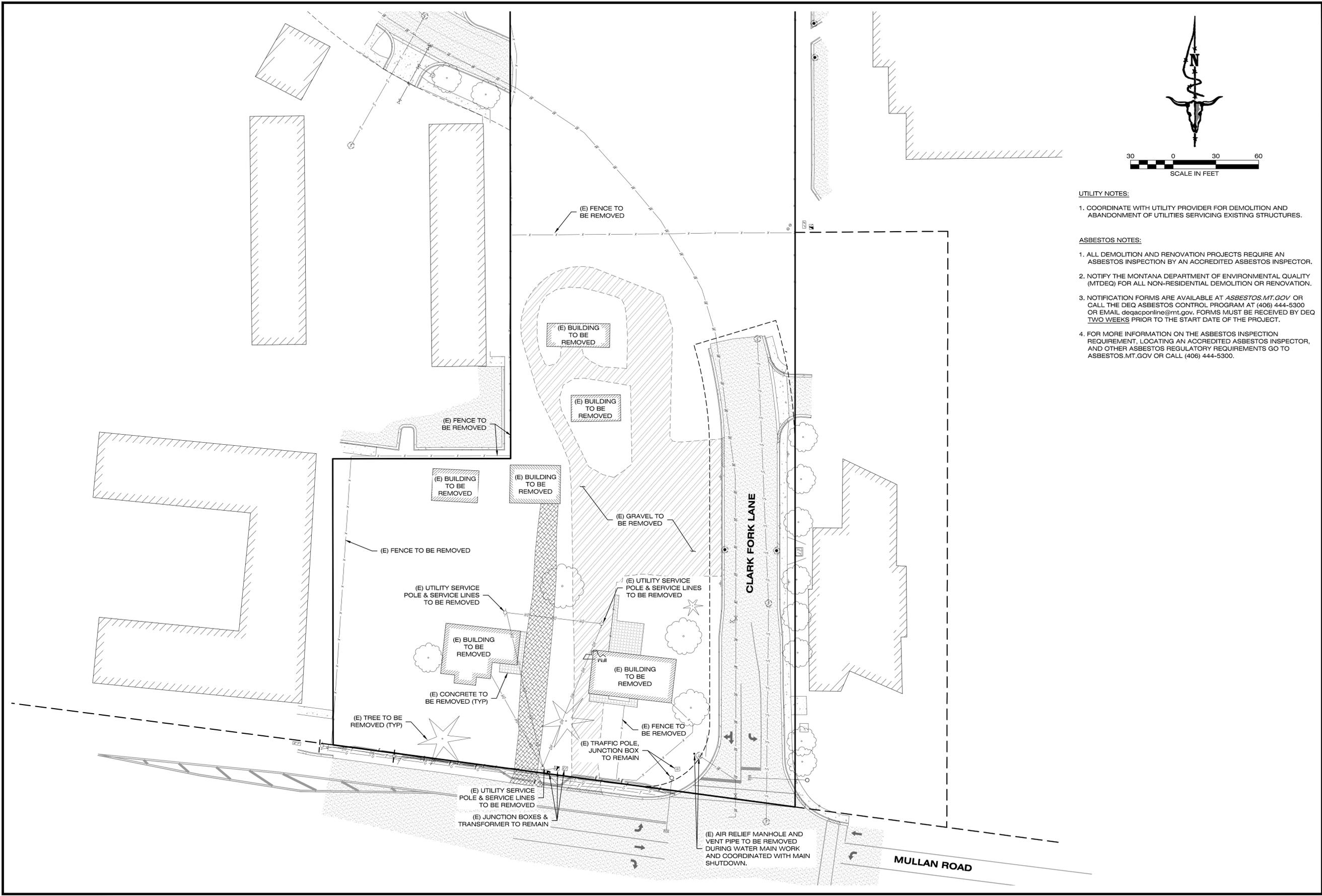
PROJECT NO.	PROJECT NAME
19-5458	MULLAN CROSSING COMMERCIAL DEVELOPMENT

SHEET:	SHEET TITLE:
1 OF 9	CIVIL CONSTRUCTION PLANS COVER SHEET

D:\GIS\LOCATION\01MISSOULA\PROJECTS\ACTIVE RELEASED\PROJECTS\19-5458 - WALKER MULLAN CROSSING COMMERCIAL DEVELOPMENT\DRAWINGS\AUTOCAD\PLAN SETS\CONV\19-5458.DWG

LEGEND	
<b>EXISTING</b>	<b>PROPOSED</b>
	(P) PROPERTY LINE
	(P) EASEMENT
	(W) WATER LINE
	(WS) WATER SERVICE
	(S) SEWER LINE
	(SS) SEWER SERVICE
	(FM) SEWER FORCE MAIN
	(FMS) SEWER FORCE MAIN SERVICE
	(ST) STORM DRAIN PIPE
	(OH) OVERHEAD UTILITY
	(E) BURIED POWER
	(G) GAS LINE
	(T) TELEPHONE LINE
	(TV) TELEVISION LINE
	(FO) FIBER OPTIC LINE
	(R) ROAD CENTERLINE
	(X) FENCE LINE
	(D) DITCH
	(S) SWALE
	(IFM) IRRIGATION FORCE MAIN
	(M) MAJOR CONTOUR
	(m) MINOR CONTOUR
	(P) ASPHALT
	(P) GRAVEL
	(P) CONCRETE
	(S) SEWER MANHOLE
	(C) SEWER CLEANOUT
	(P) SEPTIC TANK
	(P) DRAINFIELD
	(W) WELL
	(F) FIRE HYDRANT
	(P) WATER METER
	(V) WATER VALVE
	(R) REDUCER
	(T) THRUST BLOCK
	(P) WATER BLOW-OFF
	(P) CURB BOX
	(P) STORM DRAIN MANHOLE
	(P) CULVERT
	(P) CURB INLET
	(P) CATCH BASIN
	(P) SUMP
	(P) UTILITY MANHOLE
	(P) LIGHT POLE
	(P) SIGN
	(P) MAILBOX
	(P) DECIDUOUS TREE
	(P) CONIFEROUS TREE
	(P) BUSH/ SHRUB





**UTILITY NOTES:**

1. COORDINATE WITH UTILITY PROVIDER FOR DEMOLITION AND ABANDONMENT OF UTILITIES SERVICING EXISTING STRUCTURES.

**ASBESTOS NOTES:**

1. ALL DEMOLITION AND RENOVATION PROJECTS REQUIRE AN ASBESTOS INSPECTION BY AN ACCREDITED ASBESTOS INSPECTOR.
2. NOTIFY THE MONTANA DEPARTMENT OF ENVIRONMENTAL QUALITY (MTDEQ) FOR ALL NON-RESIDENTIAL DEMOLITION OR RENOVATION.
3. NOTIFICATION FORMS ARE AVAILABLE AT [ASBESTOS.MT.GOV](http://ASBESTOS.MT.GOV) OR CALL THE DEQ ASBESTOS CONTROL PROGRAM AT (406) 444-5300 OR EMAIL [deqacp@mt.gov](mailto:deqacp@mt.gov). FORMS MUST BE RECEIVED BY DEQ TWO WEEKS PRIOR TO THE START DATE OF THE PROJECT.
4. FOR MORE INFORMATION ON THE ASBESTOS INSPECTION REQUIREMENT, LOCATING AN ACCREDITED ASBESTOS INSPECTOR, AND OTHER ASBESTOS REGULATORY REQUIREMENTS GO TO [ASBESTOS.MT.GOV](http://ASBESTOS.MT.GOV) OR CALL (406) 444-5300.



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 MISSOULA, MT 59801  
 PH: 406.721.0142  
 FAX: 406.721.5224  
 WWW.IMEG.CORP.COM

DATE	REVISIONS
08/10/2021	A REV 1
09/03/2021	A REV 2
10/22/2021	A REV 3
05/24/2022	A REV 4
	A REV 5

DESIGNED: *CM*  
 DRAFTED: *AE*  
 CHECKED: *JR*  
 DATE: 04/26/2022

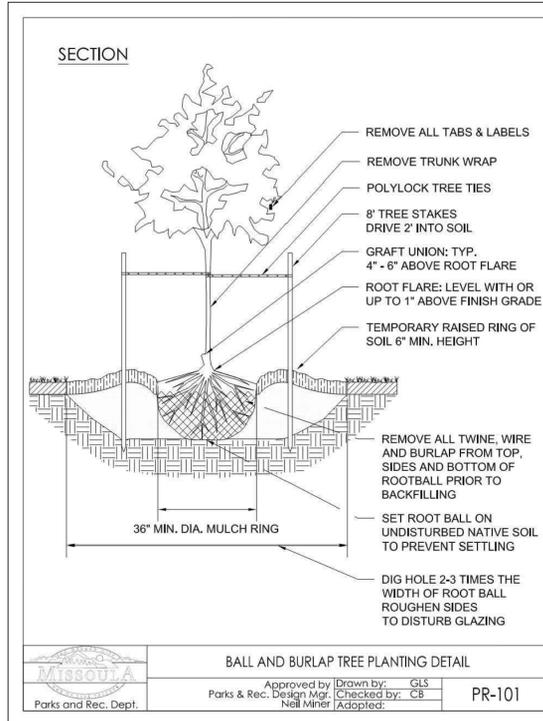
LOCATION: D.L.E. 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.M.1M. MISSOULA COUNTY, MONTANA  
 PREPARED FOR: MMW, LLC

PROJECT NO. <b>19-5458</b>	PROJECT NAME <b>MULLAN CROSSING COMMERCIAL DEVELOPMENT</b>
SHEET: <b>4 OF 9</b>	SHEET TITLE <b>CIVIL CONSTRUCTION PLANS DEMOLITION PLAN</b>

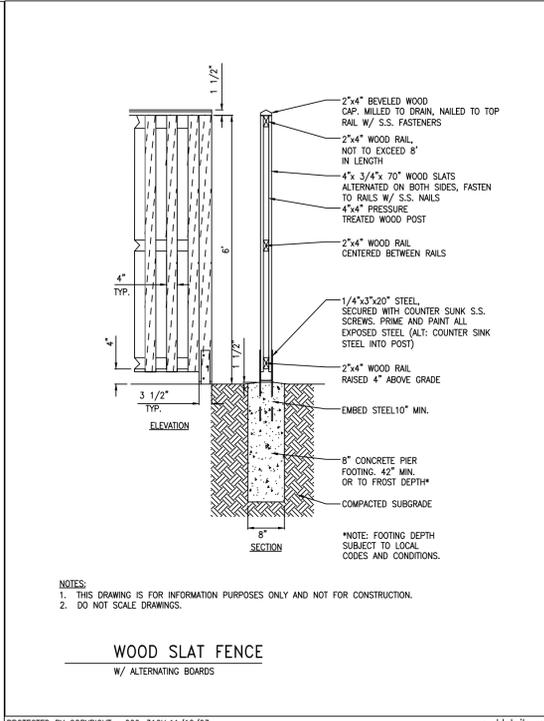
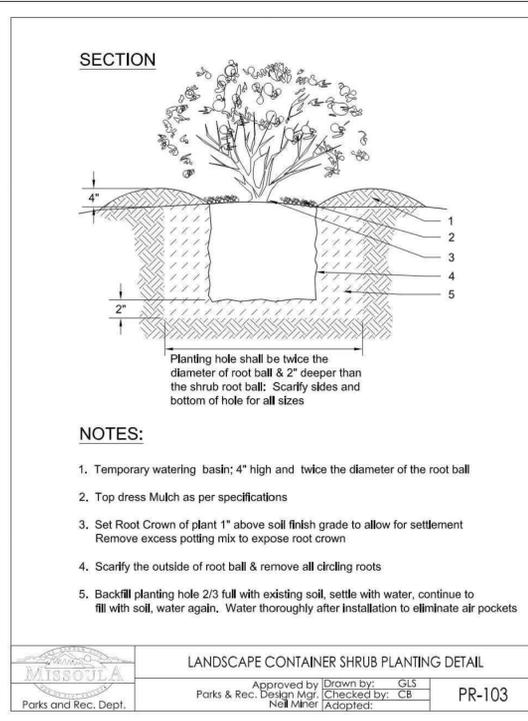








- NOTES:**
- Plant material must meet the minimum acceptable standard set by the American Association of Nurserymen's American Standard of Nursery Stock; ANSI Z60.1. Broken, damaged, diseased, or substandard stock are prohibited from being planted in the public right-of-way and will be rejected.
  - Only class I (small growing) trees are permitted to be planted under or within fifteen (15') of overhead utility lines.
  - Prune only broken or damaged branches. Do not apply fertilizer at time of planting.
  - The root flare is the point where the top most structural root emerges from the trunk. The depth of the root ball shall be measured from the root flare to the bottom of the root ball. Handle B&B plants carefully when transferring to planting hole. Lift or carry by holding the root ball, not the trunk.
  - Remove any excess soil from the top of the root ball to expose the root flare. Place tree in planting hole with root flare level with or up to 1" above finish grade.
  - Remove all wire baskets and rope from root ball. Be careful to keep root ball intact.
  - Remove all burlap from the root ball. Be careful to keep root ball intact.
  - Straighten, cut and remove any circling roots.
  - Backfill planting hole 2/3 full with existing soil, settle with water, continue to fill with soil, water again. Water thoroughly after installation to eliminate air pockets.
  - Construct a temporary raised ring of soil at edge of root ball to contain water. Remove or breach before winter.
  - Construct mulch ring with a minimum 36" diameter to a depth of 2" - 4"; leave 3" bare ground between mulch and tree trunk.
  - Set stakes parallel to prevailing wind and outside of root ball. Ties must be 1" wide minimum, flexible belt-like strapping. Do not use rope or wire. Do not over-tighten around tree. Ties should be tight enough to support the tree while allowing it to sway. Remove stakes and ties within one year after installation.
  - Trees benefit when irrigated separately from turf. Water new trees during summer months to a depth of 12" - 18" once per week (about 5 gallons of water per caliper inch) for the first 3 growing seasons. During periods of drought, new trees may need more frequent watering.
- BALL AND BURLAP TREE PLANTING NOTES**
- Approved by: \_\_\_\_\_ Design Mgr. GLS  
Parks & Rec. Dept. Checked by: CB  
Neil Miner Adopted: \_\_\_\_\_ PR-101



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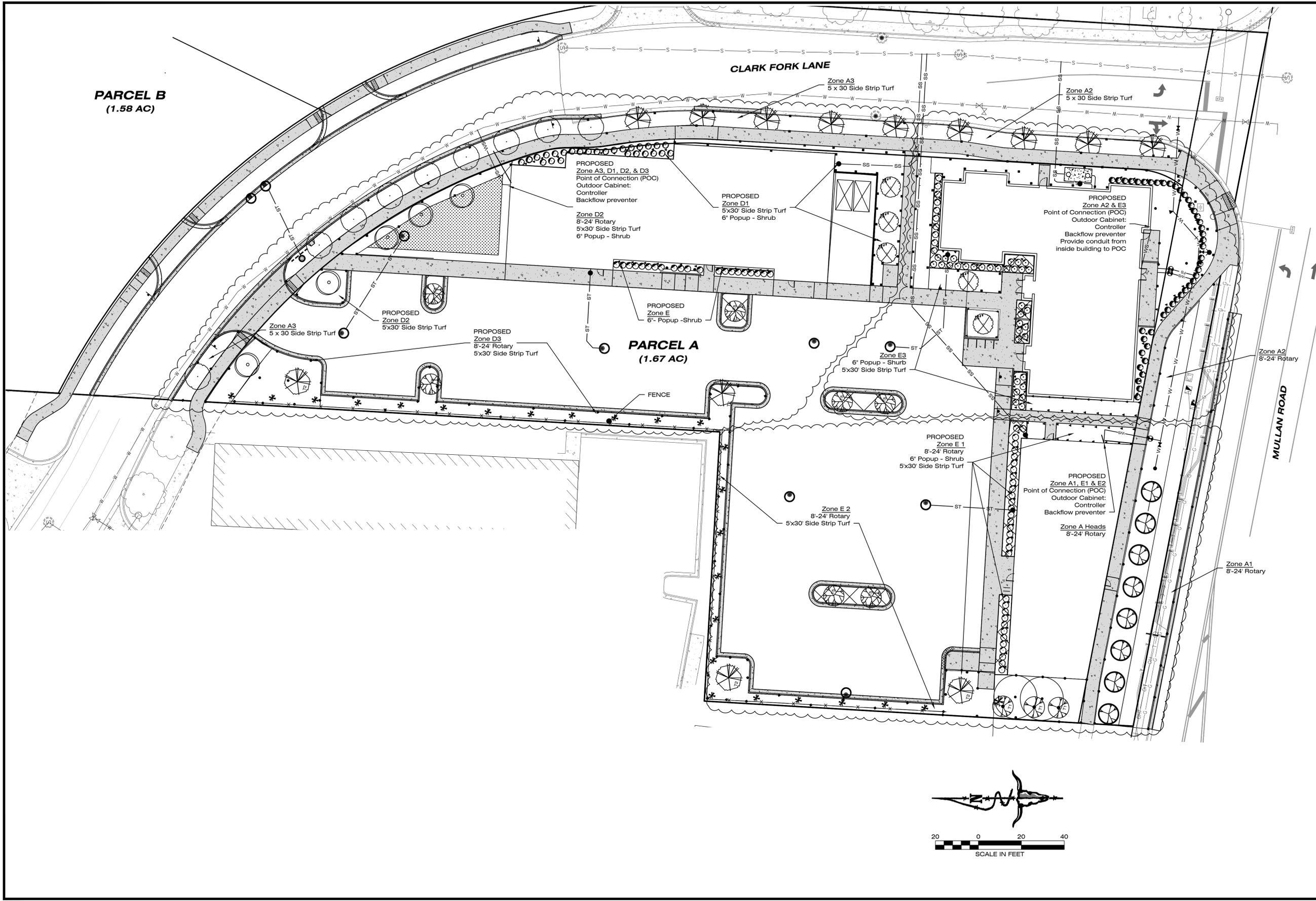
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09/03/2021	REV 3
10/22/2021	REV 4
05/29/2022	REV 5

DESIGNED: PJC  
DRAFTED: PJC  
CHECKED: PJC  
DATE: 04/06/2022

LOCATION: DLE, 100A, TRACT 1 OF HALLING FARMS SECTION 16, T.18N., R.19W., P.M.M. MISSOULA COUNTY, MONTANA  
PREPARED FOR: MMW, LLC

PROJECT NAME: MULLAN CROSSING COMMERCIAL DEVELOPMENT  
PROJECT NO.: 19-5458  
SHEET TITLE: LANDSCAPE DETAILS  
SHEET: 8 OF 9

**PARCEL B**  
(1.58 AC)



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MUSKOGEE, MISSISSIPPI 39561  
PH: 408.721.0142  
FAX: 408.721.5224  
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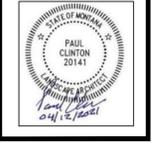
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08/10/2021	REV1
09/03/2021	REV2
10/22/2021	REV3
05/29/2022	REV4
	REV5

DESIGNED: PJC  
DRAFTED: PJC  
CHECKED: PJC  
DATE: 04/06/21

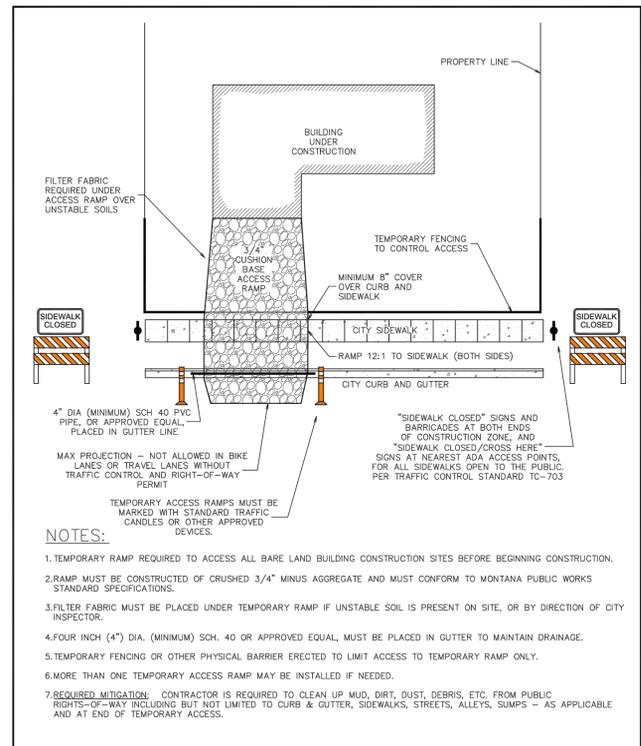
LOCATION: D.L.E. 1004, TRACT 1 OF HALLING FARMS  
SECTION 16, T.13N., R.19W., P.M.M.  
MISSISSIPPI COUNTY, MONTANA  
PREPARED FOR: MMW, LLC

PROJECT NAME: MULLAN CROSSING  
COMMERCIAL DEVELOPMENT  
SHEET TITLE: IRRIGATION PLAN

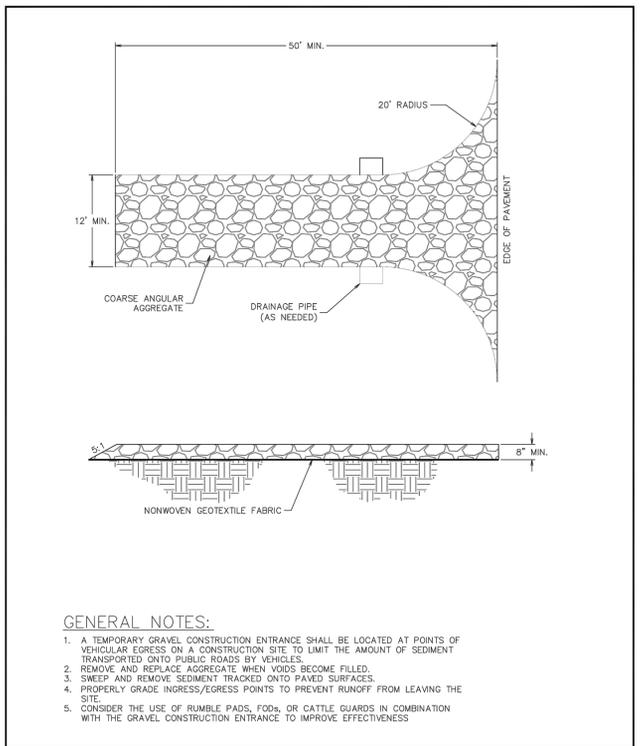
PROJECT NO. 19-5458  
SHEET: 9 OF 9



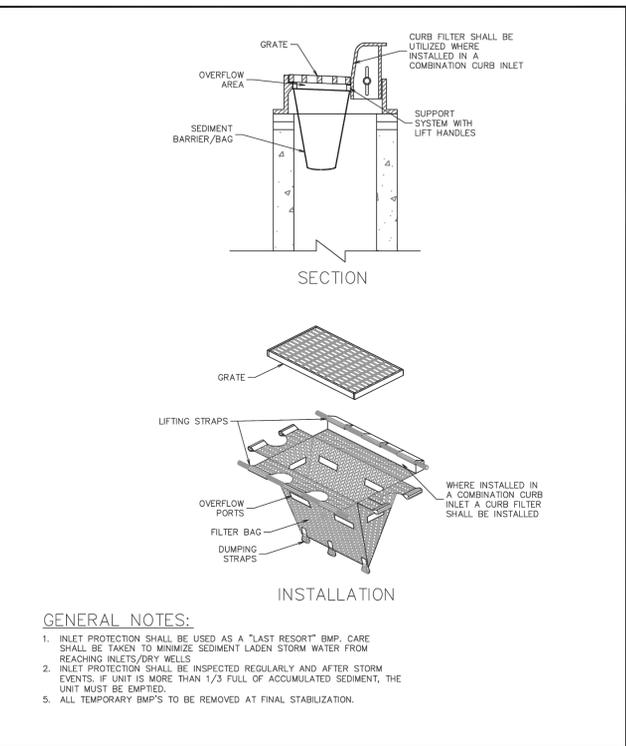
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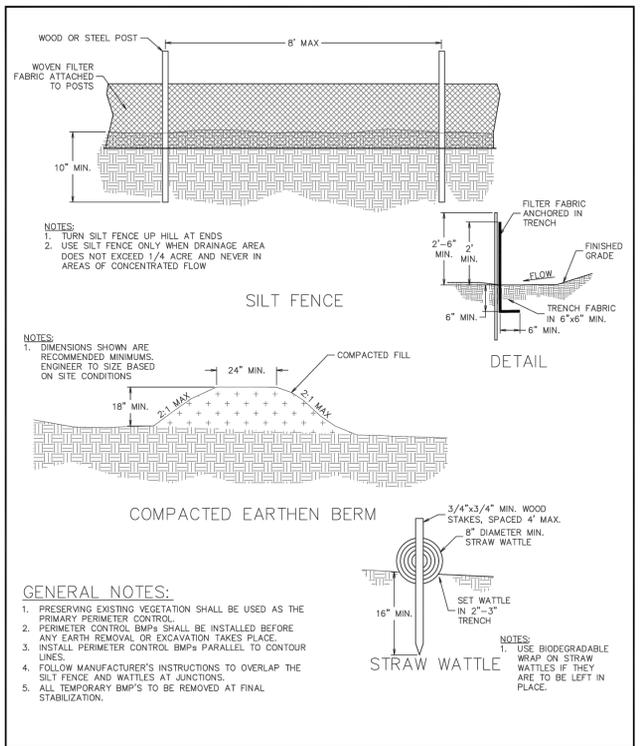
Engineering Division	Temporary Access to Construction Sites		
	Approved By City Engineer Kevin J. Slovarp	Adopted: 03/09/2006 Revised: 06/22/2017	STD - 200



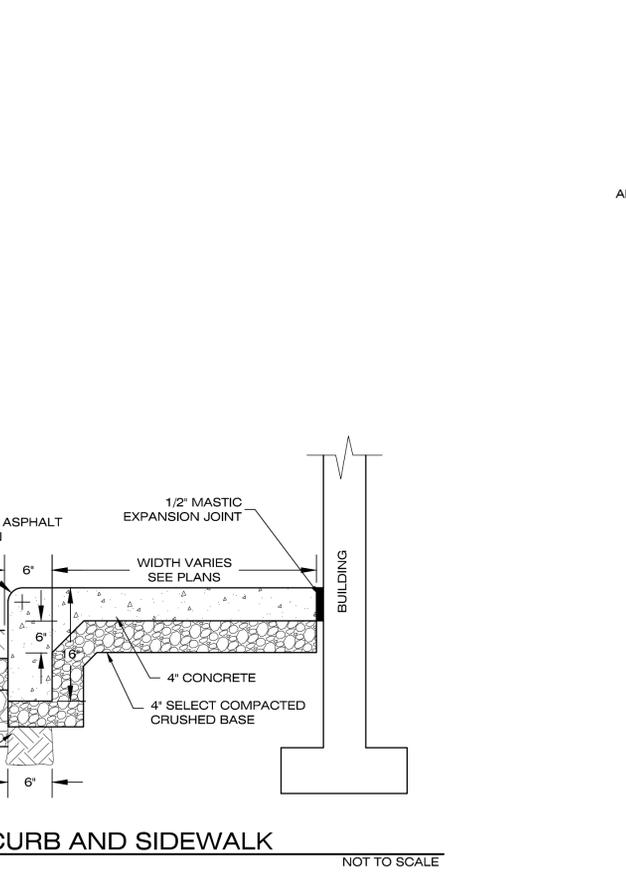
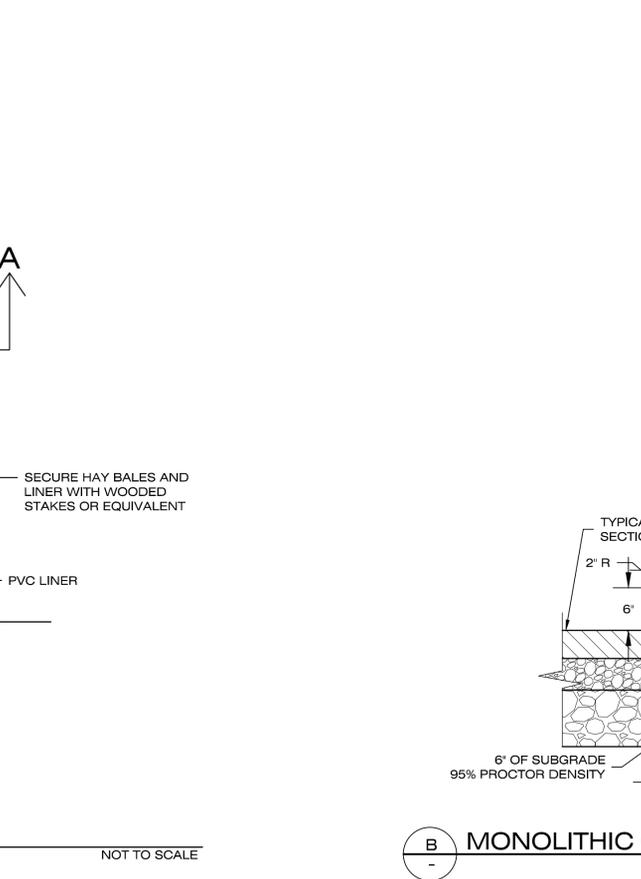
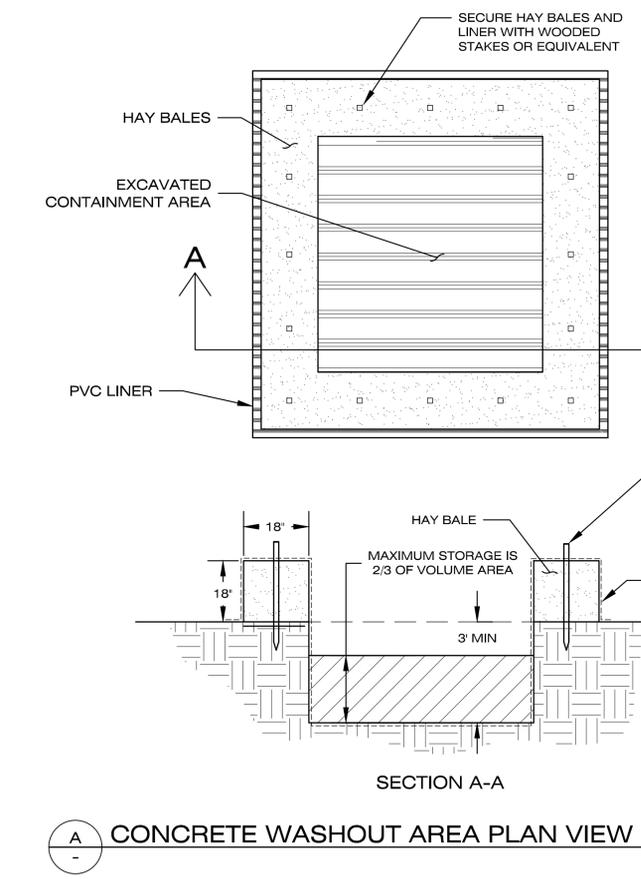
Engineering Division	Temporary Gravel Construction Entrance		
	Approved By Utility Engineer Andy Schultz, PE	Revised: 09/28/2020	STD - 650



Engineering Division	Inlet Protection		
	Approved By Utility Engineer Andy Schultz, PE	Revised: 09/28/2020	STD - 651



Engineering Division	Perimeter Control		
	Approved By Utility Engineer Andy Schultz, PE	Revised: 09/28/2020	STD - 652



DATE	08/10/2021
REVISIONS	09/03/2021
	10/22/2021
	05/24/2022

DESIGNED:	CM
DRAFTED:	AE
CHECKED:	AR
DATE:	04/06/2022

LOCATION: 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.M1M. MISSOULA COUNTY, MONTANA

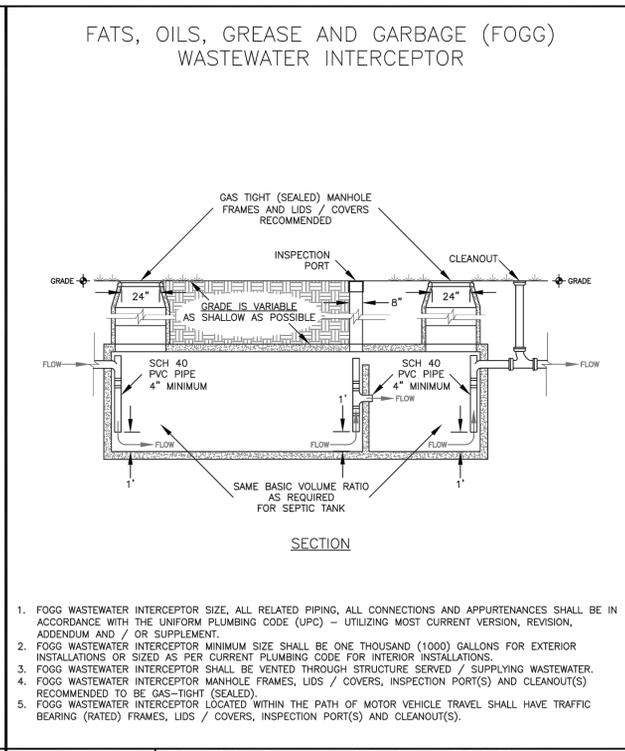
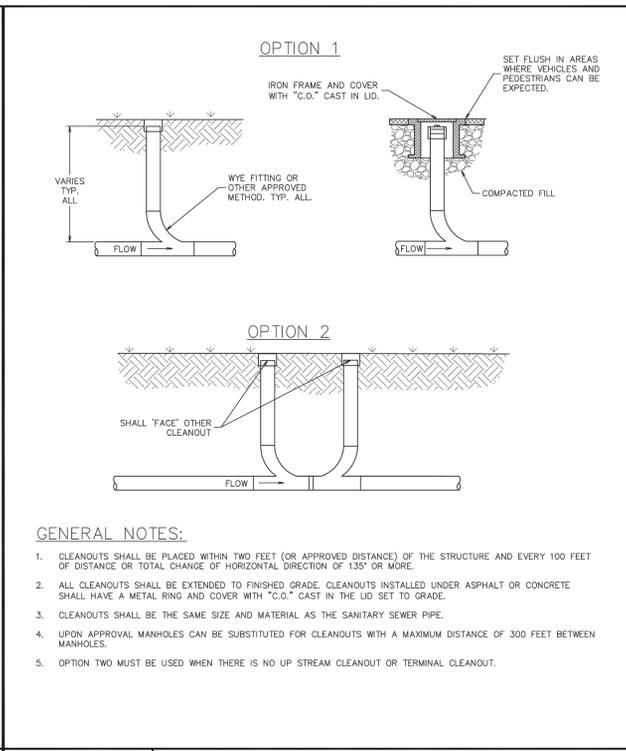
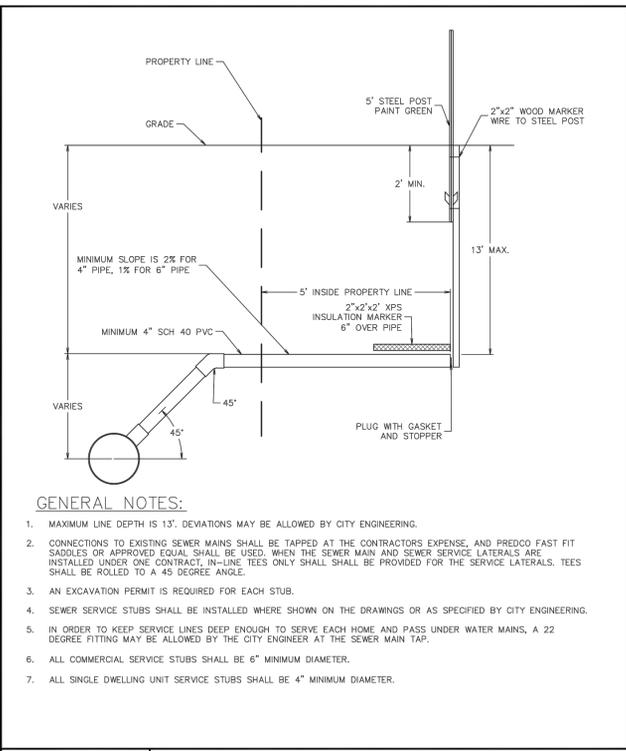
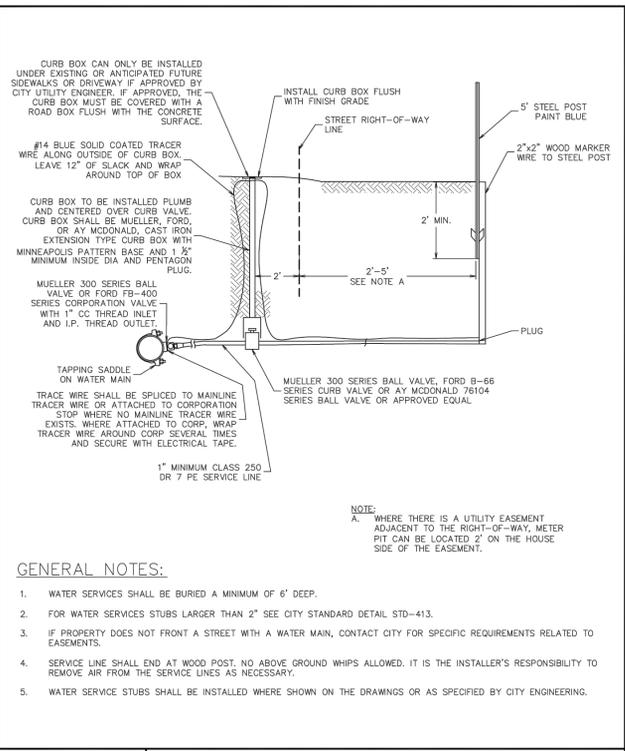
PREPARED FOR: MMW, LLC

PROJECT NAME: MULLAN CROSSING COMMERCIAL DEVELOPMENT

SHEET TITLE: CIVIL CONSTRUCTION PLANS DETAIL SHEET

PROJECT NO.	19-5458
SHEET:	D1 OF D2

DRAWING LOCATION: MISSOULA, MONTANA. PROJECTS: ACTIVE RELEASED PROJECTS: 648 - WALKER MULLAN CROSSING COMMERCIAL DEVELOPMENT, DRAFTING: L. DAVENPORT/COOP/PLAN SETS/10/10/19-10/15/20

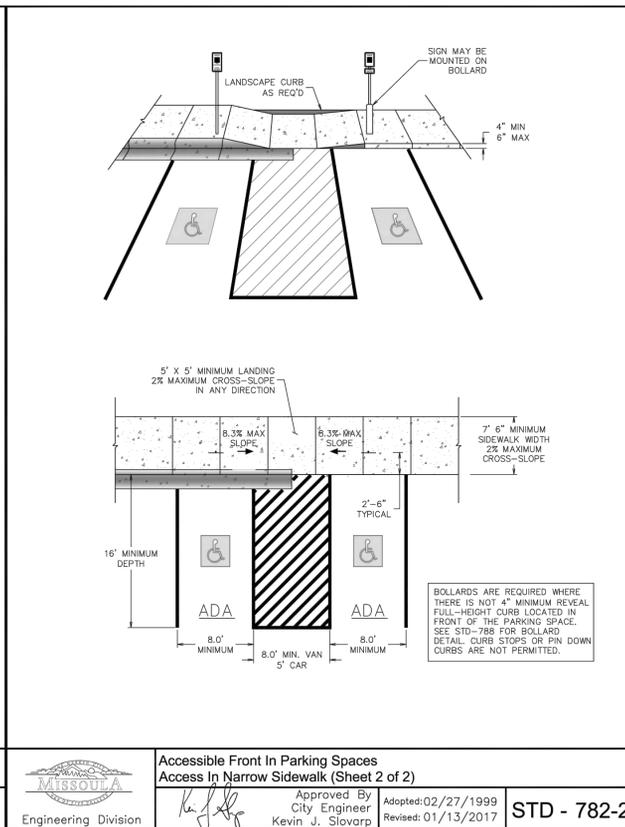
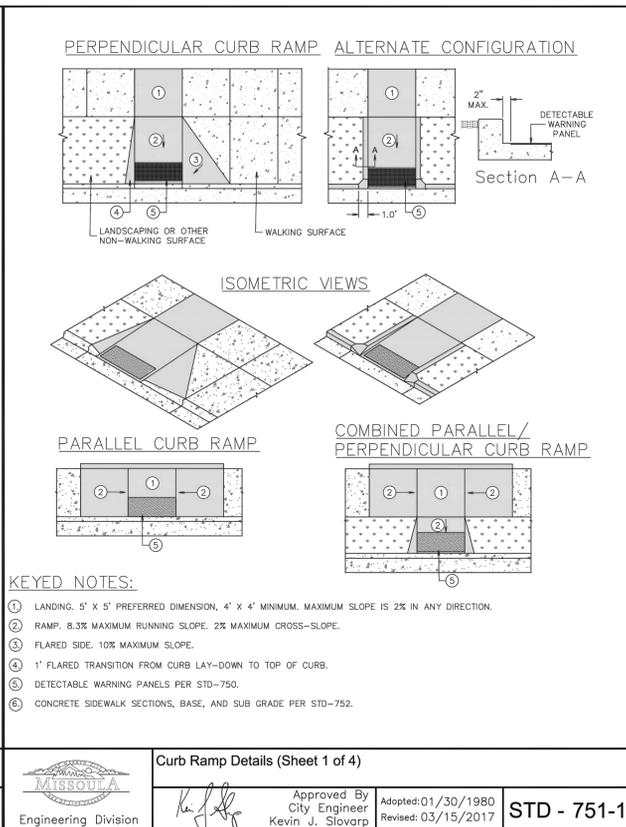
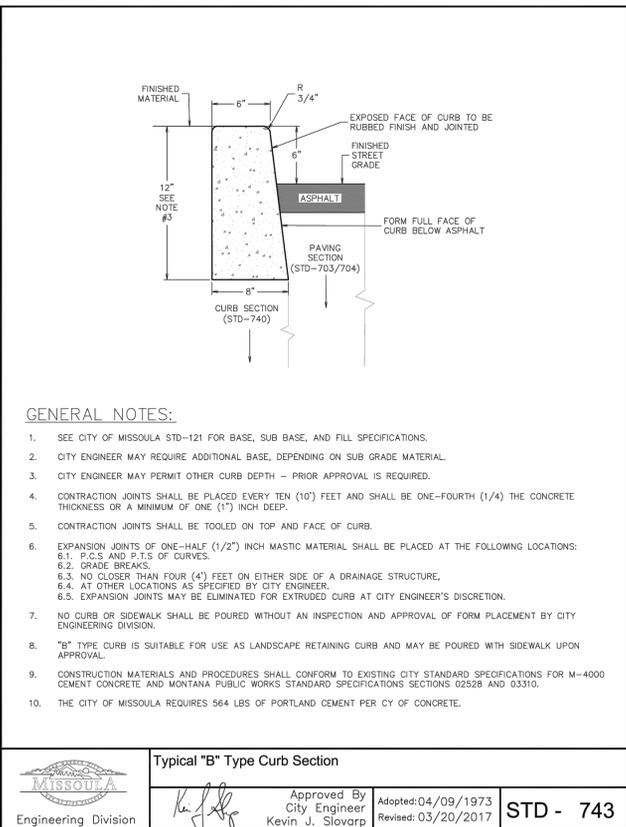
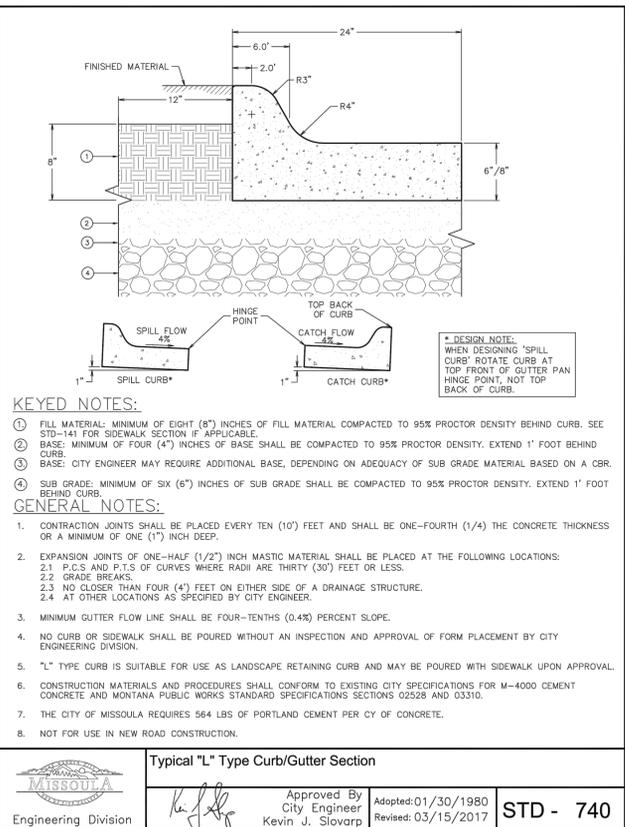


	<b>Typical Residential Water Service Stub Detail</b>	Approved By Utilities Engineer Logan McInnis, PE	Revised: 09/28/2020	<b>STD - 404B</b>
Engineering Division				

	<b>Standard Sewer Service Stub</b>	Approved By Utility Project Manager - Ross Mollenhauer, PE	Revised: 09/28/2020	<b>STD - 520</b>
Engineering Division				

	<b>Typical Clean-out Details</b>	Approved By City Engineer Kevin J. Slovorp	Adopted: 03/2004 Revised: 06/14/2017	<b>STD - 521</b>
Engineering Division				

	<b>Fats, Oils, Grease and Garbage (FOGG) Wastewater Interceptor</b>	Approved By City Engineer Kevin J. Slovorp	Adopted: 02/1990 Revised: 09/28/2020	<b>STD - 531</b>
Engineering Division				



	<b>Typical "L" Type Curb/Gutter Section</b>	Approved By City Engineer Kevin J. Slovorp	Adopted: 01/30/1980 Revised: 03/15/2017	<b>STD - 740</b>
Engineering Division				

	<b>Typical "B" Type Curb Section</b>	Approved By City Engineer Kevin J. Slovorp	Adopted: 04/09/1973 Revised: 03/20/2017	<b>STD - 743</b>
Engineering Division				

	<b>Curb Ramp Details (Sheet 1 of 4)</b>	Approved By City Engineer Kevin J. Slovorp	Adopted: 01/30/1980 Revised: 03/15/2017	<b>STD - 751-1</b>
Engineering Division				

	<b>Accessible Front In Parking Spaces Access in Narrow Sidewalk (Sheet 2 of 2)</b>	Approved By City Engineer Kevin J. Slovorp	Adopted: 02/27/1999 Revised: 01/13/2017	<b>STD - 782-2</b>
Engineering Division				

**IMEG**  
1817 SOUTH AVE. W. STE. A PH: 406.721.0142  
MISSOULA, MT FAX: 406.721.5224  
www.imegcorp.com

DATE: 08/10/2021  
DESIGNED: CM  
DRAFTED: AE  
CHECKED: JR  
DATE: 09/28/2020

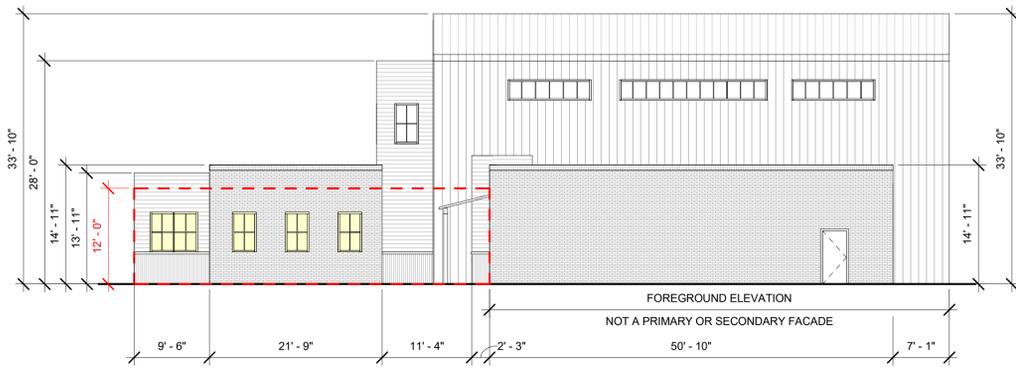
REVISIONS:  
A REV 1 08/03/2021  
A REV 2 10/22/2021  
A REV 3 05/24/2022

LOCATION: D.L.E. 1004, TRACT 1 OF HALLING FARMS  
SECTION 18, T.13N., R.19W., P.M.M.  
MISSOULA COUNTY, MONTANA

PROJECT NO. 19-5458  
SHEET: D2 OF D2

MULLAN CROSSING COMMERCIAL DEVELOPMENT  
CIVIL CONSTRUCTION PLANS  
DETAIL SHEET

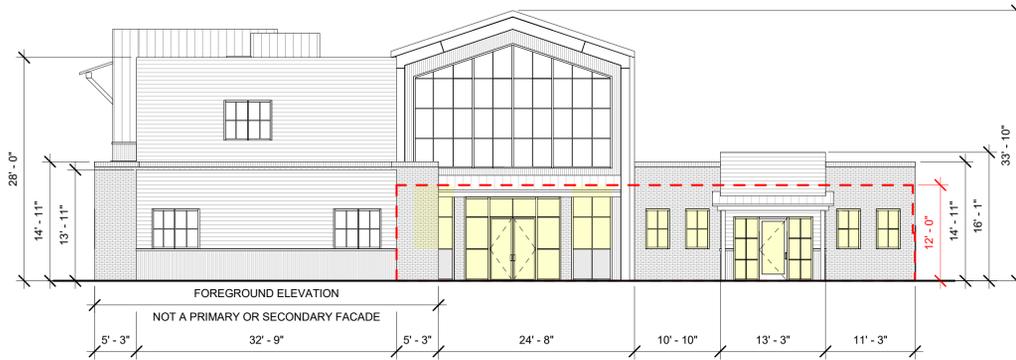
MMW, LLC



**WEST ELEVATION - SECONDARY FACADE**  
(MEETS 1, 2, 3, 5)

**ITEM #4 GLAZING CALCULATIONS:**  
GROUND FLOOR:  
FACADE AREA TO 12FT = 537 SQFT  
GLAZING AREA = 75 SQFT (14%)

⑤ WEST ELEVATION - GLAZING & FACADE MODULATION  
3/32" = 1'-0"



**NORTH ELEVATION - PRIMARY FACADE**  
(MEETS ITEMS 1, 2, 3, 4, 5, 6)

**ITEM #4 GLAZING CALCULATIONS:**  
GROUND FLOOR:  
FACADE AREA TO 12FT = 782 SQFT  
GLAZING AREA = 340 SQFT (43%)

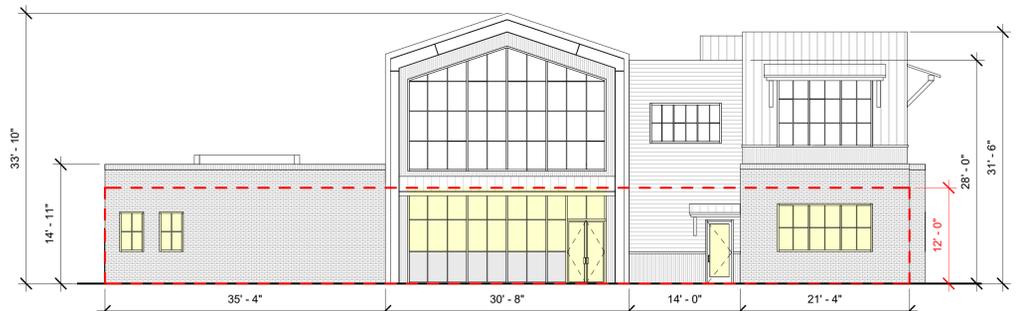
④ NORTH ELEVATION - GLAZING & FACADE MODULATION  
3/32" = 1'-0"



**EAST ELEVATION - PRIMARY FACADE**  
(MEETS ITEMS 1, 2, 3, 5)

**ITEM #4 GLAZING CALCULATIONS:**  
GROUND FLOOR:  
FACADE AREA TO 12FT = 1184 SQFT  
GLAZING AREA = 147 SQFT (12%)

③ EAST ELEVATION - GLAZING & FACADE MODULATION  
3/32" = 1'-0"



**SOUTH ELEVATION - PRIMARY FACADE**  
(MEETS ITEMS 1, 2, 3, 4, 5)

**ITEM #4 GLAZING CALCULATIONS:**  
GROUND FLOOR:  
FACADE AREA TO 12FT = 1216 SQFT  
GLAZING AREA = 339 SQFT (28%)

② SOUTH ELEVATION - GLAZING & FACADE MODULATION  
3/32" = 1'-0"

**DESIGN STANDARDS PER CITY OF MISSOULA TITLE 20, SECTION 20.40.170, J:**

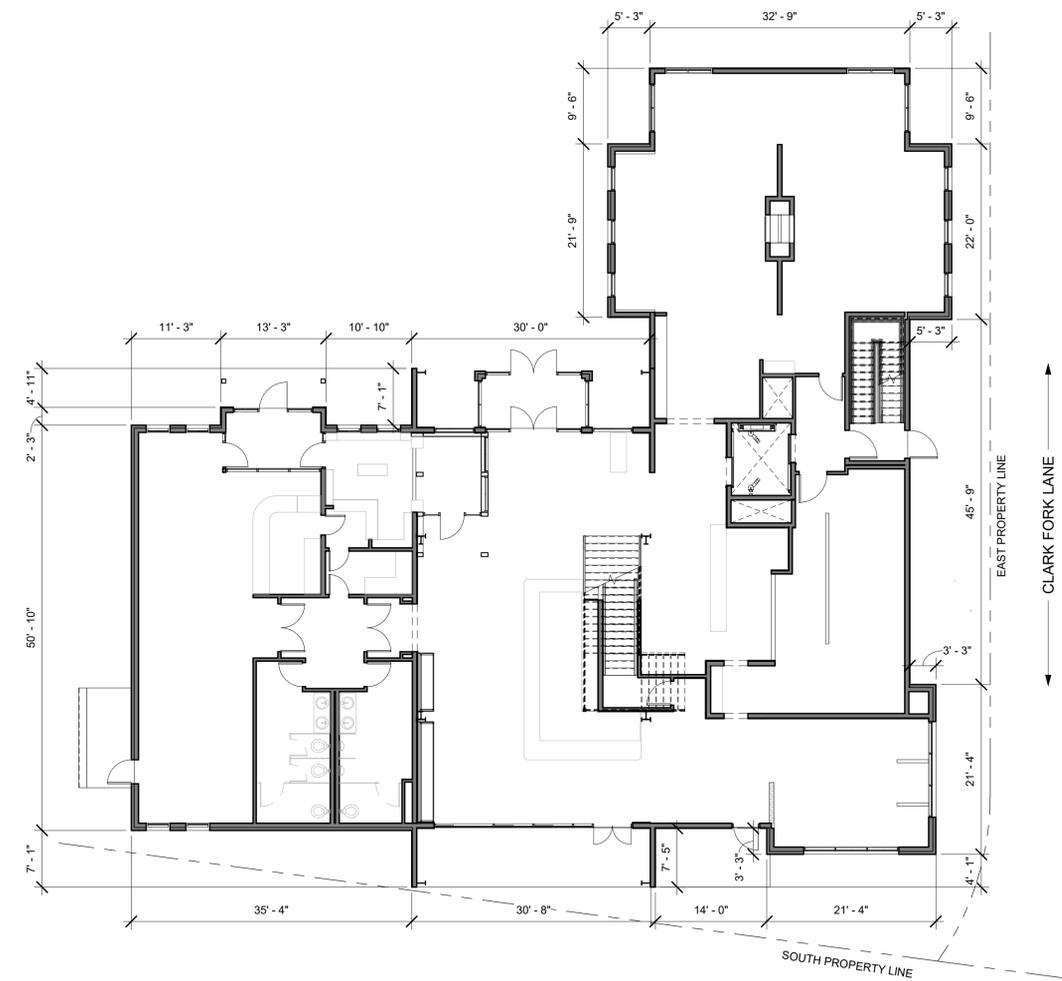
**J. GENERAL COMMERCIAL:**

These standards shall apply to certain non-residential uses in the C1, C2, CBD, M1R and M1 zoning districts. In order to enhance the visual appearance of commercial development, primary facades shall incorporate at least four design alternatives and secondary facades shall incorporate at least three design alternatives. The design alternatives are:

1. Provide color variation in the building facade, including building trim or accent areas;
2. Provide building facade modulation, such as projections, recesses, off-set planes, overhangs, arcades and/or clearly defined, highly visible pedestrian entrances encompassing at least 75% of the first story of the building facade. No uninterrupted (un-modulated) length of the facade shall exceed 30 feet in length. The break in the facade shall be at least eight feet in length and a minimum two feet in depth;
3. Provide exterior materials that are clearly visibly texturally diverse. Predominant exterior building materials may not include smooth-faced concrete block, tilt up concrete panels or prefabricated steel panels. This is not intended to exclude the use of architectural metal wall systems;
4. Incorporate windows, doors and other transparencies to encompass at least 25% of the first story of the building facade between finished grade and 12 feet above grade. Darkly tinted, mirrored or highly reflective glazing or doors with less than 50% glass may not be counted toward minimum glazed area requirements;
5. Provide varied roof lines and multiple roof planes, with three or more roof slope planes, or a rooftop garden or rooftop deck; varied roof lines should not preclude the installation of renewable energy systems;
6. Provide a primary customer entrance which is clearly defined and highly visible facing the street or public right-of-way. Where a customer entrance is provided to meet the requirement in 20.40.170.E, it shall be counted as meeting one of the design alternatives for that facade.

**MATERIALS LEGEND**

	METAL ROOF		BRICK
	METAL SIDING 1		HORIZONTAL WOOD SIDING
	METAL SIDING 2		SPANDREL PANEL



① FACADE MODULATION PLAN  
3/32" = 1'-0"



**PARADIGM**  
ARCHITECTURE

**CRU RESTAURANT & BAR**

3770 & 3720 MULLAN RD // MISSOULA, MT 59808

REVISIONS

2022.05.27

BASEMENT FLOOR  
PLAN

**A.1**

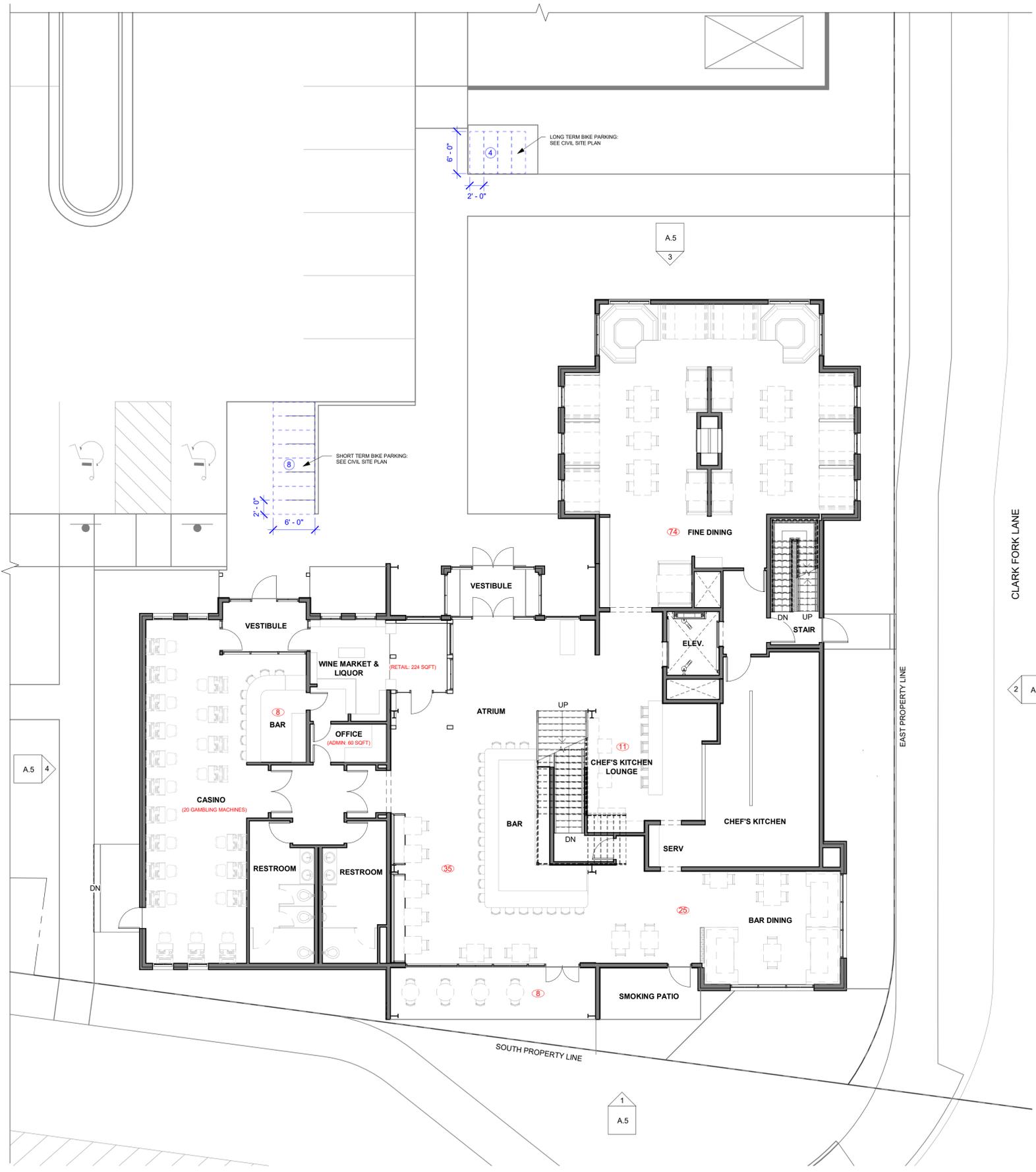
CONDITIONAL USE  
PERMIT



① BASEMENT FLOOR PLAN  
1/8" = 1'-0"



PARKING CALCULATIONS	
(X)	SEAT COUNT
(B)	BIKE PARKING COUNT
<b>VEHICLE PARKING REQUIREMENTS PER TITLE 20 TABLE 20.60-1 OFF STREET PARKING SCHEDULE:</b>	
•	RESTAURANT: 1 SPACE PER 4 SEATS + 1 SPACE PER 2 EMPLOYEES
•	TAVERN: 1 SPACE PER 4 SEATS + 1 SPACE PER 2 EMPLOYEES + 1 SPACE PER BILLIARD TABLE + 1 SPACE PER 2 GAMBLING MACHINES.
•	CASINO: 1 SPACE PER 4 SEATS + 1 SPACE PER 2 EMPLOYEES + 1 SPACE PER BILLIARD TABLE + 1 SPACE PER 2 GAMBLING MACHINES.
•	FOOD AND BEVERAGE RETAIL SALES: 1 SPACE PER 480 SQFT.
•	ADMIN/OFFICE: 1 SPACE PER 480 SQFT
<b>BICYCLE PARKING REQUIREMENTS PER TITLE 20, 20.60.090:</b>	
SPACES REQUIRED FOR COMMERCIAL USE:	
•	SHORT TERM: 1 PER 10 VEHICLE SPACES; 2 SPACES MIN.
•	LONG TERM: 1 SPACE PER 5 EMPLOYEES, 1 SPACE MIN.
SIZE:	
•	SHORT TERM: 2FT WIDE, 6FT LONG, 7FT OVERHEAD CLEAR
•	LONG TERM: 2FT WIDE, 6FT LONG, 7FT OVERHEAD CLEAR (LOCKERS EXEMPT).
<b>VEHICLE PARKING CALCULATIONS:</b>	
<b>BASEMENT:</b>	
4 SEATS	
ADMIN/OFFICE = 412 SQFT	
<b>1ST FLOOR:</b>	
161 SEATS	
ADMIN/OFFICE = 60 SQFT	
RETAIL = 224 SQFT	
GAMBLING MACHINES = 20 COUNT	
<b>2ND FLOOR:</b>	
62 SEATS	
TOTAL SEATS = 227/4 = 57 SPACES	
TOTAL EMPLOYEES = 18/2 = 9 SPACES	
TOTAL GAMBLING MACHINES = 20/2 = 10 SPACES	
TOTAL ADMIN/OFFICE = 472/480 = 1 SPACE	
TOTAL RETAIL = 224/480 = 1 SPACE	
<b>TOTAL SPACES REQUIRED = 78</b>	
<b>BICYCLE PARKING CALCULATIONS:</b>	
SHORT TERM = 78/10 = 7.8 = 8 SPACES	
LONG TERM = 18/5 = 3.6 = 4 SPACES	



1 1ST FLOOR PLAN  
1/8" = 1'-0"



**PARADIGM**  
ARCHITECTURE

**CRU RESTAURANT & BAR**

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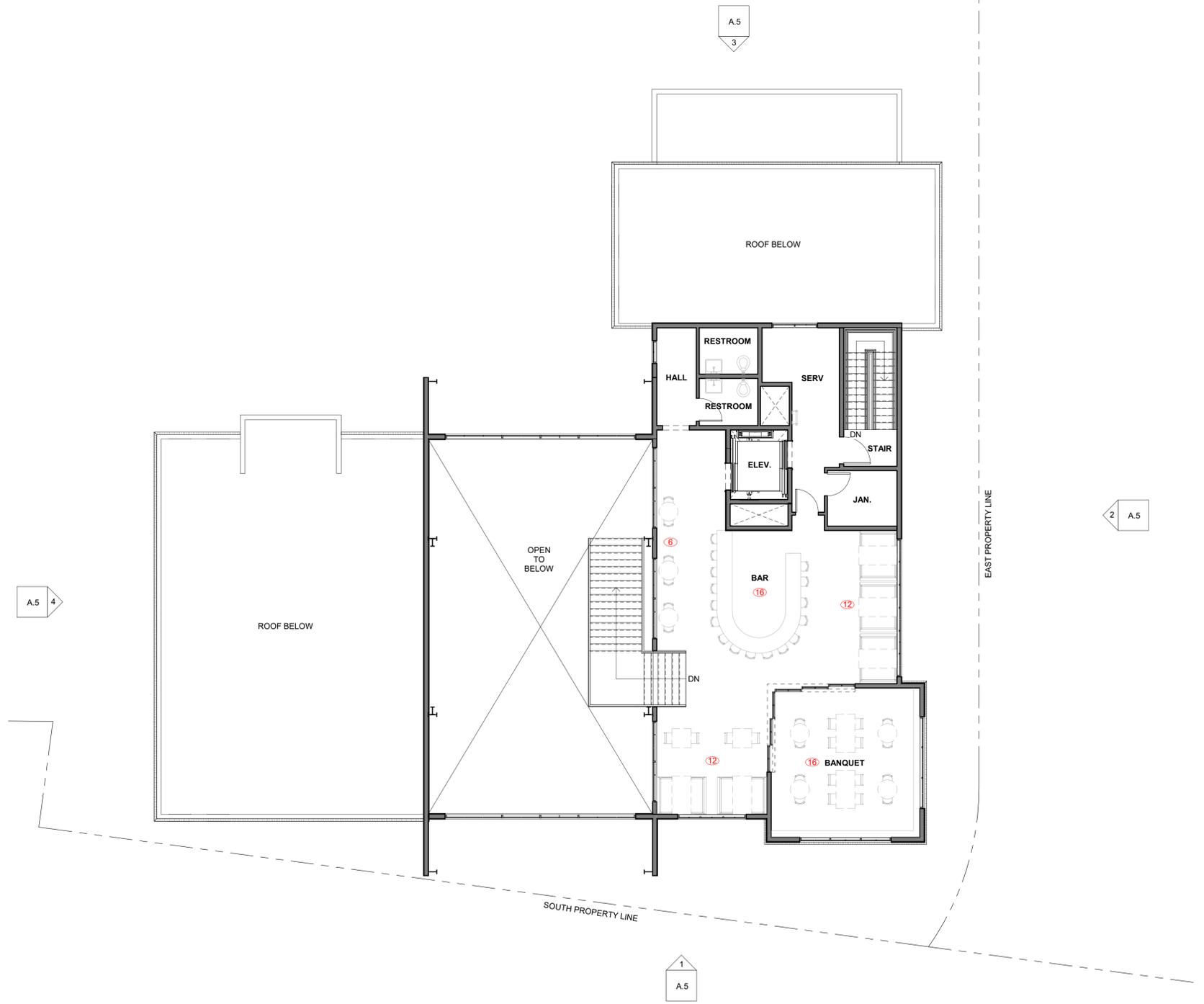
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2ND FLOOR PLAN

**A.3**

CONDITIONAL USE  
PERMIT



1 2ND FLOOR PLAN  
1/8" = 1'-0"







5 SE CORNER PERSPECTIVE



6 NW CORNER PERSPECTIVE

MATERIALS LEGEND

	METAL ROOF		BRICK
	METAL SIDING 1		HORIZONTAL WOOD SIDING
	METAL SIDING 2		SPANDRAL PANEL



4 WEST ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



1 SOUTH ELEVATION  
1/8" = 1'-0"



PARADIGM  
ARCHITECTURE

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BUILDING ELEVATIONS

A.5

CONDITIONAL USE  
PERMIT