



MISSOULA

COMMUNITY PLANNING, DEVELOPMENT & INNOVATION

Development Services Division

435 RYMAN | MISSOULA, MT 59802-4297 | 406.552.6630 | FAX 406.552.6053

CITY CONDITIONAL USE APPLICATION

A. GENERAL INFORMATION

1. One submittal packet is required for Completeness/Sufficiency Review.
2. Once the application is deemed complete by Development Services (DS), 2 submittal packets and the appropriate fee shall be submitted.
3. Name of Conditional Use Request: **Tavern & Casino Conditional Use**

4. Name(s) of Applicant: **Billy Fisher**
Mailing Address: **2728 Carnoustie Way, Missoula MT 59808**
Telephone Number: **406-370-6660**
Email Address: Billyfisher2323@yahoo.com

Suzette Sargent
1603 Drakestone, Nichols Hills OK 73120
405-843-4166
suzisarg@yahoo.com

John Sargent
6955 Linda Vista Blvd, Missoula MT 59803
406-240-0157
sarge.pressbox@gmail.com

5. Name(s) of all Owners of Record: **MMW, LLC. (Brian Walker, Suzette Sargent, John Sargent)**
Mailing Address(es): **PO Box 17754, Missoula, MT 59808**
Telephone Number(s): **(406) 327-1244**
Email Address(es): brian@walkerhd.com, suzisarg@yahoo.com, sarge.pressbox@gmail.com

6. Name and Company of Representative: **Paradigm 3 Architecture/Tori MacPherson**
Mailing Address: **125 1/2 W Main St. Missoula, MT 59802**
Telephone Number: **406-549-6120**
Email Address: tori@paradigm3.com

7. If the applicant is someone other than the property owner, the owner must also sign the application in the space provided below.

Certification: I hereby certify that the foregoing information contained or accompanied in this application is true and correct to the best of my knowledge.

Applicant's Signature

Date

Owner's Signature

Date

Representative's Signature

Date

APPLICANT SIGNATURE 1 OF 3
OWNER SIGNATURE 1 OF 3
REPRESENTATIVE SIGNATURE 1 OF 1



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Suzette Sargent

Applicant's Signature

8/2/22

Date

Suzette Sargent

Owner's Signature

8/2/22

Date

Representative's Signature

OWNER SIGNATURE 2 OF 3
APPLICANT SIGNATURE 2 OF 3

Date



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Date

Owner's Signature

8/1/22
Date

Representative's Signature

Date

B. SUBJECT PROPERTY INFORMATION

General location of subject property and address (if address has been assigned): **NW corner of Mullan Rd and Clark Fork Lane. Address: 3770 & 3720 Mullan Rd.**

Legal Description - complete and unabbreviated: **Tract A of Halling Farms, Tract 1 located in the Northeast Quarter of Section 18, Township 13 North, Range 19 West, P.M.M.**

Township, Range, Section(s): **13N, 18W, 18**

Subdivision, Lot(s), Block(s): **Halling Farms**

Tract(s), COS#: **Tract A of Halling Farms**

Bearings & Distances Descriptions (if boundaries of proposed Conditional Use are not exactly the same as the boundaries of the property legally described above):

Geocode: **04-2200-18-2-02-13-0000**

C. ZONING AND GROWTH POLICY INFORMATION

1. Complete the following table (where applicable, indicate Unzoned):

	Zoning	Current Land Use
Adjacent (North)	B2-2 Community Business/C1-3 Neighborhood Commercial	Multi-dwelling residential/vacant
Adjacent (South)	M1-2 Limited Industrial	commercial, insulation, embroidery
Adjacent (East)	C1-4 Neighborhood Commercial	Financial services, bank, movie theater
Adjacent (West)	B2-2 Community Business	Multi-dwelling residential

2. What is the current zoning of the property? **C1-3 Neighborhood Commercial**

3. What is the applicable comprehensive plan and land use designation for the property?
Community Mixed Use/Regional Commercial and Services

4. What is the conditional use requested? **Tavern and Casino**

D. RESPONSES TO TITLE 20 ZONING ORDINANCE CONDITIONAL USE REVIEW CRITERIA

1. **Review Criteria.** Describe how the proposal meets the following review criteria. (Not all review criteria will apply in every case. Only the applicable review criteria need to be met.)

a. Whether the conditional use is in accordance with the Growth Policy and complies with the Title 20 Zoning Ordinance;

As part of this site's annexation into the city, it was already reviewed to make sure it aligned with the area's growth policy and all other relevant adopted plans.

The 2035 Our Missoula City Growth Policy designates this site as Community Mixed Use and Regional Commercial and Services.

Per City of Missoula:

May 05, 2021

- *Community Mixed Use contains uses which will serve adjacent neighborhoods and the community at large. This designation is along main transportation corridors, with the goal of accommodating vehicular traffic, active transportation methods, and transit. The Growth Policy indicates that the following zoning districts are most closely aligned with the Community Mixed Use Land Use Designation: C1-4, C2-4, M1R-2.*
- *Regional Commercial and Services contains uses with large land requirements; uses which involve outdoor storage of merchandise; uses which are automobile or regional retail-related; uses which provide support service to business or industry; and uses which support highway travel. The Growth Policy indicates that the following zoning districts are most closely aligned with the Regional Commercial and Services Land Use Designation: C1-4, C2-4, M1R-2, and OP3.*

Under current City of Missoula Title 20, 20.10.020 Allowed Uses: Restaurant and Food & Beverage Retail Sales are permitted uses in this zone, Tavern and Casino are conditional uses.

b. Whether the conditional use is in the interest of the public convenience and will not have a significant adverse impact on the general welfare of the neighborhood or community;

We believe the proposed conditional use would benefit the public and surrounding neighborhood. The site is located a few blocks West of the Mullan Rd. and N Reserve St. intersection in a very busy commercial area. To the West is a significant number of residential developments (from multi-family to single family residential). Having the services of a restaurant, tavern, and casino available to the community without the need to access the busy main thoroughfare of N Reserve Street would be beneficial. Multiple neighbors to this site have expressed a need and desire for more dining and entertainment options in the area. The area West of Reserve and North of the river has been the focus of very significant residential development over the last ten years and is slated through recent community master planning to have an even more intensive level of residential development in coming years. This massive increase in citizens living in this area will drive a continuing need for dining and entertainment options.

Additionally, the owners of this proposed business wish to offer a level of service and amenity that is currently only available at one or two other restaurants in the area. The plan is to offer an upscale casual dining experience in the bar, and a fine dining experience in the restaurant with a level of ambiance, food, and service, well above other area businesses. Additionally, the owners plan on offering a wide range of fine wines and gourmet take-and-bake foods from their general store.

For these reasons, we feel this new business will serve as a significant public convenience.

As for adverse impact on the general welfare of the neighborhoods we feel that there are no adverse effects likely because of the creation of this amenity. There are currently similar uses nearby, for example the Magic Diamond Liquor Store and Casino is 200 yards to the East on Mullan Rd, and the newly announced Restaurant, Tavern and Casino at the former Perkins site is less than 300 yards from this site. Given these pre-existing businesses with the same uses we feel that the proposed conditional use would not have a significant impact on the neighborhood, and instead would fit into it well.

- c. Whether the conditional use is compatible with adjacent properties and uses in terms of physical elements such as open space design, screening and buffering and any applicable use specific standards and any other elements considered important by City Council;**

The design of this development was created in a manner to exceed the requirements of the Use and Building Specific Standards in Chapter 20.40 of Title 20. These standards apply to this use and deal in detail and at length with issues of screening and buffering as well as many other standards intended to ensure the development is cohesive, attractive, pedestrian friendly and fits into the context of our community and neighborhoods. As a result, we are confident that the design is compatible with adjacent properties and will enhance the neighborhood. See below for reference to the design standards addressed with this design:

Per Title 20, 20.40.040 – Casinos, Taverns and Nightclubs; Casinos must be located on parcels with frontage on an arterial street. The requirement for frontage on an arterial street does not, however, apply to casinos in the CBD district.

- Per City of Missoula Functional Classification of Streets to be Used for Designing Traffic Control Plans, Mullan Rd is a 2 Lane Arterial street.*

Per Title 20, 20.40.170 – Commercial Uses Not Exceeding 30,000 square feet;

- The building has been oriented to face public and private streets. Being a corner lot, this building has been placed to “hold the corner”.*
- The main customer entrance is located on the North elevation facing the customer parking lot and connected to the site’s sidewalk system.*
- Ground or wall mounted mechanical equipment, utility cabinets, junction boxes, valve boxes, utility meters, and the like will not be placed on, or in front of, primary facades. (The South, East, and North elevations are considered primary facades).*
- As shown on the site plan, a dumpster enclosure will be provided as part of the development to screen trash receptacles from view.*
- Surface parking is located behind the building as required.*
- General Commercial Design Standards that will be met by the proposed project:*
 - 1) Provide color variation in the building façade, including building trim or accent areas,*
 - 2) Provide building façade modulation,*
 - 3) Provide exterior materials that are clearly visibly texturally diverse.*
 - 4) Incorporate windows, doors, and other transparencies to encompass at least 25% of the first story of the building façade between finished grade and 12ft above grade.*
 - 5) Provide varied roof lines and multiple roof planes, with three or more roof slope planes,*

**Please note the exterior materials and colors have not been finalized, however the final selections will comply with the required standards above.*

- d. Whether the conditional use has operating characteristics that are compatible with the surrounding area in terms of hours of operation, outdoor lighting, noise, and traffic generation;**

The use of this site conforms to that of the surrounding area. The outdoor lighting conforms to the surrounding properties, and the hours of operation, noise, and traffic generation are similar to the existing casino and lounge two properties to the east.

Hours of Operation:

The proposed hours of operation for the Casino and Liquor Store functions will be 10am-12am, and the Restaurant/Tavern hours of operation will be 11am-12am. In terms of surrounding area, to the East: the Bank is open 9am-4pm, Movie Theater hours vary ranging from 10am-12am. To the North: residential = N/A. To the West: residential = N/A, To the South: Walmart Supercenter is open 6am-11pm, various commercial businesses 8am-5pm. Approximately 0.2 miles to the East is the intersection of Mullan Rd and N Reserve St. which contains two Casino/Liquor Stores; Magic Diamond's hours of operation are 8am-12:30am, Lucky Lil's Casino is open 24 hours.

Outdoor Lighting:

Site lighting will be provided for safety that complies with City and governmental codes.

Noise:

While no excessive noise is anticipated outside the acceptable level for a Restaurant/Tavern/ & Casino, any noise produced by the proposed business will be contained within the building. Any exterior noise will be consistent with surrounding areas ie. traffic, pedestrians, mechanical equipment, etc.

Traffic Generation:

As part of this development, Clark Fork Lane is being connected through, increasing traffic connectivity in the area, and adding another non-motorized route from north to south in the area. Any increased traffic generation will be during business hours and the site improvements noted above will allow this site to operate in conjunction with the surrounding area.

- e. Whether the conditional use will not have a significant adverse impact on traffic safety or comfort, including all modes of transport (non-motorized and motorized) and will functional and safe in terms of pedestrian, bicycle and vehicular access, parking, loading and servicing;**

As part of this development, Clark Fork Lane is being connected through, increasing traffic connectivity in the area, and adding another non-motorized route from north to south in the area. The site's surrounding frontage and on-site parking area will be functional and safe in terms of pedestrian, bicycle, and all other uses.

- f. Whether the proposed use will not impede the orderly development and improvement of the surrounding properties for uses permitted in the district; and**

The addition of a Tavern and Casino on this property will not impede with the development and improvement of surrounding properties. These uses will be contained within one building that also houses a restaurant and liquor store. The proposed building is the second of three structures being developed on this property, and has had no adverse effects on the design/development of the other two structures.

g. Whether the proposed use and development properly addresses open space, light and protection of natural features.

This building and parking area design for this site was developed in order to maximize the open space, and preserve the natural light in the area. The site was previously developed and contained no undisturbed natural features or native habitat. The site will be fully developed but landscape areas will be created in a manner to create natural features and introduce flora and fauna to the site. Erosion protection protocol's, dust control measures, site clean-off mats and other standards of care have been and will continue to be implemented during construction to protect surrounding sites and natural areas.

2. Factors to be Considered.

Section 20.85.070(I) In determining whether all applicable review criteria have been satisfied, the City Council may specifically consider agency and public testimony

E. ATTACHMENTS

As separate attachments (8.5" x 11" or 11" x 17"), provide the following materials with the site clearly identified. Where appropriate, required information may be combined as long as the information is clearly presented. Please check the box if the material is included in the packet. If the material is not included in the submittal packet, please note "N/A".

- ☒ **A cover letter** describing the purpose of the proposed project, existing site conditions, and a brief description of the proposal.
- ☒ **A vicinity map** showing the subject property and the area within 300 feet of the subject property.
- ☒ **A Zoning map** of the subject property and vicinity (showing the existing zoning district), extending at least 300 feet from the property boundaries.
- ☒ **An aerial photo** of the subject property and vicinity extending at least 300 feet from the property boundaries.
- ☒ **A Growth Policy/Comprehensive Plan map** of the subject property and vicinity extending at least 300 feet from the property boundaries for the applicable comprehensive plan, clearly showing the land use designation of the subject property and surrounding properties.
- ☒ **The current plat** of the subject property.
- ☒ **A site plan**, including existing and proposed landscaping, parking, streets/access, sidewalks, bike lanes, and any other improvements to the property.
- ☒ **Building elevation drawings** of all proposed structures and/or photos of existing structures.
- ☒ **Floor plans** of all existing and proposed buildings.

To Whom It May Concern,

On behalf of the property owners of 3770 & 3720 Mullan Rd. Missoula, MT 59808, we are requesting a Conditional Use Permit for Tavern and Casino uses at the above noted address.

This new food and beverage business is to offer a higher level of dining, shopping and entertainment experience than is currently available in the neighborhood. "Cru" will offer a wide range of bistro style menu options including fine steaks, seafood, and pizzas. The pub area will be a large airy atrium space with large amounts of glass and two bars on two levels. There will be an upstairs banquet room overlooking the river and offering views to the Southeast. There will also be a fine dining area that will be quieter and more subdued with a distinctly different menu than the atrium bar. There will also be a casino and a market which will feature fine wines, spirits, and take-and-bake foods. The entire goal is to create a place for area residents to have a variety of food and beverage experiences that leave them energized and glad to live in this part of Missoula. Attached you will find the proposed floor plans and building elevations.

The property currently has three buildings under design and development; the 1st being an office building (permit submitted by others), the second the restaurant under this submittal, and the third TBD by developer.

Under current City of Missoula Title 20, 20.10.020 Allowed Uses: Restaurant and Food & Beverage Retail Sales are permitted uses in this zone, Tavern and Casino are conditional uses. As noted in our application, there are multiple examples of businesses with the same uses within ¼ mile of this site.

Our client believes this development will be beneficial to the neighborhood and surrounding area. It is clear given the incredible growth in residential units in this area that there is a desire and need for more dining and entertainment venues to serve the many current, as well as thousands of soon-to-be, neighbors.

We look forward to working through the CUP process with you.

Sincerely,
Tori MacPherson
tori@paradigm3.com

RE: Conditional Use Scoping Meeting

Date: 9/16/21

Attendants: DS Staff Lauren Stevens, Cassie Tripard, and Tori MacPherson

In response to items brought up during the Conditional Use Scoping Meeting concerning this property:

Building square footage:

It is the developer's intent that the total square footage for all three buildings on site DOES NOT exceed 30,000 square feet, therefore the Enterprise Commercial conditional use is not being requested.

Parking:

Vehicular:

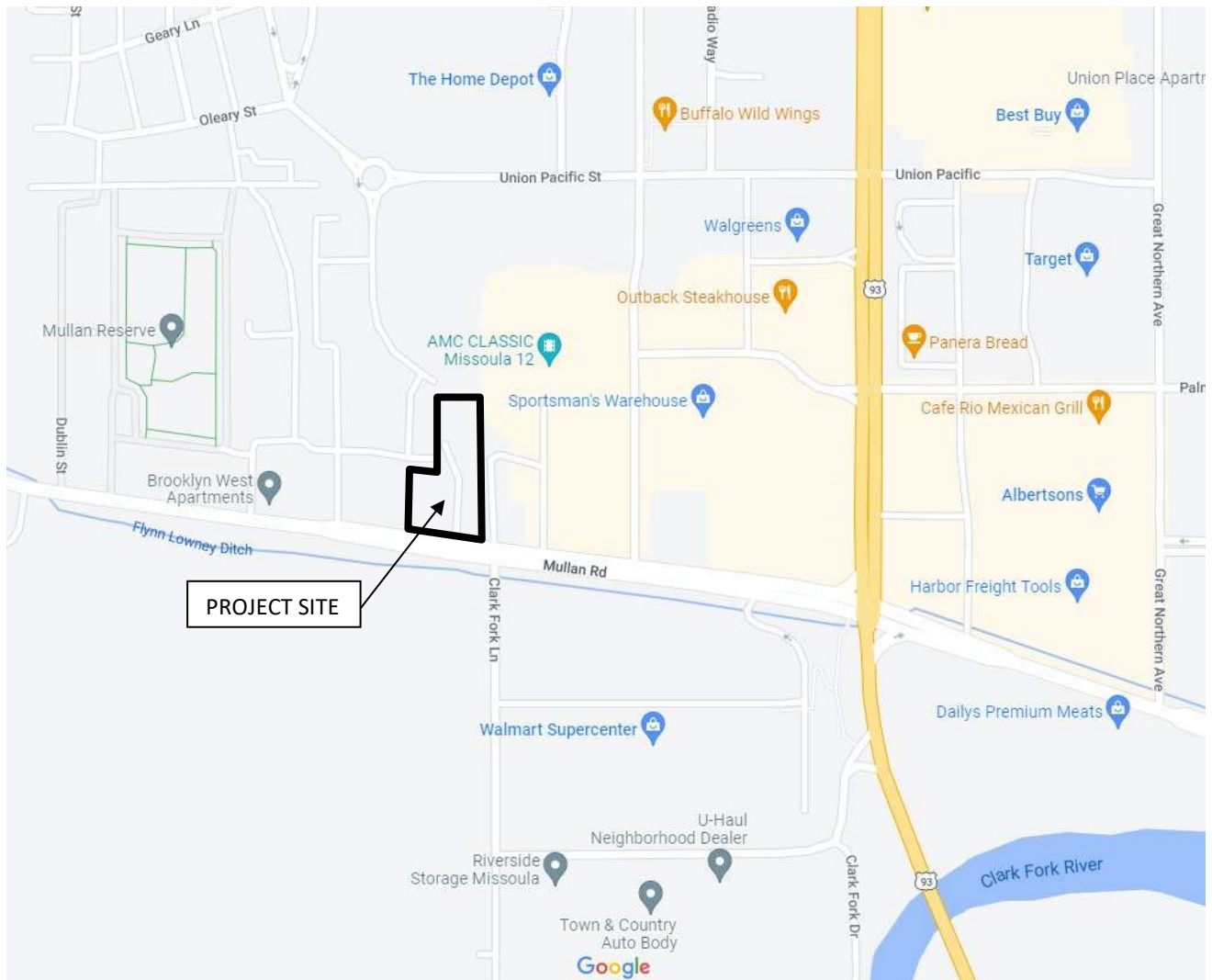
This development provides 101 parking spaces. 18 spaces are required for the proposed commercial building, as submitted by others. 78 spaces are required for the proposed restaurant building under this application. The developer is aware this leaves 5 spaces to support the third, TBD building. The developer will provide either a shared parking agreement or a building that only requires 5 spaces, at the time that building is submitted to the AJH. The design and development of the third building is by others, and not included in this submittal.

Bike Parking:

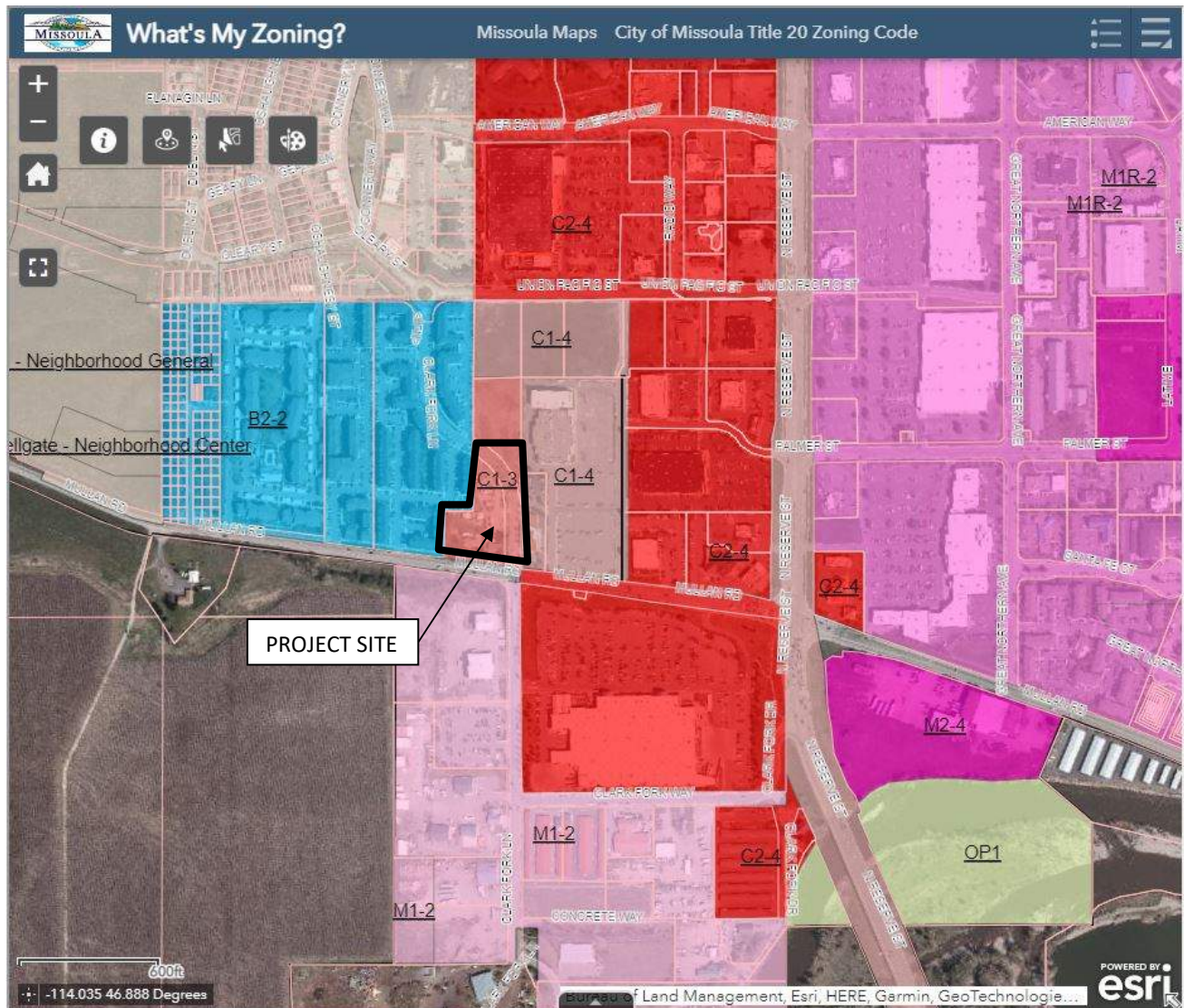
Short term and long term bike parking for the proposed restaurant building is included on the site plan. Required bike parking for the other two buildings on site is by others and not included in this submittal.

Please see attached parking calculations included on the floor plans.

VICINITY MAP:



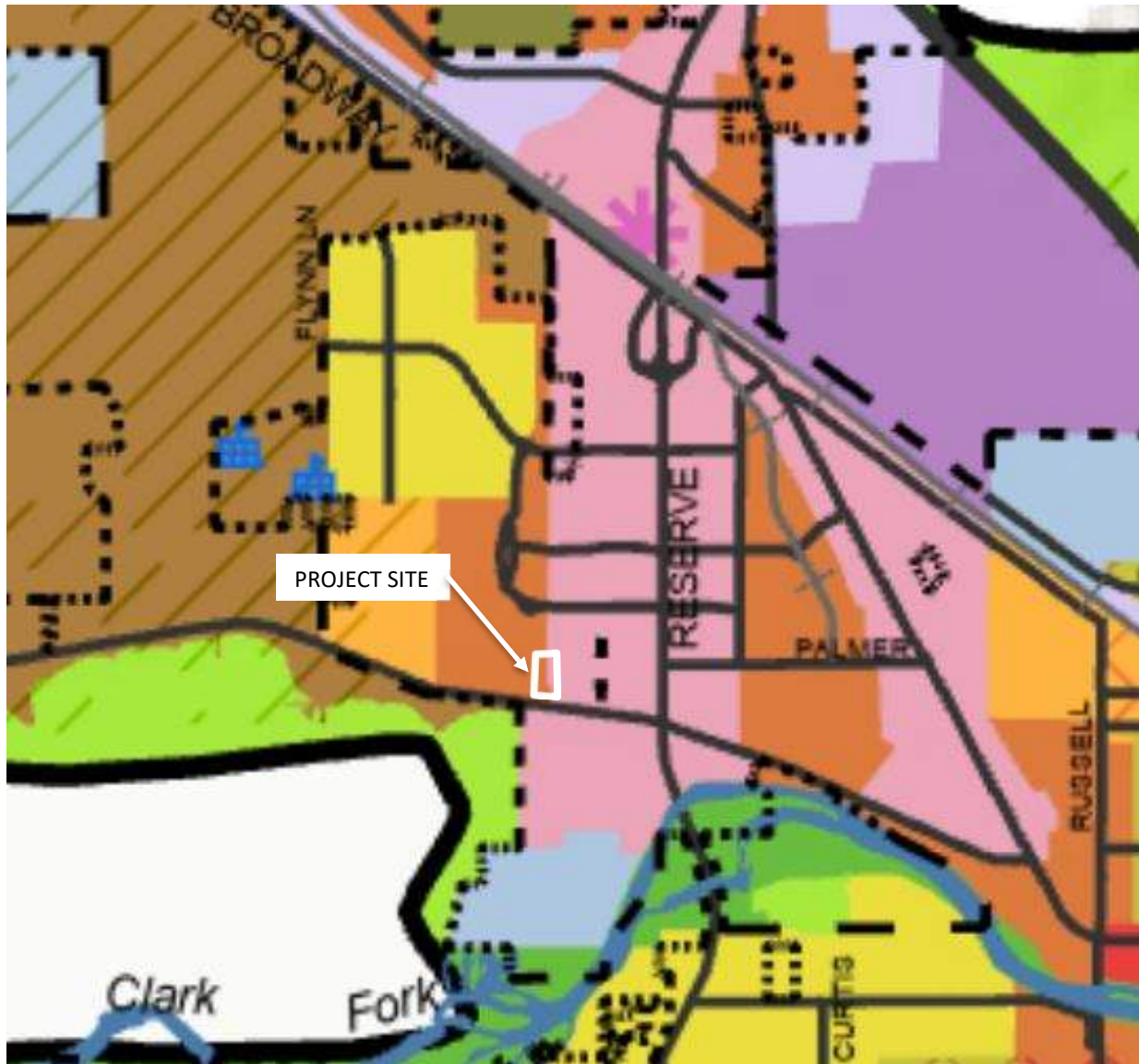
ZONING MAP:



AERIAL PHOTO:



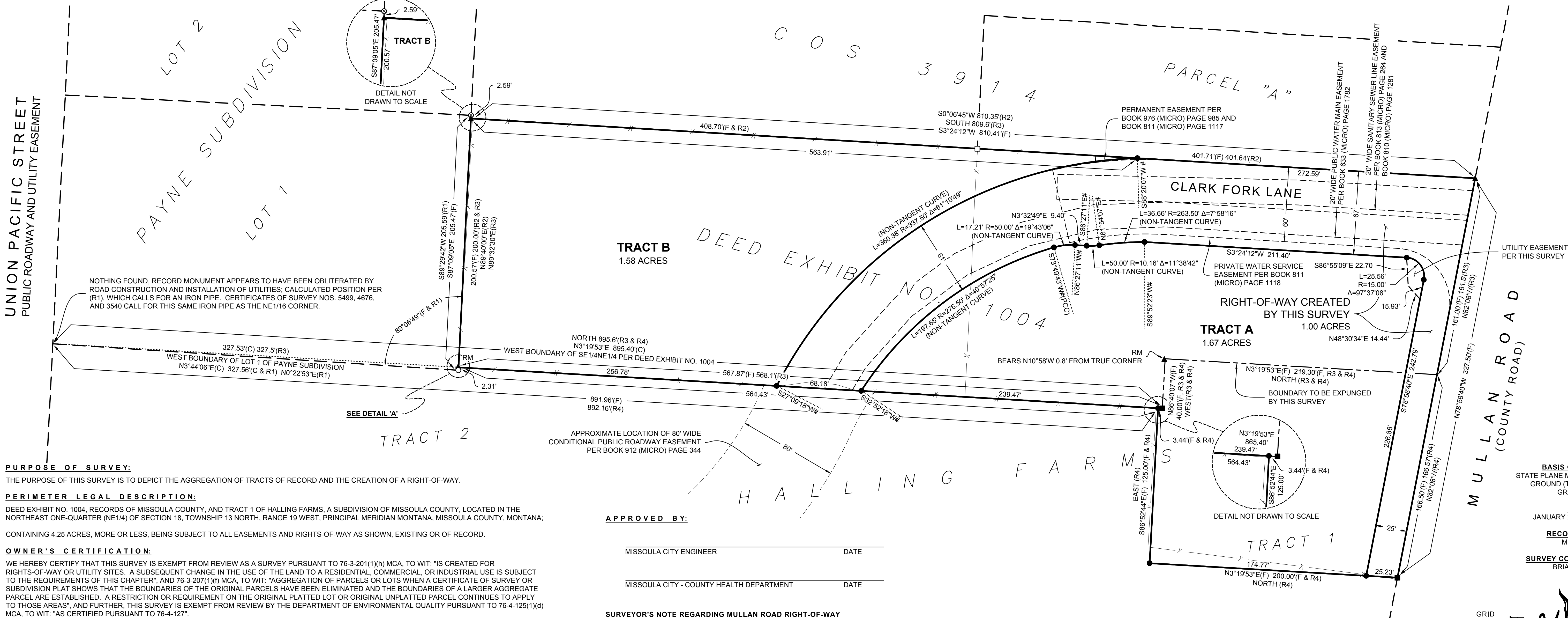
GROWTH POLICY/COMPREHENSIVE PLAN:



Land Use	
	Community Mixed Use
	Neighborhood Mixed Use
	Urban Center
	Regional Commercial and Services
	Open and Resource
	Parks and Open Lands
	Public and Quasi-Public
	Residential High Density - Greater than 24 units per acre
	Residential Medium High Density - 12 to 23 units per acre
	Residential Medium Density - 3 to 11 units per acre
	Residential Low Density - 1 to 2 units per acre
	Residential Rural - Less than 1 unit per 2 acres
	Sxwtpqyen (S-wh-tip-KAYN) Neighborhoods
	Industrial Light
	Industrial Heavy

HALLING FARMS, TRACT 1

LOCATED IN THE NE1/4 OF SECTION 18, T.13N., R.19W., P.M.M., CITY OF MISSOULA, MISSOULA COUNTY, MONTANA



PURPOSE OF SURVEY:

THE PURPOSE OF THIS SURVEY IS TO DEPICT THE AGGREGATION OF TRACTS OF RECORD AND THE CREATION OF A RIGHT-OF-WAY.

PERIMETER LEGAL DESCRIPTION:

DEED EXHIBIT NO. 1004, RECORDS OF MISSOULA COUNTY, AND TRACT 1 OF HALLING FARMS, A SUBDIVISION OF MISSOULA COUNTY, LOCATED IN THE NORTHEAST ONE-QUARTER (NE1/4) OF SECTION 18, TOWNSHIP 13 NORTH, RANGE 19 WEST, PRINCIPAL MERIDIAN MONTANA, MISSOULA COUNTY, MONTANA;

CONTAINING 4.25 ACRES, MORE OR LESS, BEING SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY AS SHOWN, EXISTING OR OF RECORD.

OWNER'S CERTIFICATION:

WE HEREBY CERTIFY THAT THIS SURVEY IS EXEMPT FROM REVIEW AS A SURVEY PURSUANT TO 76-3-201(1)(h) MCA, TO WIT: "IS CREATED FOR RIGHTS-OF-WAY OR UTILITY SITES. A SUBSEQUENT CHANGE IN THE USE OF THE LAND TO A RESIDENTIAL, COMMERCIAL, OR INDUSTRIAL USE IS SUBJECT TO THE REQUIREMENTS OF THIS CHAPTER", AND 76-3-207(1)(f) MCA, TO WIT: "AGGREGATION OF PARCELS OR LOTS WHEN A CERTIFICATE OF SURVEY OR SUBDIVISION PLAT SHOWS THAT THE BOUNDARIES OF THE ORIGINAL PARCELS HAVE BEEN ELIMINATED AND THE BOUNDARIES OF A LARGER AGGREGATE PARCEL ARE ESTABLISHED. A RESTRICTION OR REQUIREMENT ON THE ORIGINAL PLATTED LOT OR ORIGINAL UNPLATTED PARCEL CONTINUES TO APPLY TO THOSE AREAS", AND FURTHER, THIS SURVEY IS EXEMPT FROM REVIEW BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY PURSUANT TO 76-4-125(1)(d) MCA, TO WIT: "AS CERTIFIED PURSUANT TO 76-4-127".

MMW, LLC

BY: _____
AS: _____ FOR MMW, LLC.

STATE OF _____
COUNTY OF _____

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____, BY _____
AS _____ FOR MMW, LLC.

SS _____
NOTARY PUBLIC

CITY OF MISSOULA ACCEPTANCE OF RIGHT-OF-WAY:

THE CITY OF MISSOULA DOES HEREBY APPROVE AND ACCEPT THAT RIGHT-OF-WAY SURVEYED AND SHOWN HEREON, TO BE USED AS A PUBLIC RIGHT-OF-WAY.

DATED THIS _____ DAY OF _____, 20____.

SS _____
MAYOR, CITY OF MISSOULA

ATTEST: _____
CLERK, CITY OF MISSOULA

PREPARED BY:



1817 SOUTH AVE. W. STE. A PH: 406.721.0142
MISSOULA, MT FAX: 406.721.5224
59801 www.imegcorp.com
IMEG PROJECT NO. 20001714

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY SUPERVISION, AND SUBSTANTIALLY COMPLETED ON THE DATE SHOWN HEREON.

SS _____
MATTHEW JACOBSON, PROFESSIONAL LAND SURVEYOR DATE _____
MONTANA LICENSE NO. 13748LS



APPROVED BY:

MISSOULA CITY ENGINEER DATE _____

MISSOULA CITY - COUNTY HEALTH DEPARTMENT DATE _____

SURVEYOR'S NOTE REGARDING MULLAN ROAD RIGHT-OF-WAY

MULLAN ROAD IS KNOWN TO BE A SIXTY-SIX FOOT WIDE PUBLIC RIGHT-OF-WAY PER "AN ACT REGULATING THE WIDTH OF ROADS" AND "AN ACT TO DELCLARE THE MILITARY OR MULLAN ROAD A PUBLIC HIGHWAY" ESTABLISHED BY THE FIFTH LEGISLATIVE ASSEMBLY OF THE TERRITORY OF MONTANA IN 1889 AND THE FIRST LEGISLATIVE ASSEMBLY OF THE TERRITORY OF MONTANA IN 1865. THIS FACT IS COMPLICATED BY THE PRECEDENT SET IN MORE RECENT HISTORY BY SURVEYORS, ATTORNEYS AND TITLE PROFESSIONALS WHO HAVE PURPORTED THE RIGHT-OF-WAY TO BE SIXTY FEET IN WIDTH.

GIVEN THAT THE NORTH LINE OF THE SIXTY-SIX FOOT WIDE RIGHT-OF-WAY WOULD LAY INSIDE OF THE PUBLIC RIGHT-OF-WAY INTENDED TO BE CREATED AND GRANTED TO THE CITY OF MISSOULA BY THIS SURVEY, THE DISCREPANCY BETWEEN THE LOCATION OF THE ACTUAL SIXTY-SIX FOOT RIGHT-OF-WAY AND THE LOCATION OF THE PURPORTED SIXTY FOOT WIDE RIGHT-OF-WAY IS NOT GRAPHICALLY DEPICTED OR ADDRESSED HEREON.

GRANT OF RIGHT-OF-WAY AND UTILITY EASEMENT:

WE DO HEREBY DEDICATE THAT RIGHT-OF-WAY SURVEYED AND SHOWN HEREON TO THE CITY OF MISSOULA AS A PUBLIC RIGHT-OF-WAY, AND

FURTHER, WE DO HEREBY GRANT UNTO EACH AND EVERY PERSON, FIRM, OR CORPORATION, WHETHER PUBLIC OR PRIVATE, PROVIDING OR OFFERING TO PROVIDE TELEPHONE, TELEGRAPH, ELECTRIC POWER, GAS, CABLE TELEVISION, WATER, OR SEWER SERVICE TO THE PUBLIC, THE RIGHT TO THE JOINT USE OF AN EASEMENT FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, AND REMOVAL OF THEIR LINES AND OTHER FACILITIES, IN, OVER, UNDER, AND ACROSS EACH AREA DESIGNATED ON THIS PLAT AS "UTILITY EASEMENT" TO HAVE AND TO HOLD FOREVER.

MMW, LLC

BY: _____
AS: _____ FOR MMC, LLC.

STATE OF _____
COUNTY OF _____

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____, BY _____ AS _____ FOR MMW, LLC.

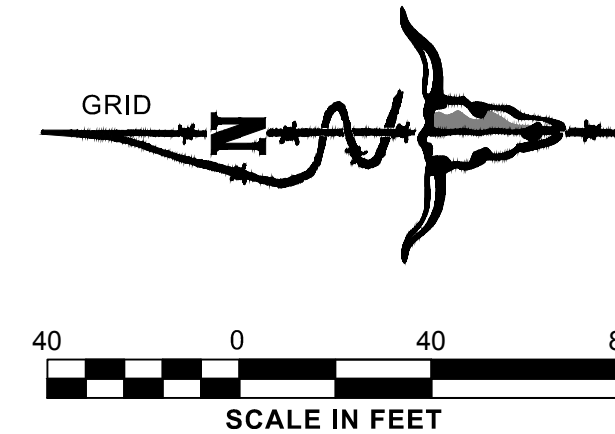
SS _____
NOTARY PUBLIC

BASIS OF BEARING:
STATE PLANE MONTANA - ZONE 2500
GROUND (TRUE) DISTANCES
GRID NORTH

DATE:
JANUARY 2020 - APRIL 2021

RECORD OWNER:
MMW, LLC

SURVEY COMMISSIONED BY:
BRIAN WALKER



LEGEND

- = SET 5/8"x24" REBAR WITH 1-1/4" YELLOW PLASTIC CAP (JACOBSON, 13748LS)
- ⊗ = FOUND 1-1/4" YELLOW PLASTIC CAP (WGM GROUP KFA 13734LS)
- = FOUND 1-1/4" YELLOW PLASTIC CAP (HOWARD 8376S)
- = FOUND BOAT SPIKE
- ▲ = FOUND 1-1/2" SQUARE HEAD BOLT
- = FOUND 5/8" REBAR (NO CAP)
- (F) = FOUND THIS SURVEY
- (R1) = RECORD OR ADDITIVE PER PAYNE SUBDIVISION
- (R2) = RECORD OR ADDITIVE PER CERTIFICATE OF SURVEY NO. 3914
- (R3) = RECORD OR ADDITIVE PER DEED EXHIBIT NO. 1004
- (R4) = RECORD OR ADDITIVE PER HALLING FARMS
- RM = REFERENCE MONUMENT
- # = RADIAL BEARING
- (PCC) = POINT OF COMPOUND CURVATURE
- X— = FENCELINE (EXISTING AT TIME OF FIELD SURVEY)

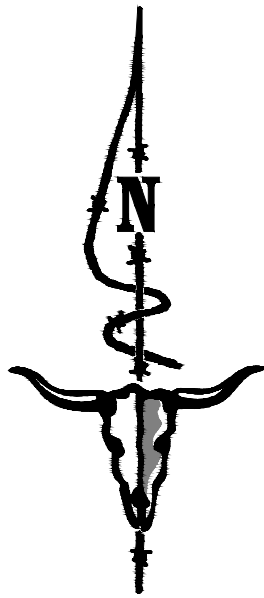
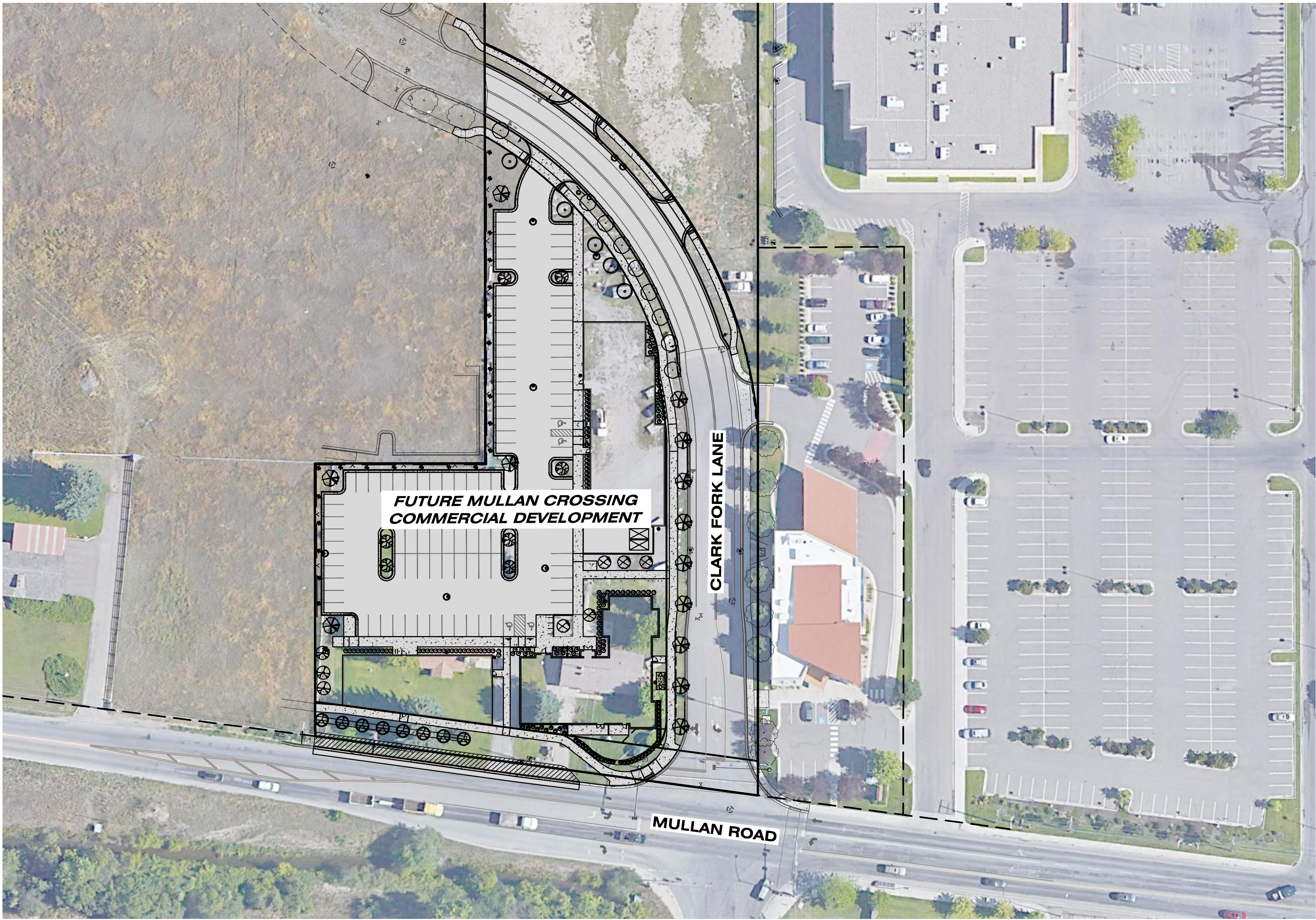
1/4	SEC.	T.	R.
<input checked="" type="checkbox"/>	18	13N.	19W.

SHEET 1 OF 1
HALLING FARMS, TRACT 1
AN AMENDED SUBDIVISION OF MISSOULA COUNTY

COUNTY TRACKING NO. 21-00456

CIVIL CONSTRUCTION PLANS

LOCATED ON CLARK FORK LANE NORTH OF MULLAN ROAD
LOCATED IN SECTION 18, T.13N., R.19W., P.M.M., MISSOULA COUNTY, MONTANA.



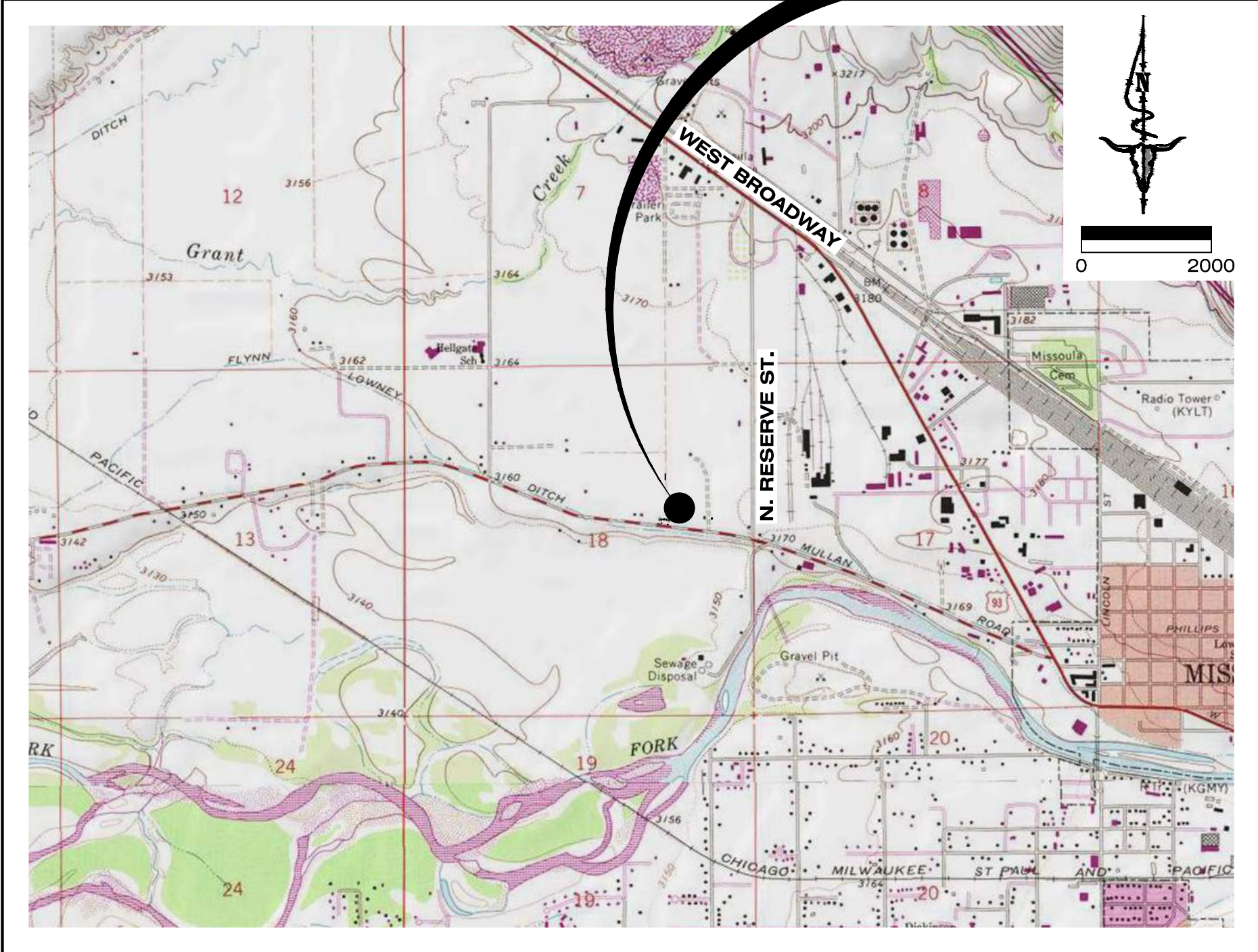
CALL UTILITY NOTIFICATION
CENTER OF MONTANA
1-800-424-5555
CALL FOR THE MARKING OF
UNDERGROUND UTILITIES
2 BUSINESS DAYS BEFORE
YOU DIG, GRADE, OR EXCAVATE



SHEET INDEX

DESCRIPTION	SHEET NO.
LEGEND AND NOTES	SHEET 2 OF 9
SWPPP PLAN	SHEET 3 OF 9
DEMOLITION PLAN	SHEET 4 OF 9
SITE PLAN	SHEET 5 OF 9
GRADING AND DRAINAGE PLAN	SHEET 6 OF 9
LANDSCAPE PLAN	SHEET 7 OF 9
LANDSCAPE DETAILS	SHEET 8 OF 9
IRRIGATION PLAN	SHEET 9 OF 9
DETAIL SHEET	SHEET D1 OF D2
DETAIL SHEET	SHEET D2 OF D2

VICINITY MAP



MISSOULA, MISSOULA COUNTY, MT

PROJECT STATUS		
THESE PLANS REQUIRE, AT A MINIMUM, APPROVAL FROM THE AGENCIES LISTED BELOW. THEREFORE, THE OWNER & CONTRACTOR ARE ADVISED THAT BIDS & CONTRACTS SHOULD NOT BE FINALIZED UNTIL INDICATED BELOW.		
AGENCIES REVIEW STATUS:	REFERENCE #	APPROVAL DATE
CITY OF MISSOULA (CITY)	-	-
PLAN SET IS READY FOR CONSTRUCTION <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
AS-BUILT DATE: _____		
PROJECT HAS BEEN CONSTRUCTED IN GENERAL CONFORMANCE WITH THE ABOVE APPROVALS, STATED SPECIFICATIONS, AND SHOWN HERE IN, UNLESS OTHERWISE SPECIFIED.		
PROJECT NOTES:		



DATE	08/10/2021
REVISIONS	08/03/2021
REV 1	10/22/2021
REV 2	05/24/2022
REV 3	
REV 4	
REV 5	

DESIGNED:	CM
DRAFTED:	AE
CHECKED:	JR
DATE:	04/26/2022

LOCATION: D.L.E. 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.M.M. MISSOULA COUNTY, MONTANA	PREPARED FOR: MMW, LLC
--	---------------------------

PROJECT NAME MULLAN CROSSING COMMERCIAL DEVELOPMENT	SHEET TITLE CIVIL CONSTRUCTION PLANS COVER SHEET
---	--

PROJECT NO. 19-5458	SHEET 1 OF 9
------------------------	-----------------

DWG LOCATION: C:\MISSOULA\PROJECTS\ACTIVE\19-5458\19-5458-01\19-5458-01.DWG
DRAWING TITLE: CIVIL CONSTRUCTION PLANS COVER SHEET
DRAWING NO: 19-5458-01

LEGEND	
EXISTING	PROPOSED
	(P) PROPERTY LINE
	(P) EASEMENT
	(P) WATER LINE
	(P) WATER SERVICE
	(P) SEWER LINE
	(P) SEWER SERVICE
	(P) SEWER FORCE MAIN
	(P) SEWER FORCE MAIN SERVICE
	(P) STORM DRAIN PIPE
	(P) OVERHEAD UTILITY
	(P) BURIED POWER
	(P) GAS LINE
	(P) TELEPHONE LINE
	(P) TELEVISION LINE
	(P) FIBER OPTIC LINE
	(P) ROAD CENTERLINE
	(P) FENCE LINE
	(P) DITCH
	(P) SWALE
	(P) IRRIGATION FORCE MAIN
	(P) STREAM
	(P) MAJOR CONTOUR
	(P) MINOR CONTOUR
	(P) ASPHALT
	(P) GRAVEL
	(P) CONCRETE
	(P) SEWER MANHOLE
	(P) SEWER CLEANOUT
	(E) SOIL PROFILE
	(E) PERCOLATION TEST
	(E) GROUNDWATER MONITORING
	(E) SEPTIC TANK
	(E) DRAINFIELD
	(E) WELL
	(E) FIRE HYDRANT
	(E) WATER METER
	(E) WATER VALVE
	(E) REDUCER
	(E) THRUST BLOCK
	(P) WATER BLOW-OFF
	(P) CURB BOX
	(P) STORM DRAIN MANHOLE
	(P) CULVERT
	(P) CURB INLET
	(P) CATCH BASIN
	(P) SUMP
	(P) UTILITY MANHOLE
	(P) LIGHT POLE
	(P) SIGN
	(P) MAILBOX
	(P) DECIDUOUS TREE
	(P) CONIFEROUS TREE
	(P) BUSH/ SHRUB

SYMBOLS

DETAIL DESIGNATOR		DETAIL SECTION
SHEET DESIGNATOR		
DETAIL DESIGNATOR		DETAIL CALLOUT
SHEET DESIGNATOR		
PROPOSED ELEVATION		KEYED NOTE CALLOUT
EXISTING ELEVATION		
PROPOSED ELEVATION		SPOT ELEVATION CALLOUT
EXISTING ELEVATION		
		SLOPE GRADE
		FLOW DIRECTION

GENERAL CONDITIONS OF CONSTRUCTION:

- The Standard General Conditions of the Contract prepared by the Engineers Joint Contract Documents Committee (Copyright 2007), as included in Montana Public Works Standard Specifications, are herein referred to as the General Conditions within these Drawings. Copies of the General Conditions will be provided to Contractor upon written request to Engineer.
- Wherever used in these Drawings, the terms, whether printed with initial capital letters or not, as listed in the Standard General Conditions of the Construction Contract (General Conditions), Article 1 - Definitions and Terminology, prepared by the Engineers Joint Contract Documents Committee (Copyright 2007) will have the meanings indicated, which are applicable to both the singular and plural thereof, except as follows:
 - The Contract Documents shall mean the Drawings as shown in these plans and any applicable referenced standards, specifications, or laws.
 - The Contract Price shall mean the moneys payable by Owner to Contractor for completion of the Work in accordance with the Agreement.
 - The Contract Times shall mean the number of days or the dates stated in the Agreement to complete the Work so that it is ready for final payment. If no such dates are established, the Contract Time shall be 120 days to complete the Work.
 - Effective Date of the Agreement shall have the meaning as listed in the General Conditions, Article 1. If no such Agreement exists, the Effective Date of the Agreement shall be the day the Contractor proceeds with the Work.
- By proceeding with the Work as shown on these Drawings, the Contractor makes the following representations:
 - Contractor has examined and carefully studied the Drawings and other related data.
 - Contractor is familiar with and is satisfied as to all federal, state and local laws and Regulations that may affect cost, progress, performance and furnishing of the Work.
 - Contractor has visited the site and become familiar with and is satisfied as to the general, local and Site conditions that may affect cost, progress, performance or furnishing of the Work.
 - Contractor acknowledges that Owner and Engineer do not assume responsibility for the accuracy or completeness of information and data shown or indicated in the Drawings with respect to Underground Facilities at or contiguous to the site.
 - Contractor has obtained and carefully studied (or assumes responsibility for having done so) all such additional supplementary examinations, investigations, explorations, tests, studies and data concerning conditions (surface, subsurface and Underground Facilities) at or contiguous to the site or otherwise, which may affect cost, progress, performance or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences and procedures of construction to be employed by Contractor including applying the specific means, methods, techniques, sequences and procedures of construction, if any, expressly required by the Drawings to be employed by the Contractor, and safety precautions and programs incident thereto.
 - Contractor is aware of the general nature of work to be performed by Owner and others at the site that relates to the Work.
 - Contractor has given Engineer written notice of all conflicts, errors, ambiguities or discrepancies that Contractor has discovered in the Drawings and the written resolution thereof by Engineer is acceptable to Contractor.
 - The Drawings are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
- In resolving disputes resulting from conflicts, errors or discrepancies, the order of precedence shall be as follows, as applicable to this project: Written agreement between owner and contractor, specifications, Drawings. Within the Specifications, the order of precedence is as follows, as applicable to this project: Addenda/Change Orders, Contractor's Bid, Special Provisions, Instructions to Bidders, Supplemental General Conditions, Notice Inviting Bids, General Conditions, Technical Specifications, Referenced Standard Specifications. With reference to the Drawings, the order of precedence is as follows, as applicable to this project: Figures govern over scaled dimensions, Detail drawings govern over general drawings, Addenda/Change Order drawings govern over contract drawings, contract drawings govern over standard drawings, contract drawings govern over shop drawings.
- If Contractor believes that any subsurface or physical condition at or contiguous to the Site that
 - is uncovered or revealed either is of such a nature as to require a change in the Drawings; or
 - differs materially from that shown or indicated in the Drawings; or
 - is of an unusual nature, and differs materially from conditions ordinarily encountered and generally recognized as inherent in work of the character provided in the drawings;
 then Contractor shall promptly after becoming aware thereof and before further disturbing the subsurface or physical conditions or performing any Work in connection therewith (except in an emergency), notify Owner and Engineer in writing about such condition. Contractor shall not further disturb such condition or perform any Work in connection therewith (except as aforesaid) until receipt of written order to do so.
- Section 2.06 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.03.A.2 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.05 of the General Conditions is hereby incorporated into these Drawings.
- Section 3.06 of the General Conditions is hereby incorporated into these Drawings.
- Section 4.05 of the General Conditions is hereby incorporated into these Drawings.
- Section 6.01, 6.02.A, and 6.03 of the General Conditions are hereby incorporated into these Drawings.
- Substitutes and "Or-Equals" items are subject to the provisions of the General Conditions, Section 6.05.
- Section 6.13 of the General Conditions is hereby incorporated into these Drawings, except that Section 6.13.D shall be replaced with the following sentence.
Contractor's duties and responsibility for safety and for protection of the Work shall continue until such time as all the Work is completed and Engineer and Owner, as applicable to the Work, have accepted that the work is complete.
- Section 6.11, 6.14, 6.15, 6.16, 6.18, 6.19, 6.20, and 6.21 of the General Conditions are hereby incorporated into these Drawings.
- Article 9 - Engineer's Status During Construction of the General Conditions is hereby incorporated into these Drawings, except as follows:
 - Delete the last sentence of Section 9.05.A.
 - Delete Section 9.06, 9.07, 9.08.B, 9.08.C, and 9.09.D.
- Section 10.02 of the General Conditions is hereby incorporated into these Drawings.
- Article 13 - Tests and Inspections, Correction, Removal or Acceptance of Defective Work of the General Conditions is hereby incorporated into these Drawings.

STANDARD SPECIAL PROVISIONS:

- The Contractor shall be responsible for all permits, licenses and fees required for completion of this project unless specifically noted otherwise.
- The Contractor shall provide the Owner with a 24 hour phone number of a party responsible and capable of immediate local response to emergency maintenance for the duration of the Work. Contractor shall provide the name of the responsible party and phone number in writing prior to proceeding with the Work.
- Unless noted otherwise, the contractor shall be responsible for any necessary traffic control on and off-site including obtaining any applicable permits.
- Material stockpiled along the project route shall be done so in a manner that does not affect public safety and is in a neat and orderly fashion.
- The Contractor shall be responsible for disposing of all waste and excess materials such as, but not limited to: vegetation, trees, brush, asphalt, concrete, sub-grade soils, etc., offsite in accordance with local, state and federal laws. The Owner reserves the right to request certain waste materials to be stockpiled at a location on-site.
- The contractor will be responsible to adhere to the MDEQ or EPA approved Storm Water Pollution Prevention Plan (SWPPP), if applicable to the project. The contractor is responsible for repairing any damage made to BMPs identified in the SWPPP. The approved Storm Water Pollution Prevention Plan will be provided by Owner to Contractor upon written request. If a SWPPP has not been prepared for the project, but is required by regulation, the Contractor is responsible for preparing and submitting a Notice of Intent and SWPPP.
- The Contractor will be required to make every effort to immediately restore the construction area once the construction task is completed. All seeding shall be completed in accordance with MPWSS 02910. This includes such required activities as finish grading, spreading of topsoil, restoring irrigation, replacing traffic and street signs, etc. The contractor will have 48 hours to begin restoration once the construction task in the immediate area is complete. Once restoration is begun, it must be completed without interruption to the extent possible.
- After all work on this project is completed and before final acceptance of the project, the entire project shall be neatly finished to the lines, grades, and cross sections shown on the plans and as hereinafter specified.
 - Drainage facilities, such as inlets, catch basins, storm pipe, culverts, and curb and gutter shall be cleaned of all debris, gravel, silts or other foreign material.
 - The Contractor shall remove and dispose of all construction stakes.
 - All areas disturbed by the construction shall be shaped to present a uniform appearance blending into the contour of adjacent properties. All surface replacement and landscaping shall be completed.
 - Except as otherwise permitted, all excess excavated materials shall be disposed of away from the site of the work.
 - Broken concrete and other debris resulting from pavement or sidewalk removal, excavated rock in excess of the amount permitted, and other waste and debris encountered in excavated work, and other similar waste materials shall be disposed of away from the site.
 There will be no separate measurement or payment for cleanup, and all costs for such work shall be included in the Contract Price.
- No on-site burning of waste materials will be allowed.
- If a street has not been surfaced and cleaned, the Contractor shall be responsible for dust control and maintenance of the street. Also, if detours are made on a gravel road, the Contractor is responsible for dust control and maintenance on the detours. See "Air Quality" below also.
- Daily street sweeping shall be completed on both ends of each street during construction. Unpaved detours or any other fugitive dust emission sources from construction and demolition should be watered and/or chemically stabilized so emissions are less than 20% opacity.

UTILITY NOTES:

- The Contractor shall notify appropriate personnel for utility locations and notice of construction commencement at least two business days prior to proceeding with the Work. Before Contractor proceeds with the Work, a common locate service (One Call) is available at 1-800-424-5555. All Underground Facilities may not be located by the One Call service including but not limited to such Underground Facilities as irrigation systems, public and private water and sewer systems, etc.
- The information and data shown or indicated in the Drawings with respect to existing Underground Facilities at or contiguous to the Site is based on information and data furnished to Owner or Engineer by the owners of such Underground Facilities, including Owner, or by others. Unless it is otherwise noted:
 - Owner and Engineer shall not be responsible for the accuracy or completeness of any such information or date; and
 - The cost of all of the following will be included in the Contract Price, and Contractor shall have full responsibility for:
 - Reviewing and checking all such information and data,
 - Locating all Underground Facilities shown or indicated in the Drawings,
 - Coordination of the Work with the owners of such Underground Facilities, including Owner, during construction, and
 - The safety and protection of all such Underground Facilities and repairing any damage thereto resulting from the Work.
 - At least 2 business days before beginning any excavation, the Contractor shall, according to MCA 69-4-501, notify all owners of underground facilities and coordinate the Work with the owners of such underground facilities. The information shown or indicated in the Drawings with respect to existing underground facilities is based on information and data obtained from the owners of the facilities without field exploration, and as such, Owner and Engineer are not responsible for the accuracy or completeness of such information or data.
- The Contractor shall support and protect all exposed utilities in conformance with the utility owner's standards.
- All utility services shall be constructed per the International Plumbing Code, Local Jurisdictional policy, and the service provider standards and specifications.
- All utility work shall be completed before paving.

SUBMITTALS, QUALITY CONTROL & ASSURANCE, INSPECTIONS, AND TESTING:

- Contractor shall comply with Summary of Work, Section 01010, MPWSS.
- Contractor shall comply with Project Coordination, Section 01041, MPWSS.
- Contractor shall comply with Field Engineering, Section 01050, MPWSS. Replace Part 1.1.A with
"Notify Engineer of required survey work at least 5 days before starting work."
- Contractor shall comply with Submittals, Section 01300, MPWSS.
- Contractor shall comply with the Contractor Quality Control and Owner Quality Assurance, Section 01400 MPWSS.
- Contractor shall comply with Contract Closeout, Section 01700, MPWSS.
- Contractor shall comply with all Density Control Testing, Part 1.3, for Sub Base Course, Section 02234 MPWSS. This does not include any other requirements of Section 02234 MPWSS.
- Contractor shall comply with all Density Control Testing, Part 1.3, and Materials Submittals, Part 1.4, for Crushed Base Course, Section 02235 MPWSS. This does not include any other requirements of Section 02235 MPWSS.
- Contractor shall comply with Pavement and Material Testing Requirements, Part 3.29, for Asphalt Concrete Pavement, Section 02510 MPWSS. This does not include any other requirements of Section 02510 MPWSS.
- Contractor shall complete trench excavation and backfill in accordance with Section 02221 MPWSS. This includes backfill for storm drainage infrastructure.
- The Contractor shall coordinate with Engineer to obtain samples of trench backfill material to be used on-site. This includes backfill for storm drainage infrastructure.
- Contractor will be responsible for coordination with a material testing company of the Owner's selection to complete compaction testing of trench backfill. Coordination includes updating appropriate personnel employed by the material testing company every work day as to progress of work so adequate testing can be completed.
- The Contractor will be required to prepare a set of detailed as-built drawings to be presented to the Engineer at the completion of the project. The as-built drawings shall be updated daily and reviewed weekly by the Project Engineer. As-built drawings shall include, but not limited to location/depths of existing utilities encountered during completing the Work and location/depths of installed infrastructure completed as part of the Work. Installed infrastructure includes culverts, ponds, storm drainage systems, catch basins, dry-well sumps, storm manholes, swales, ditches, dry utilities (gas, power, phone, etc.), and road and pedestrian features such as handicap ramps, sidewalks, roads, curb and gutter, etc.

CONSTRUCTION NOTES:

- All Work shall be in accordance with the Montana Public Works Standard Specifications (MPWSS), Sixth Edition, dated April 2010, Local Jurisdictional Standards, Special Provisions, and Contract Documents.
- Contractor shall comply with Construction and Temporary Facilities, Section 01500, MPWSS.
- Contractor shall comply with Construction Traffic Control, Section 01570, MPWSS.
- For road plan and profile sheets, the stationing and elevations provided are for finished grade at centerline of road, unless noted otherwise.
- For proposed pipe installations (culverts, storm drains, irrigation, etc.), the stationing is from centerline of pipe and elevations are from invert of pipe, unless noted otherwise.
- Elevations shown on the Drawings are to finished surface grade unless otherwise indicated.
- Elevations for curb and gutter are for top back of curb, unless otherwise indicated. Elevations provided at curb lay downs are for the "projected" top back of curb, as though the specified curb was being installed through the lay down. This allows the contractor to set his curb string line or forms based on the elevations shown on the plans, and then cut out the extra concrete for the lay down.
- All material furnished on or for this project shall meet the minimum requirements of the approving agencies or as set forth herein, whichever is more restrictive.
- If more than one acre will be disturbed during construction the contractor is responsible to notify DEQ or submit Storm Water Pollution Prevention Permit (SWPPP) to DEQ prior to construction.

CONSTRUCTION STAKING:

- The owner will provide construction staking one time. Additional staking will be the responsibility of the contractor for scheduling and payment.
- Contractor is responsible to coordinate and request staking at least five days in advance, unless otherwise agreed upon in writing by Engineer.
- Staking will be provided as indicated in the Contract Documents, or as requested by contractor.
- Cut sheets will be provided to the contractor with elevation from hub to finished grade, unless noted otherwise. Cut sheets for pipe installation provide the elevation from the hub to the invert of the pipe, unless noted otherwise.
- Engineer does not consider staking to be complete and ready for use until cut sheets have been delivered to Contractor. Contractor's uses of construction staking prior to receipt of cut sheets is at contractor's risk. Any work incorrectly installed due to contractor's use of preliminary construction staking will be removed and replaced at contractor's expense.

GRADING NOTES:

- All ramps shall be sloped @ 12:1 max (8.33%) with a cross slope less than 2%.
- Square cut all asphalt.
- Contractor shall protect all adjacent improvements (buildings, roadways, fences, ditches, parking lots, utilities, sidewalks, curbs, gutter, park recreation improvements, trees, etc.) from damage and erosion. All disturbed areas shall be restored to their original condition.
- Compact subgrade and gravel cushion to 95% proctor density or per geotechnical engineering report, whichever provides a greater level of compaction.

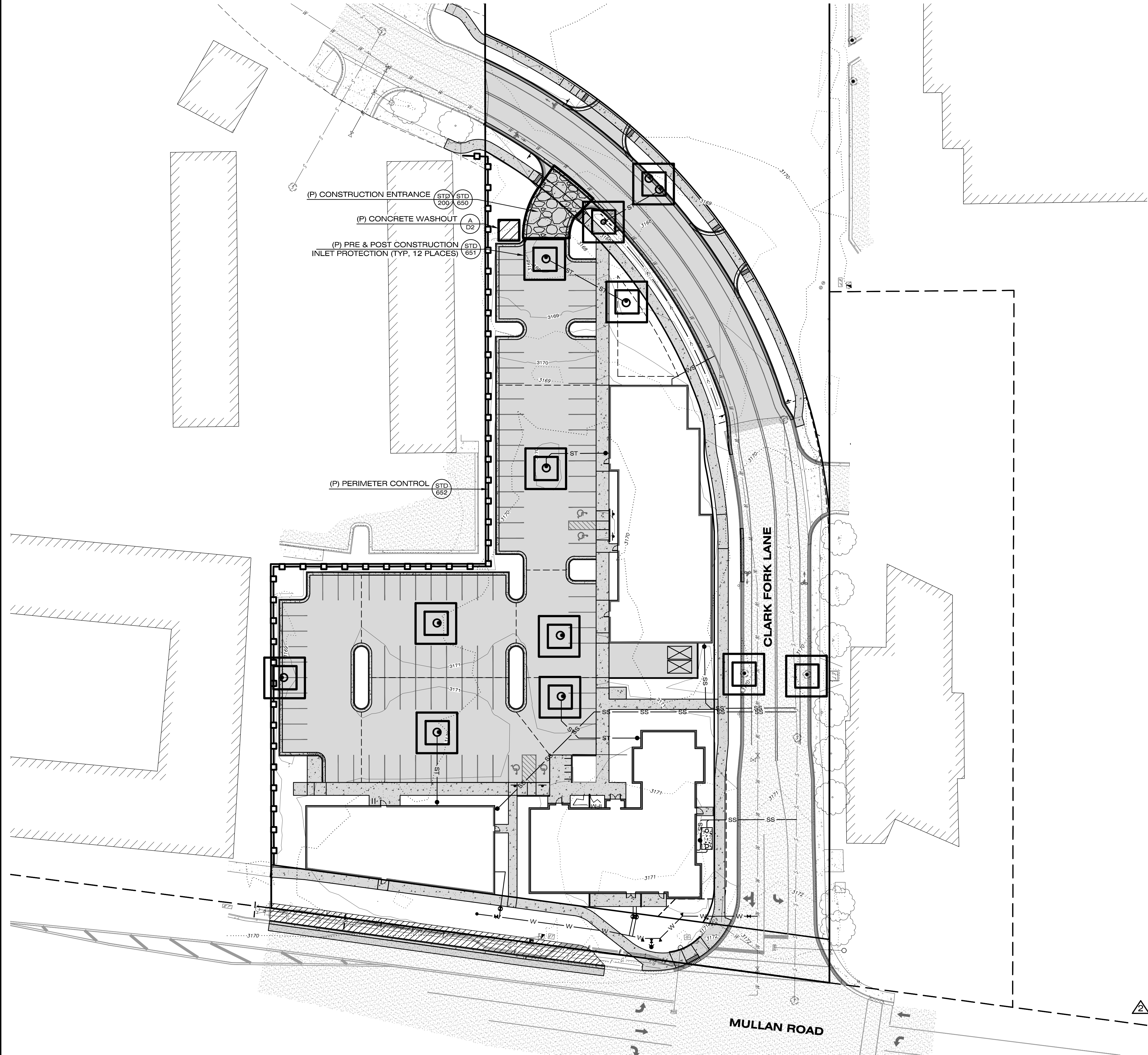
ABBREVIATIONS:

BC	BACK OF CURB	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
BP	BEGINNING POINT	(P)	NORTHWESTERN ENERGY
BSW	BACK OF SIDEWALK	NWE	PROPOSED
CBU	CLUSTER BOX UNIT	PC	POINT OF REVERSE CURVATURE
CMP	CORRUGATED METAL PIPE	PC	POINT OF CURVATURE
ELEV	ELEVATION	PT	POINT OF TANGENT
EP	ENDING POINT	PVI	POINT OF VERTICAL INTERSECTION
(E)	EXISTING	R	RADIUS
FFEL	FINISHED FLOOR ELEVATION	ROW	RIGHT OF WAY
FG	FINISHED GRADE	SF	SQUARE FOOT
FL	FLOWLINE	SIM	SIMILAR
HP	HIGH POINT	STA	STATION
I.E.	INVERT ELEVATION	STD	CITY OF MISSOULA STANDARD DRAWING
INV	INVERT	SW	SIDEWALK
LD	LAYDOWN	TBC	TOP BACK OF CURB
LF	LINEAR FOOT	TOA	TOP OF ASPHALT
MAX	MAXIMUM	TOC	TOP OF CONCRETE
MIN	MINIMUM	TYP	TYPICAL
ME	MATCH EXISTING	UN.O.	UNLESS NOTED OTHERWISE
M.E.P.	MECHANICAL, ELECTRICAL, & PLUMBING	WSD	MISSOULA CITY OF WATER STANDARD DRAWING
MPOC	MID POINT OF CURVE		

NOTE: NOT ALL FEATURES SHOWN IN LEGEND WILL BE PRESENT ON PLANS

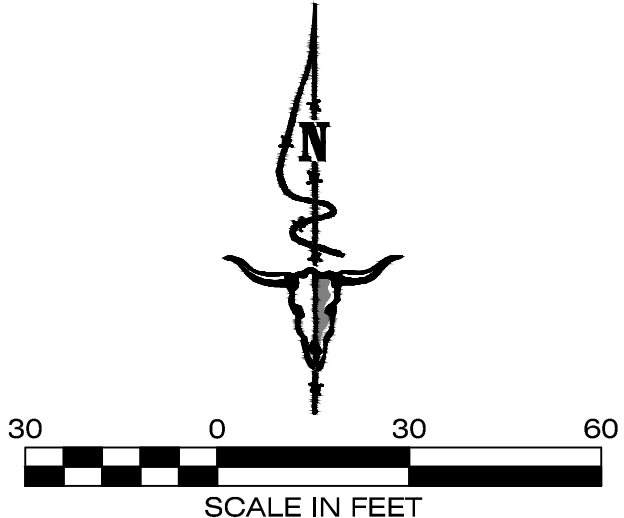
		1817 SOUTH AVE. W. STE. A PH: 406.721.0142 MISSOULA, MT FAX: 406.721.5224 www.imegcorp.com 59801	
		PROJECT DATE: 05/02/2022 10:34 AM	
DATE	05/10/2021	DESIGNED:	CM
REVISIONS	05/03/2021	DRAFTED:	AE
	10/22/2021	CHECKED:	JR
	05/24/2022	DATE:	04/26/2022
LOCATION: DUE: 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.1M.M. MISSOULA COUNTY, MONTANA		PREPARED FOR: MMW, LLC	
PROJECT NAME: MULLAN CROSSING COMMERCIAL DEVELOPMENT		CIVIL CONSTRUCTION PLANS LEGEND & NOTES SHEET	
PROJECT NO.	19-5458	SHEET TITLE	2 OF 9

DRWG LOCATION: C:\MSOFT\PROJECTS\ACTIVE\18170142\PROJECTS\18170142\18170142.DWG
 DEVELOPMENT: 18170142.DWG
 DATE: 05/02/2022 10:34 AM



LEGEND

- SILT FENCE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE



STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

- CONTRACTOR IS TO BE FAMILIAR WITH THE REQUIREMENTS OF SECTION 402(P) OF THE FEDERAL CLEAN WATER ACT AND REGULATIONS ADOPTED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA). (AMENDMENTS TO TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 122, PUBLISHED IN THE FEDERAL REGISTER ON NOVEMBER 16, 1990 AND ON APRIL 2, 1992.) ALSO, DEQ 1200-C PERMIT FOR THE CONTROL OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS TO BE FAMILIAR WITH ALL REQUIREMENTS OF THE SWPPP.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION AND MONTANA DEQ FOR EROSION AND SEDIMENT CONTROL.
- THE TEMPORARY POLLUTION CONTROL SYSTEM SHALL BE INSTALLED PRIOR TO ALL OTHER CONSTRUCTION.
- ALL EQUIPMENT MAINTENANCE AND RE-FUELING SHALL BE CONDUCTED IN A SAFE MANNER AND SPILL KITS SHALL BE MAINTAINED ON-SITE TO CLEAN ANY SPILLS THAT MAY OCCUR.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES (BMP'S), SUCH AS VEGETATIVE COVER, MULCHING, PLASTIC COVERING OR APPLICATION OF GRAVEL SURFACES IN AREAS TO BE GRAVELED. NO EXPOSED AND UNWORKED SOILS SHALL REMAIN UNSTABILIZED. ONCE CONSTRUCTION ACTIVITY IS COMPLETED IN AN AREA BETWEEN THE MONTHS OF OCTOBER 1 AND APRIL 30, PERMANENT SEEDING SHALL BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER TRASH RECEPTACLES AND PORTABLE TOILETS ON-SITE AS WELL AS THE REGULAR MAINTENANCE OF THESE FACILITIES.
- ALL CLEARING LIMITS AND/OR EASEMENT SETBACKS, SENSITIVE/CRITICAL AREAS AND THEIR BUFFERS, SIGNIFICANT TREES AND DRAINAGE COURSES SHALL BE CLEARLY STAKED AND MARKED AS SHOWN ON PLANS.
- PROPERTIES ADJACENT TO THE PROJECT SITE THAT ARE SUBJECT TO POTENTIAL EROSION CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION THROUGH THE USE OF SILT FENCE, HAY BALES OR OTHER BMP SELECTED BY THE CONTRACTOR.
- ALL FACILITIES INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY LAND DISTURBING ACTIVITIES TAKE PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIME PERIOD STATED IN #6 ABOVE.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ALL SLOPES SHALL BE STABILIZED WITHIN THE TIME PERIOD STATED IN #6 ABOVE.
- ALL STORM DRAINAGE INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED WITH A GRAVEL INTAKE FILTER TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. THE FILTER MUST BE INSPECTED REGULARLY AND CLEANED WHEN NECESSARY.
- THE FOLLOWING SHALL APPLY TO CONSTRUCTION OF UTILITY LINES:
A. WHERE FEASIBLE, NO MORE THAN 500' OF TRENCH SHALL BE OPEN AT ONE TIME.
B. WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
C. TRENCH DEWATERING DEVICES SHALL DISCHARGE AND SHALL REMAIN ON-SITE AND IN NO WAY ENTER PUBLIC PROPERTY OR WATERWAY.
- WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED (SEE DETAIL SHEET) TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEETING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. A MINIMUM OF ONE (1) ON-SITE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
- CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT ON-SITE UNLESS A PROPERLY CONSTRUCTED CONCRETE TRUCK WASHOUT AREA IS CONSTRUCTED AND MAINTAINED.
- ALL TRUCKS USED TO HAUL EXCAVATED SOILS FROM THE SITE SHALL BE INSPECTED AND SWEEPED CLEAN OF LOOSE SOIL PRIOR TO LEAVING THE SITE.
- FUEL, LUBRICANTS AND OTHER FLUIDS REQUIRED FOR THE MAINTENANCE OF THE EQUIPMENT SHALL NOT BE STORED ON-SITE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
- ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER OR THE SITE.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED USE. ALL ON-SITE EROSION AND CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT EQUAL TO OR GREATER THAN 0.25" OF RAIN PER 24 HOUR PERIOD. AN INSPECTION REPORT FILE SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT ON-SITE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL TEMPORARY SEDIMENT PONDS/TRAPS AS SITE CONDITIONS REQUIRE. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SILT FENCING, SEDIMENT PONDS/TRAPS, DIVERSION SWALES, CHECK DAMS, SEDIMENT BARRIERS, FILTER FABRIC MULCH AND SEEDING, AS CONDITIONS REQUIRE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.

NOTE:
CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CITY OF MISSOULA SWPPP PERMIT & DEQ PERMIT.

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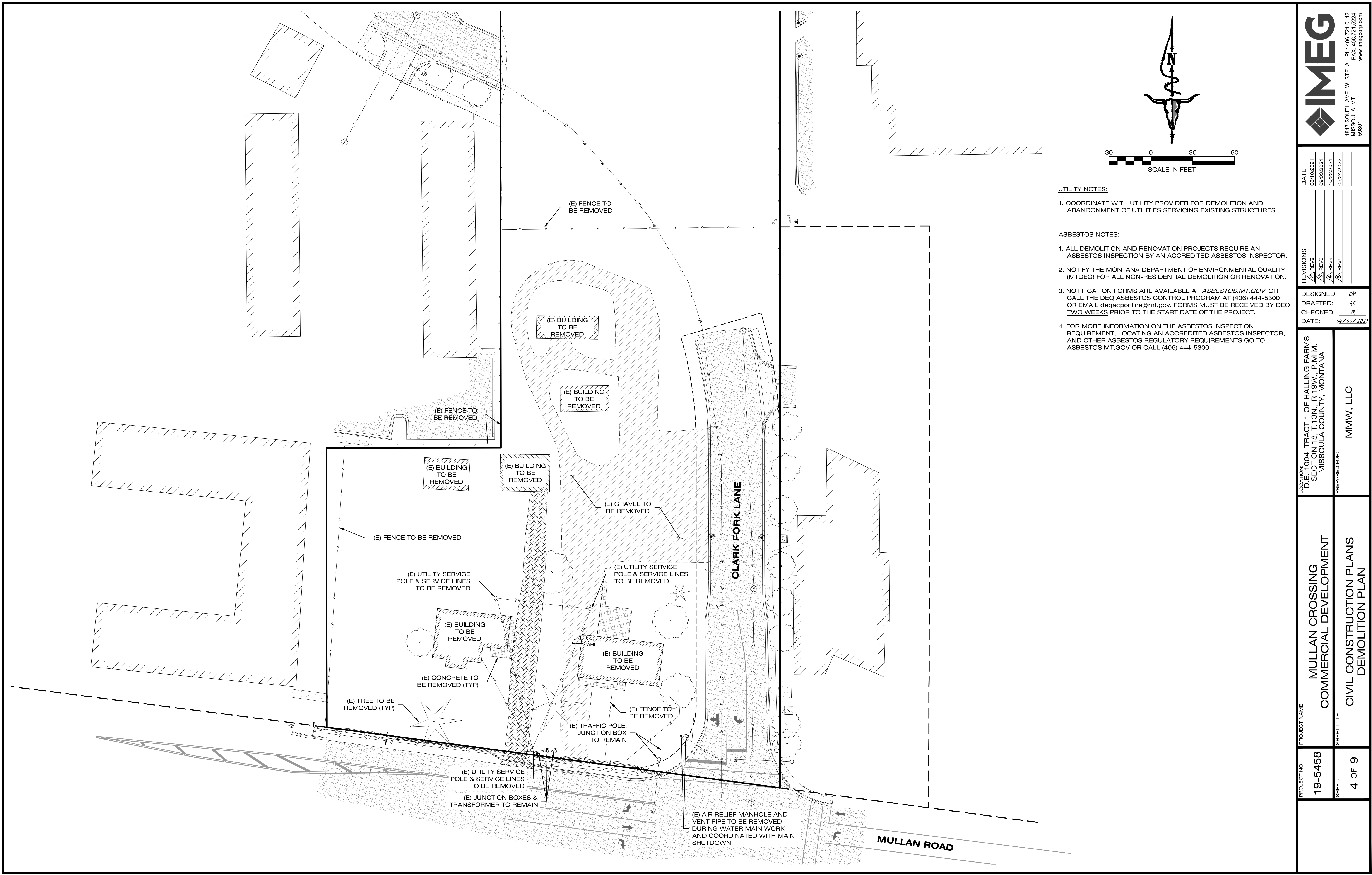
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26	REV 26
27	REV 27
28	REV 28
29	REV 29
30	REV 30

DESIGNED: CM
DRAFTED: AE
CHECKED: JR
DATE: 04/20/2021

LOCATION: D.E. 1004, TRACT 1 OF HALLING FARMS
SECTION 18, T.13N., R.19W., P.1M.M.
MISSOULA COUNTY, MONTANA
PREPARED FOR: MMW, LLC

PROJECT NAME: MULLAN CROSSING
COMMERCIAL DEVELOPMENT
SHEET TITLE: CIVIL CONSTRUCTION PLANS
SWPPP PLAN

PROJECT NO.: 19-5458
SHEET: 3 OF 9



UTILITY NOTES:

1. COORDINATE WITH UTILITY PROVIDER FOR DEMOLITION AND ABANDONMENT OF UTILITIES SERVICING EXISTING STRUCTURES.

ASBESTOS NOTES:

1. ALL DEMOLITION AND RENOVATION PROJECTS REQUIRE AN ASBESTOS INSPECTION BY AN ACCREDITED ASBESTOS INSPECTOR.
2. NOTIFY THE MONTANA DEPARTMENT OF ENVIRONMENTAL QUALITY (MTDEQ) FOR ALL NON-RESIDENTIAL DEMOLITION OR RENOVATION.
3. NOTIFICATION FORMS ARE AVAILABLE AT ASBESTOS.MT.GOV OR CALL THE DEQ ASBESTOS CONTROL PROGRAM AT (406) 444-5300 OR EMAIL deqacponline@mt.gov. FORMS MUST BE RECEIVED BY DEQ TWO WEEKS PRIOR TO THE START DATE OF THE PROJECT.
4. FOR MORE INFORMATION ON THE ASBESTOS INSPECTION REQUIREMENT, LOCATING AN ACCREDITED ASBESTOS INSPECTOR, AND OTHER ASBESTOS REGULATORY REQUIREMENTS GO TO ASBESTOS.MT.GOV OR CALL (406) 444-5300.

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DATE	08/10/2021
REVISIONS	08/03/2021
1. REV. 1	10/22/2021
2. REV. 2	05/24/2022
3. REV. 3	
4. REV. 4	
5. REV. 5	

DESIGNED: CM
DRAFTED: AE
CHECKED: JR
DATE: 04/26/2022

LOCATION: D.E. 1004, TRACT 1 OF HALLING FARMS
SECTION 18, T.13N., R.19W., P.M.M.
MISSOULA COUNTY, MONTANA

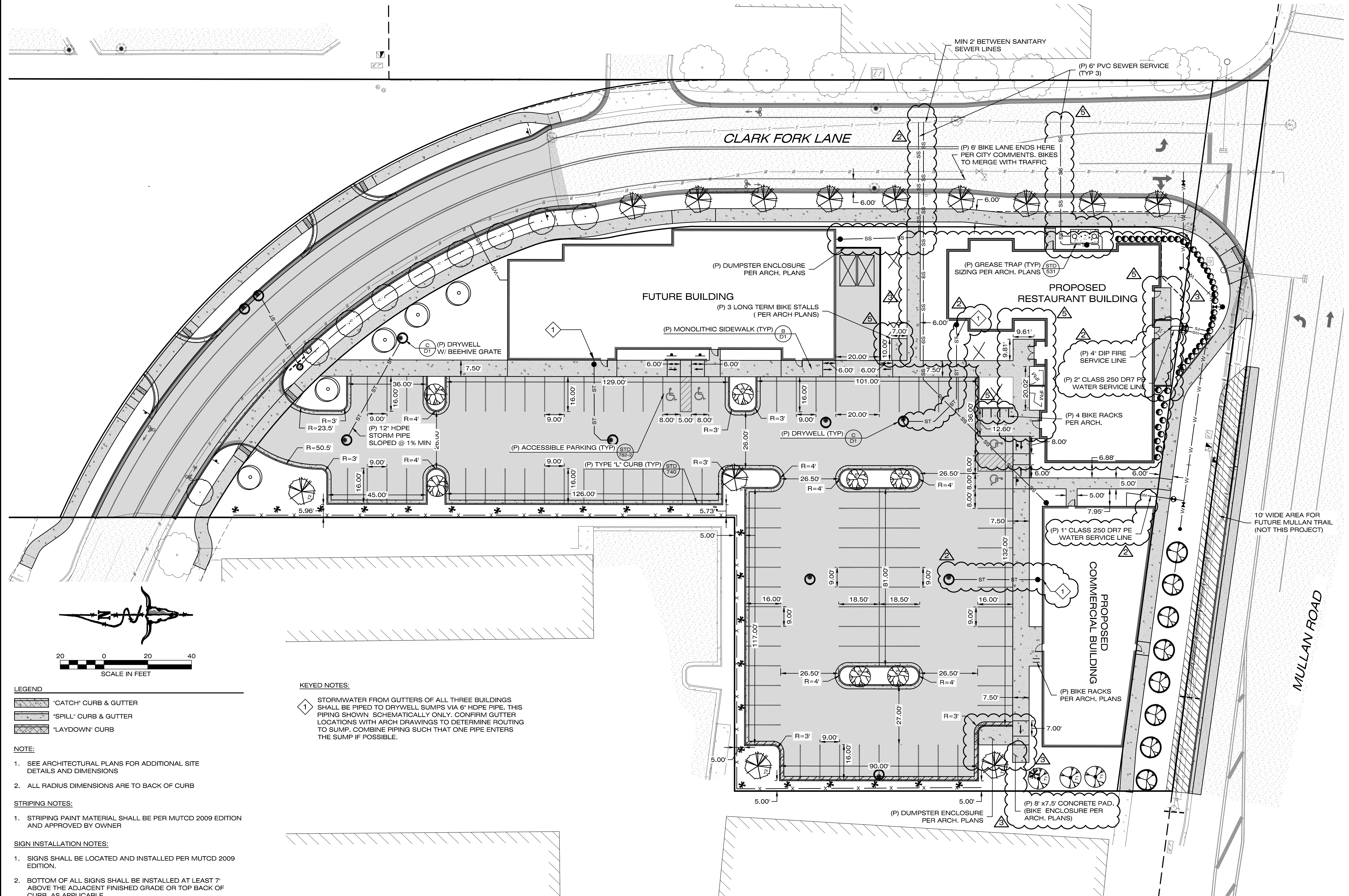
PREPARED FOR: **MMW, LLC**

PROJECT NAME: **MULLAN CROSSING
COMMERCIAL DEVELOPMENT**

SHEET TITLE: **CIVIL CONSTRUCTION PLANS
DEMOLITION PLAN**

PROJECT NO.: **19-5458**

SHEET: **4 OF 9**



LEGEND

- "CATCH" CURB & GUTTER
- "SPILL" CURB & GUTTER
- "LAYDOWN" CURB

NOTE:

- SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE DETAILS AND DIMENSIONS
- ALL RADIUS DIMENSIONS ARE TO BACK OF CURB

STRIPING NOTES:

- STRIPING PAINT MATERIAL SHALL BE PER MUTCD 2009 EDITION AND APPROVED BY OWNER

SIGN INSTALLATION NOTES:

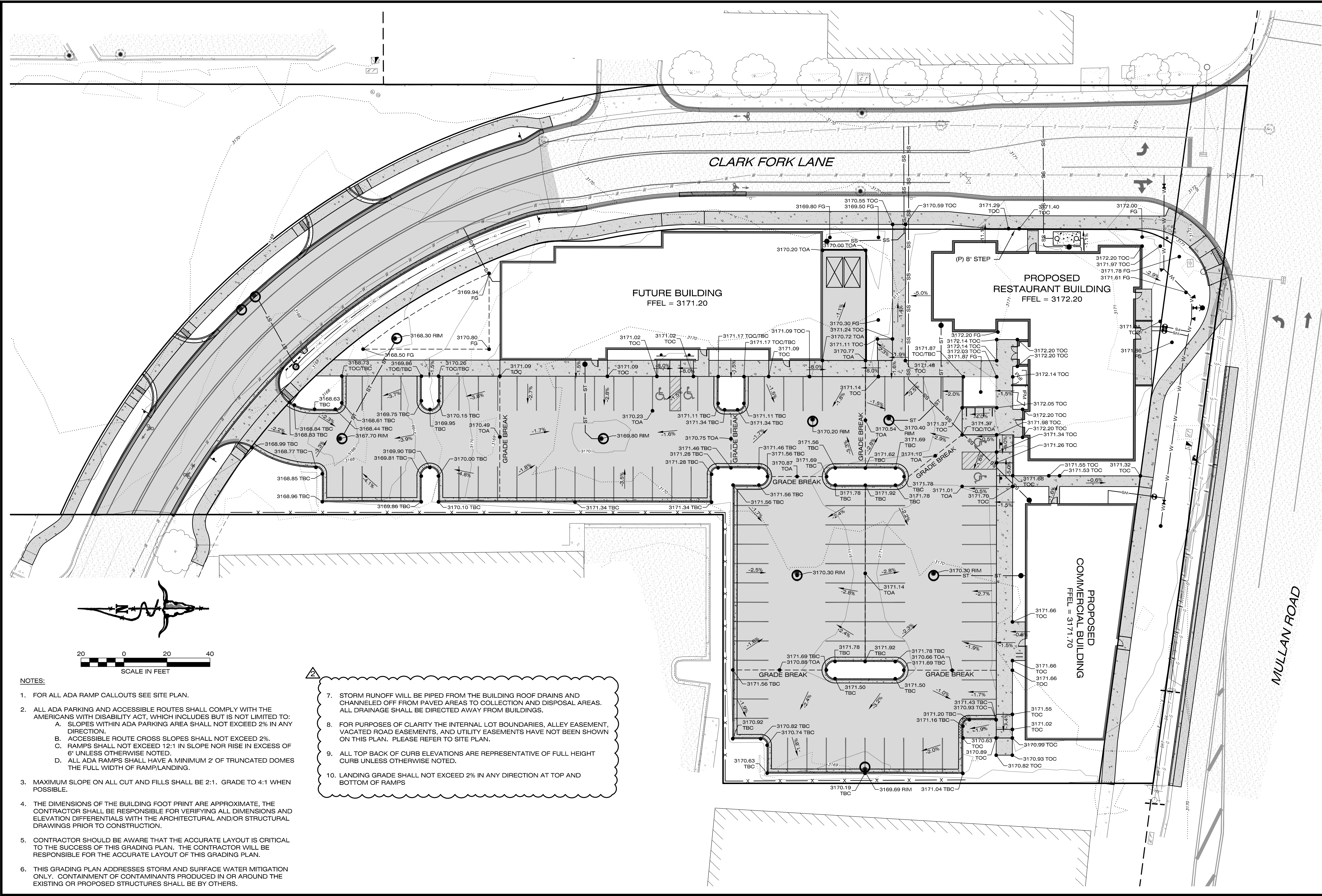
- SIGNS SHALL BE LOCATED AND INSTALLED PER MUTCD 2009 EDITION.
- BOTTOM OF ALL SIGNS SHALL BE INSTALLED AT LEAST 7' ABOVE THE ADJACENT FINISHED GRADE OR TOP BACK OF CURB, AS APPLICABLE.

KEYED NOTES:

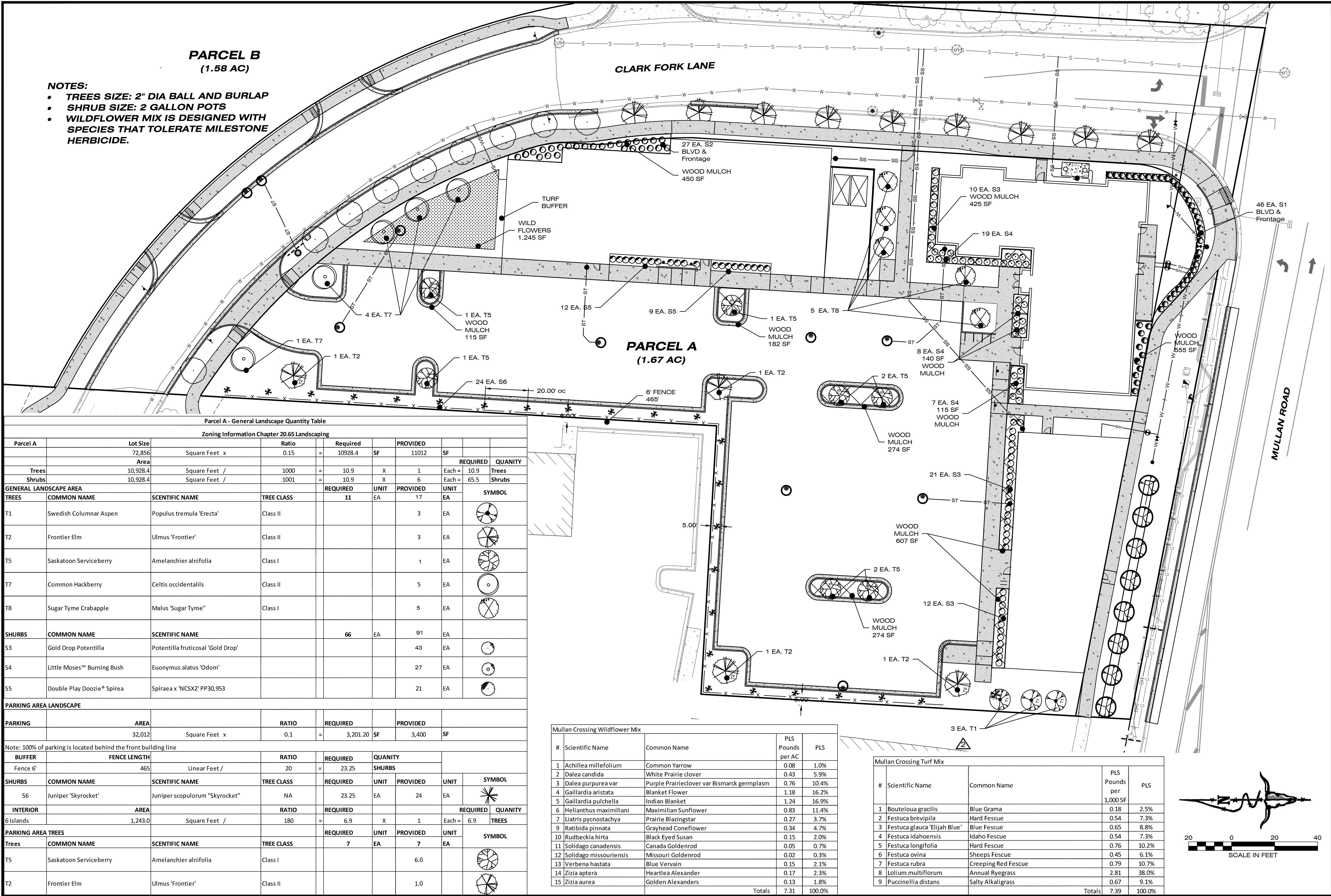
- STORMWATER FROM GUTTERS OF ALL THREE BUILDINGS SHALL BE PIPED TO DRYWELL SUMPS VIA 6" HDPE PIPE. THIS PIPING SHOWN SCHEMATICALLY ONLY. CONFIRM GUTTER LOCATIONS WITH ARCH DRAWINGS TO DETERMINE ROUTING TO SUMP. COMBINE PIPING SUCH THAT ONE PIPE ENTERS THE SUMP IF POSSIBLE.


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DATE	08/10/2021	REVISIONS	
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	10/22/2021	REV 3	
	05/24/2022	REV 4	
		REV 5	
DESIGNED:	CM	CHECKED:	AE
DRAFTED:	AE	DATE:	04/26/2022
LOCATION:	D.E. 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.M.M. MISSOULA COUNTY, MONTANA		
PREPARED FOR:	MMW, LLC		
PROJECT NAME	MULLAN CROSSING COMMERCIAL DEVELOPMENT		
PROJECT NO.	19-5458	SHEET TITLE	CIVIL CONSTRUCTION PLANS SITE PLAN
SHEET:	5 OF 9		

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DRAWING TITLE: MULLAN CROSSING COMMERCIAL DEVELOPMENT - CIVIL CONSTRUCTION PLANS - SITE PLAN



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REVISIONS		DRAFTED:	AE
1. REV 1	08/03/2021	CHECKED:	JR
2. REV 2	10/22/2021	DATE:	04/26/2022
3. REV 3	05/24/2022		
4. REV 4			
5. REV 5			
LOCATION: D.L.E. 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.M.M. MISSOULA COUNTY, MONTANA		PREPARED FOR: MMW, LLC	
PROJECT NAME: MULLAN CROSSING COMMERCIAL DEVELOPMENT		SHEET TITLE: CIVIL CONSTRUCTION PLANS GRADING & DRAINAGE PLAN	
PROJECT NO.: 19-5458	SHEET: 6 OF 9	DWG LOCATION: C:\MSOFT\AUTOCAD\PROJECTS\ACTIVE\195458\195458.DWG DRAWING TITLE: MULLAN CROSSING COMMERCIAL DEVELOPMENT DRAWING SET: 195458.DWG	





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DATE: 05/10/2021
09/03/2021
10/22/2021
09/29/2022

REVISIONS:
A REV2
B REV3
C REV4
D REV5

DESIGNED: PJC
DRAFTED: PJC
CHECKED: PJC
DATE: 04/06/21

LOCATION: D.E. 1004, TRACT 1 OF HALLING FARMS SECTION 18, T.13N., R.19W., P.M.M. MISSOULA COUNTY, MONTANA

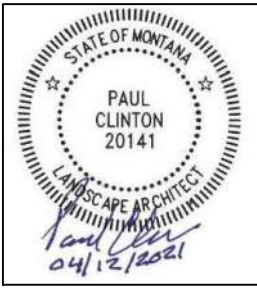
PREPARED FOR: MMW, LLC

PROJECT NAME: MULLAN CROSSING COMMERCIAL DEVELOPMENT

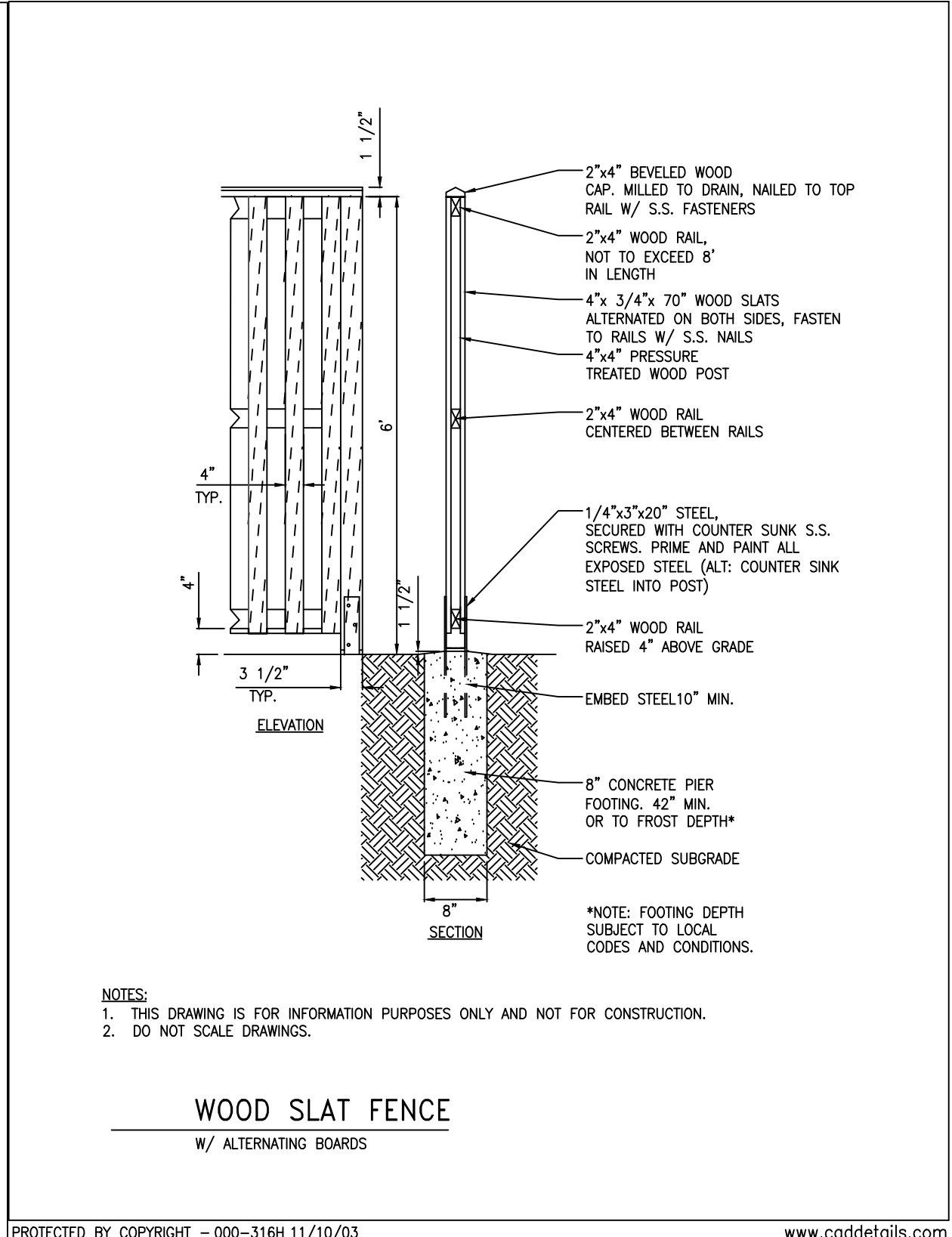
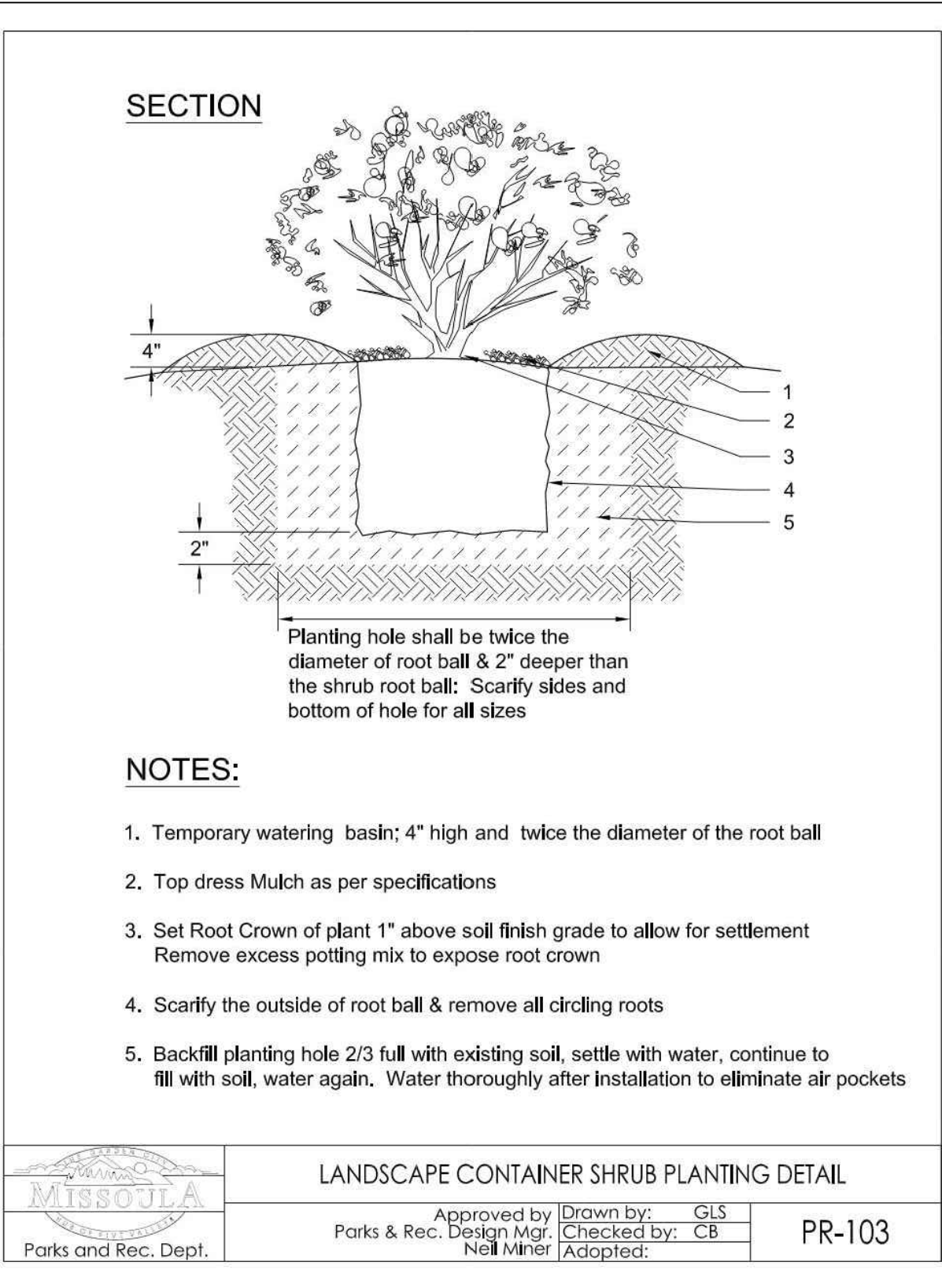
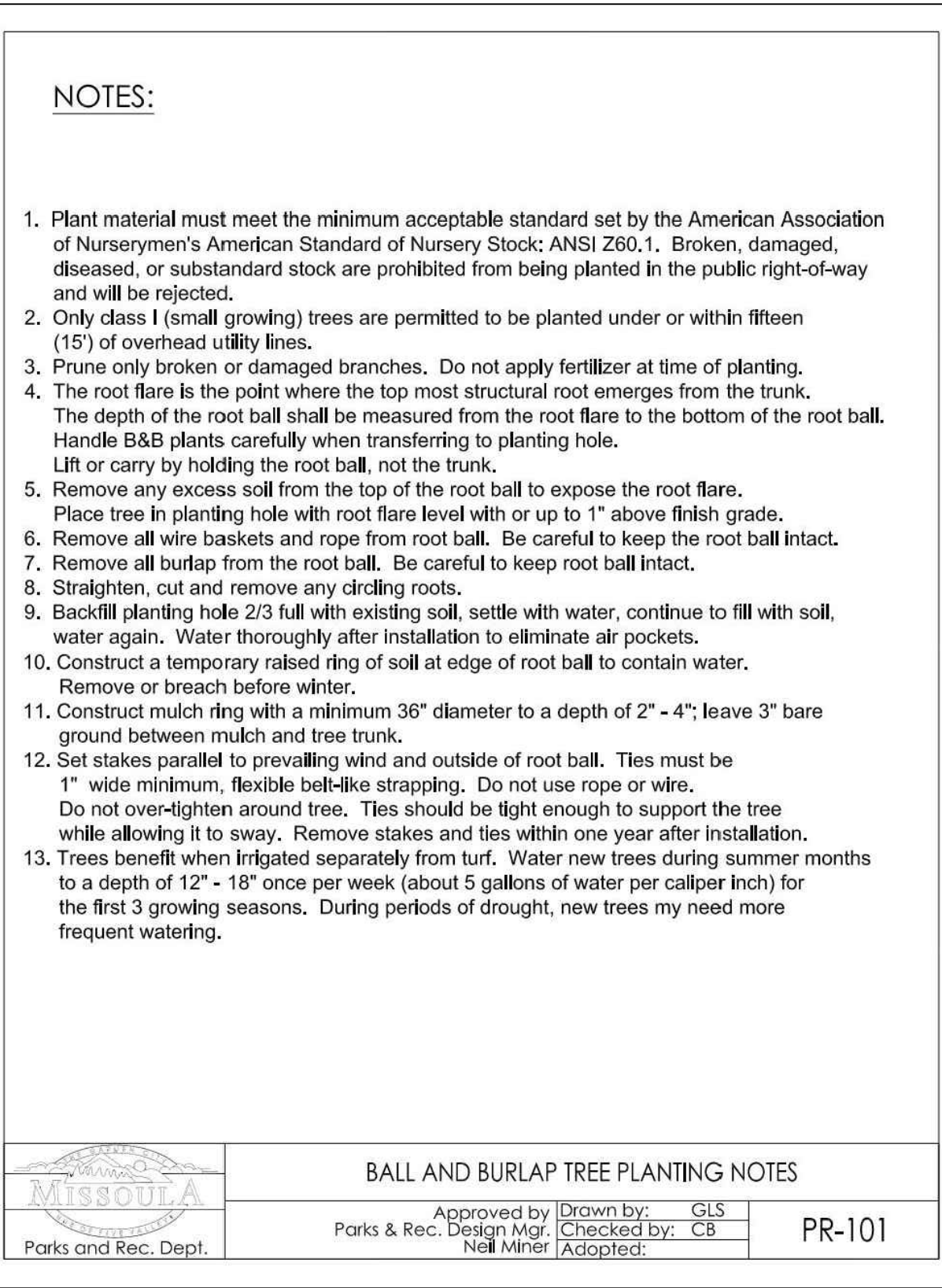
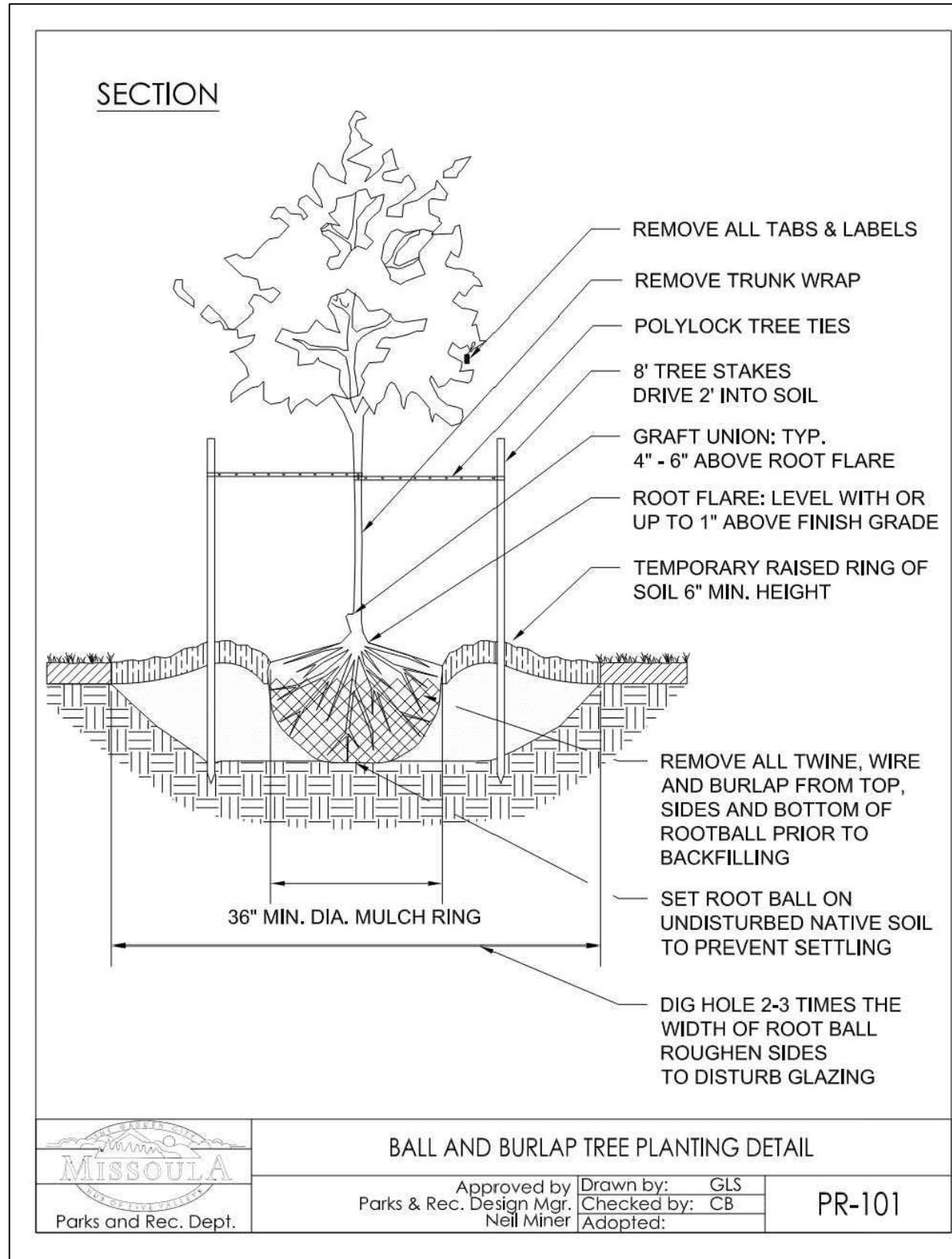
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PROJECT NO: 19-5458

SHEET: 7 OF 9



DO NOT SCALE. DIMENSIONS SHOWN IN PARENTHESES. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



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09/03/2021	REV 2
10/22/2021	REV 3
05/25/2022	REV 4
	REV 5

DESIGNED: PJC
DRAFTED: PJC
CHECKED: PJC
DATE: 04/06/2022

LOCATION: D.E. 1004, TRACT 1 OF HALLING FARMS
SECTION 16, T.13N., R.19W., P.1M.M.
MISSOULA COUNTY, MONTANA

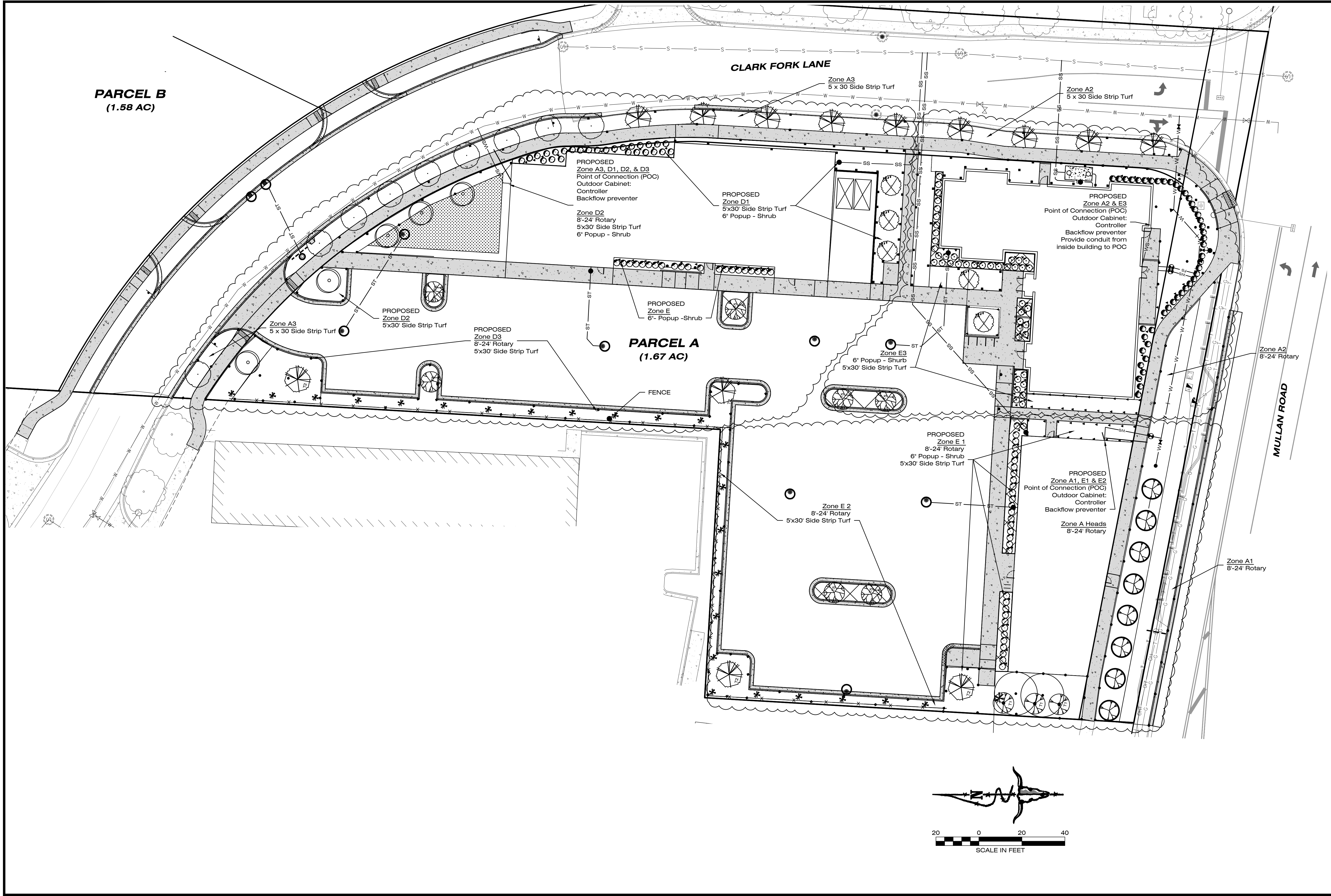
PREPARED FOR: MMW, LLC

PROJECT NAME: MULLAN CROSSING
COMMERCIAL DEVELOPMENT

PROJECT NO.: 19-5458

SHEET TITLE: LANDSCAPE DETAILS

SHEET: 8 OF 9



PROJECT NO.
19-5458

PROJECT NAME
**MULLAN CROSSING
COMMERCIAL DEVELOPMENT**

DATE
08/10/2021

DESIGNED: **PJC**

DRAFTED: **PJC**

CHECKED: **PJC**

DATE: **04/06/21**

DATE
08/10/2021

REVISIONS
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REV5

DATE
08/10/2021

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DATE
10/22/2021

DATE
05/25/2022

LOCATION:
**DUE: 1004, TRACT 1 OF HALLING FARMS
SECTION 16, T.13N., R.19W., P.M.M.
MISSOULA COUNTY, MONTANA**

PREPARED FOR:
MMW, LLC

SHEET TITLE
IRRIGATION PLAN

SHEET
9 OF 9

DATE
08/10/2021

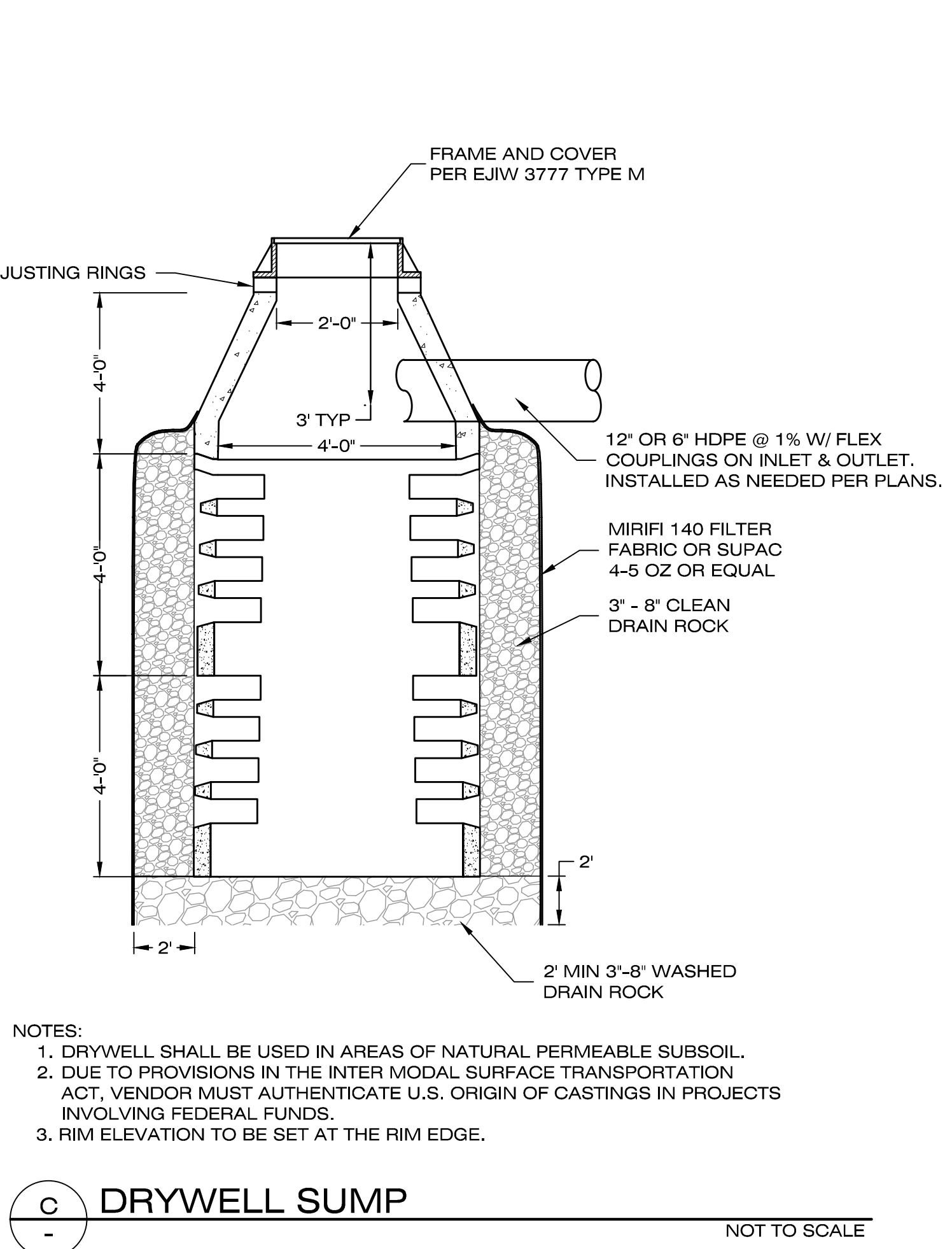
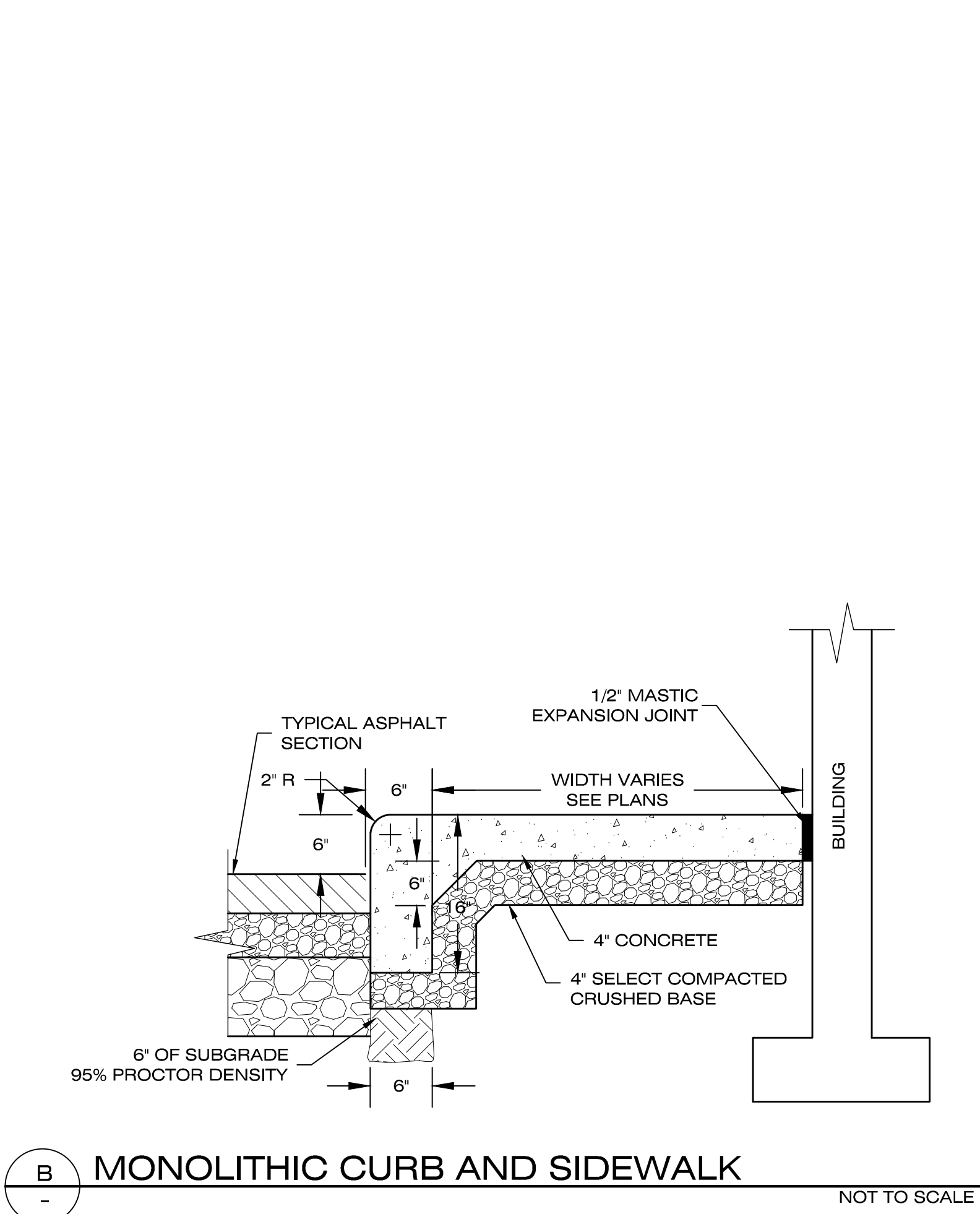
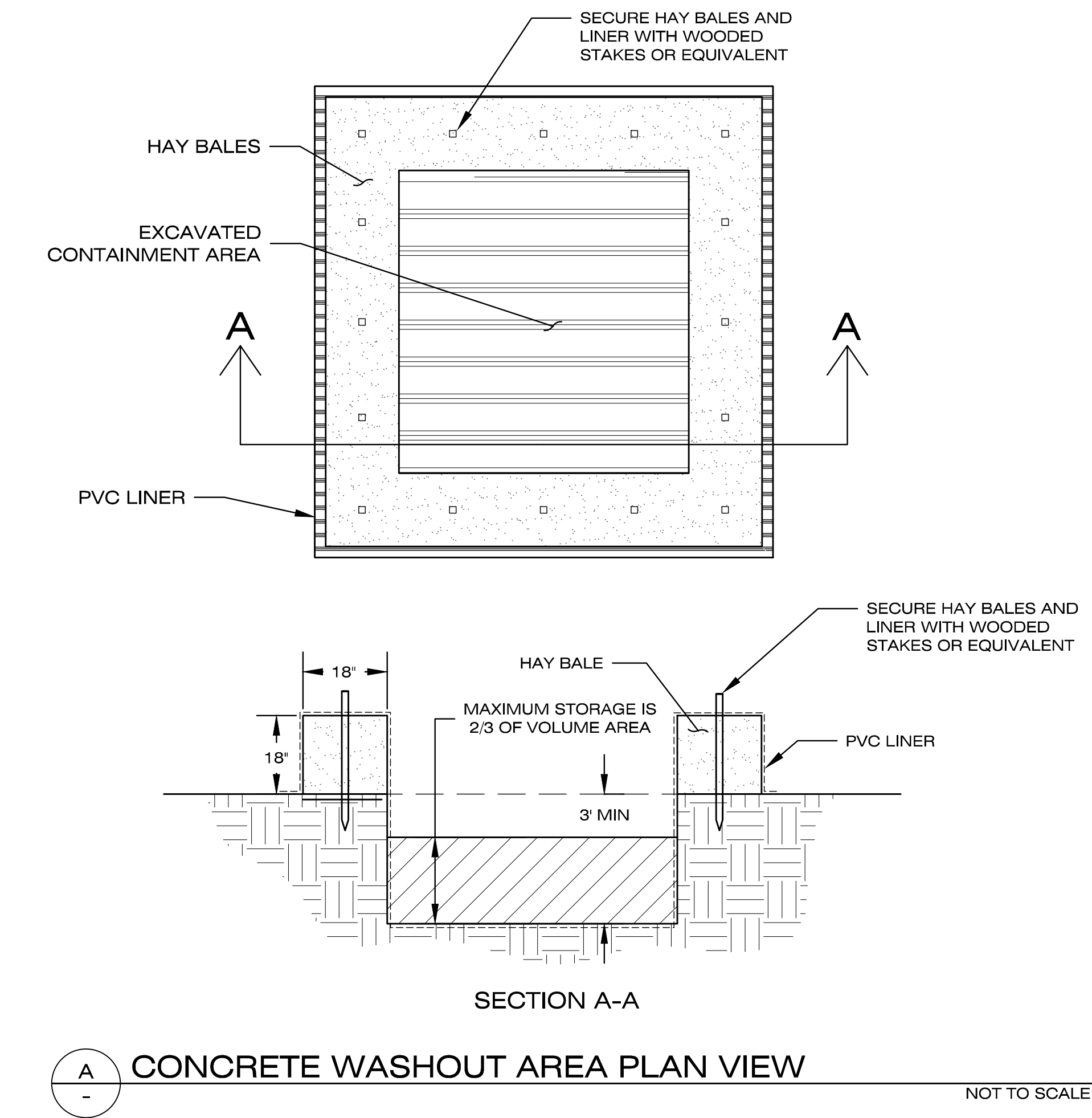
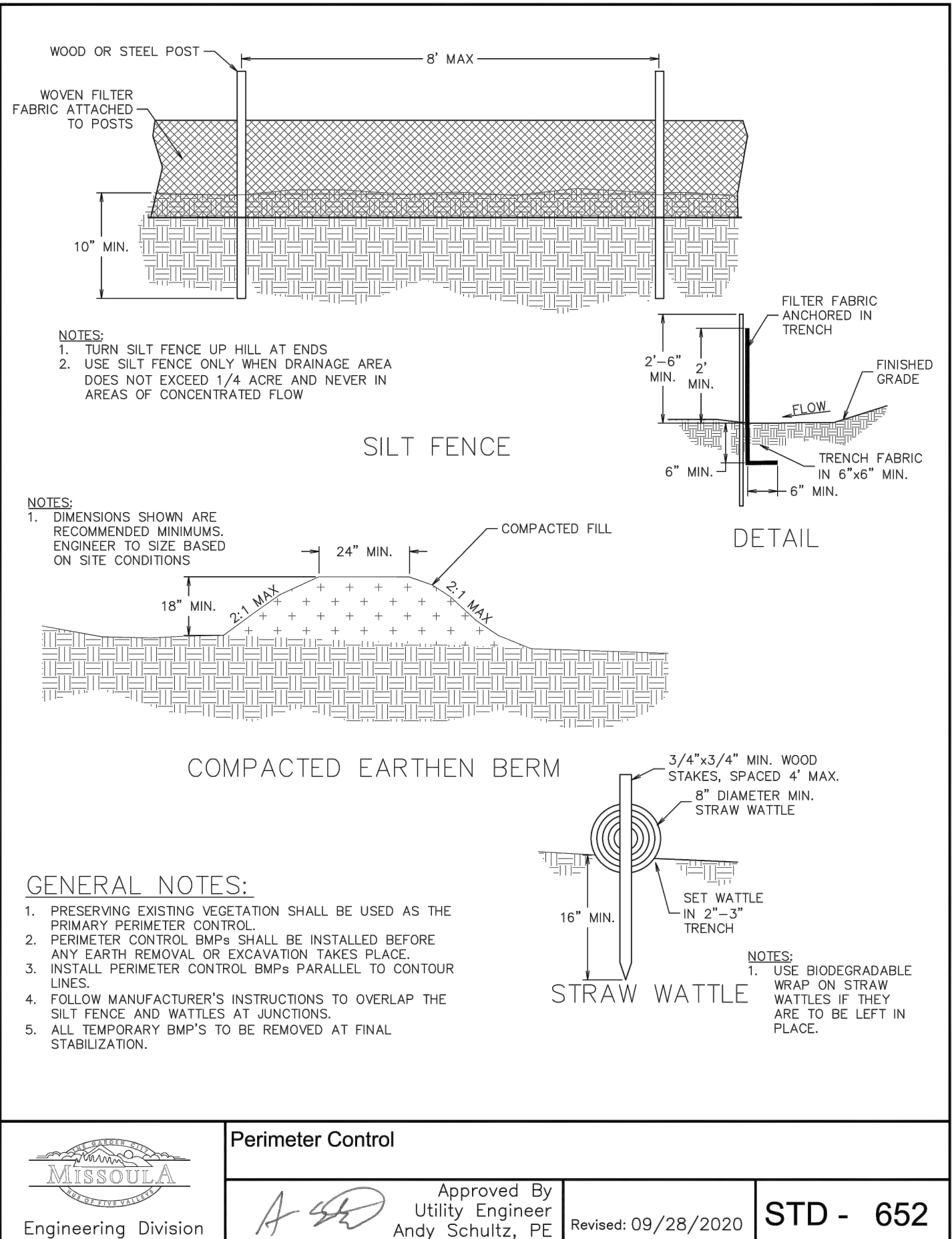
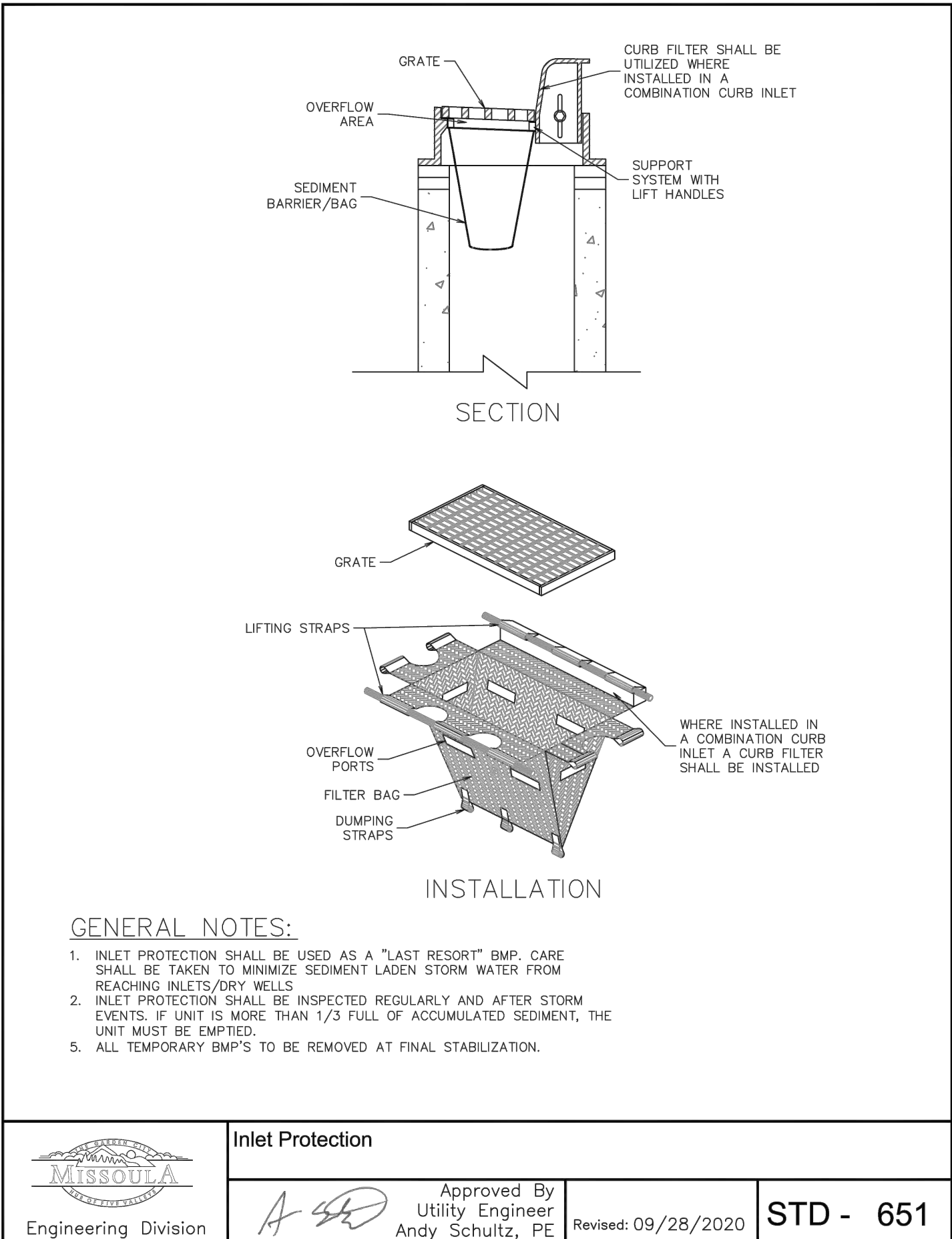
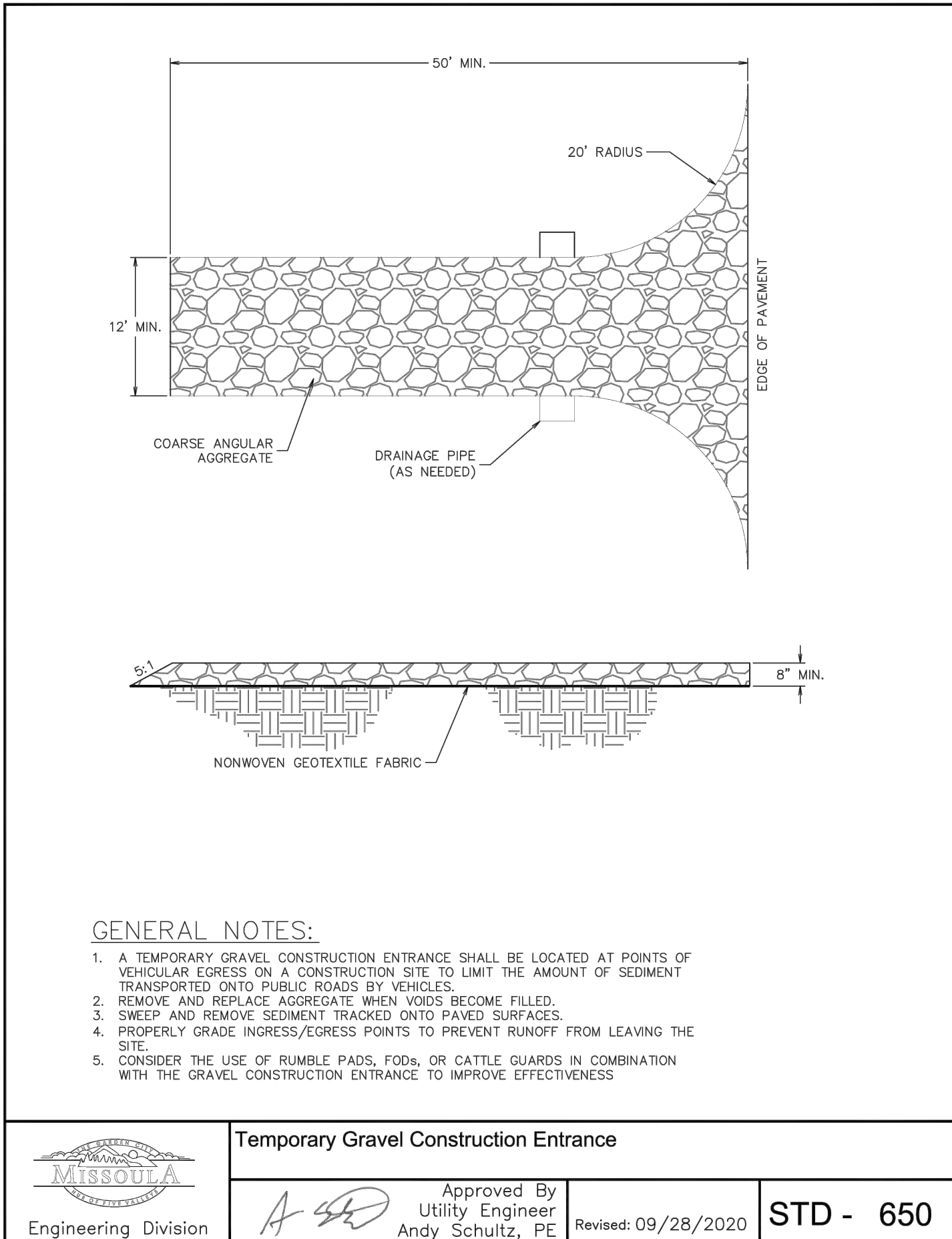
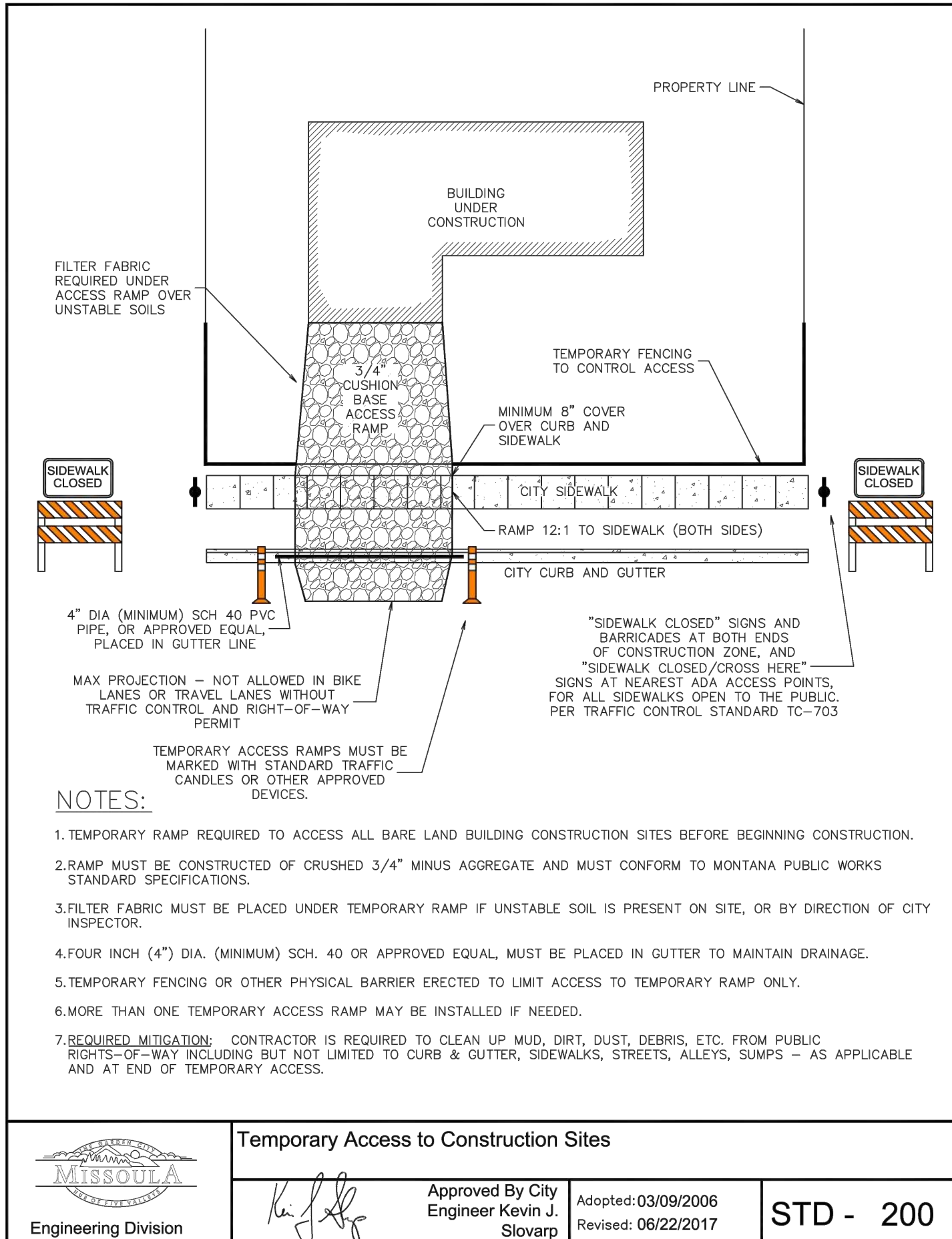
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05/25/2022

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DATE: 08/10/2021
REVISIONS: REV2, REV3, REV4, REV5
DESIGNED: PJC
DRAFTED: PJC
CHECKED: PJC
DATE: 04/06/21
LOCATION: DUE: 1004, TRACT 1 OF HALLING FARMS, SECTION 16, T.13N., R.19W., P.M.M., MISSOULA COUNTY, MONTANA
PREPARED FOR: MMW, LLC
SHEET TITLE: IRRIGATION PLAN
SHEET: 9 OF 9
PROFESSIONAL ENGINEER SEAL: PAUL CLINTON, 20141, 04/12/2021
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DATE: 08/10/2021
DESIGNED: CM
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CHECKED: JR
DATE: 04/20/2022

LOCATION: 1004, TRACT 1 OF HALLING FARMS
SECTION 18, T.13N., R.19W., P.1M.M.
MISSOULA COUNTY, MONTANA

PROJECT NAME: MULLAN CROSSING COMMERCIAL DEVELOPMENT

SHEET TITLE: CIVIL CONSTRUCTION PLANS

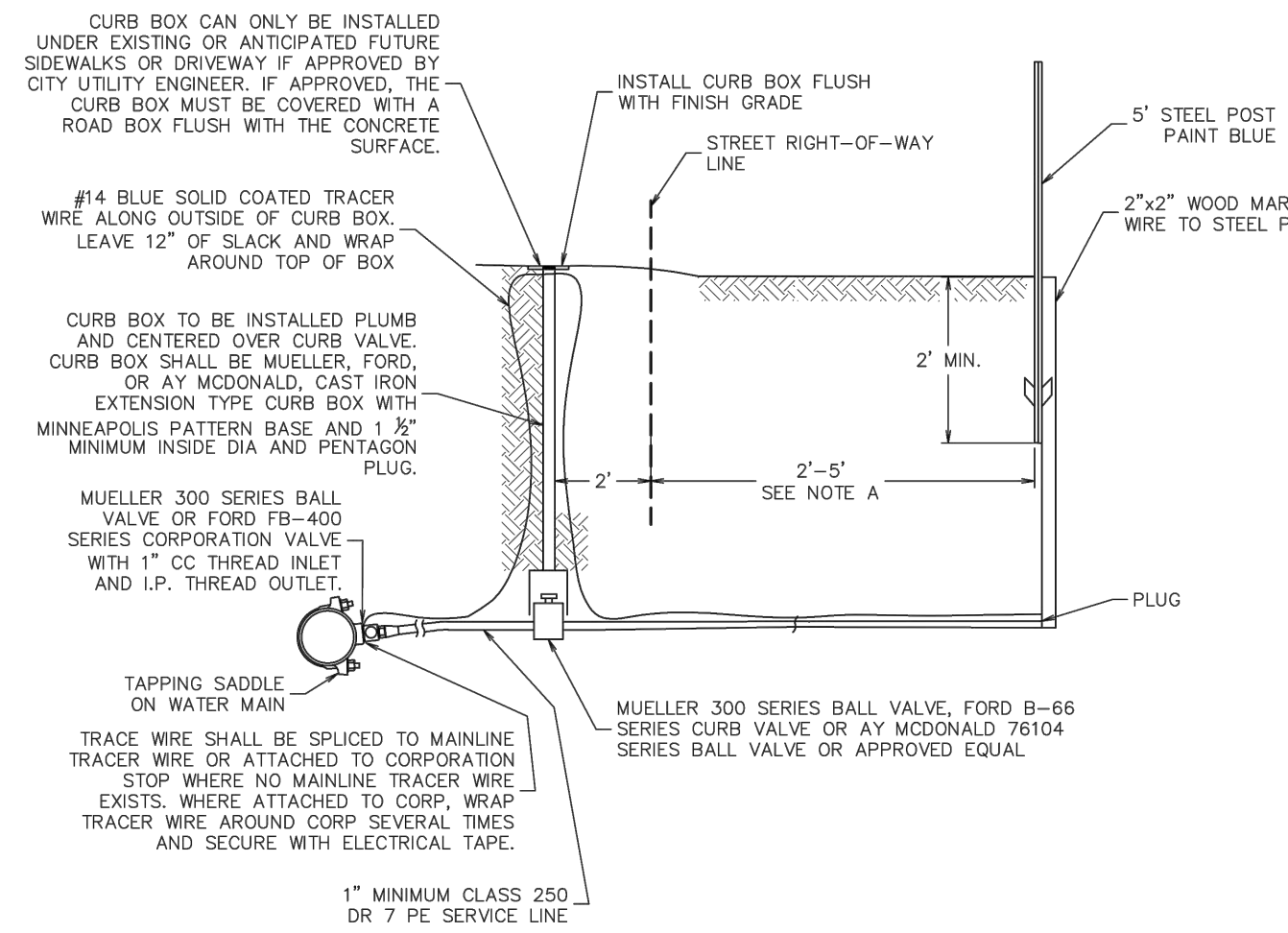
PROJECT NO.: 19-5458

SHEET: D1 OF D2

PREPARED FOR: MMW, LLC

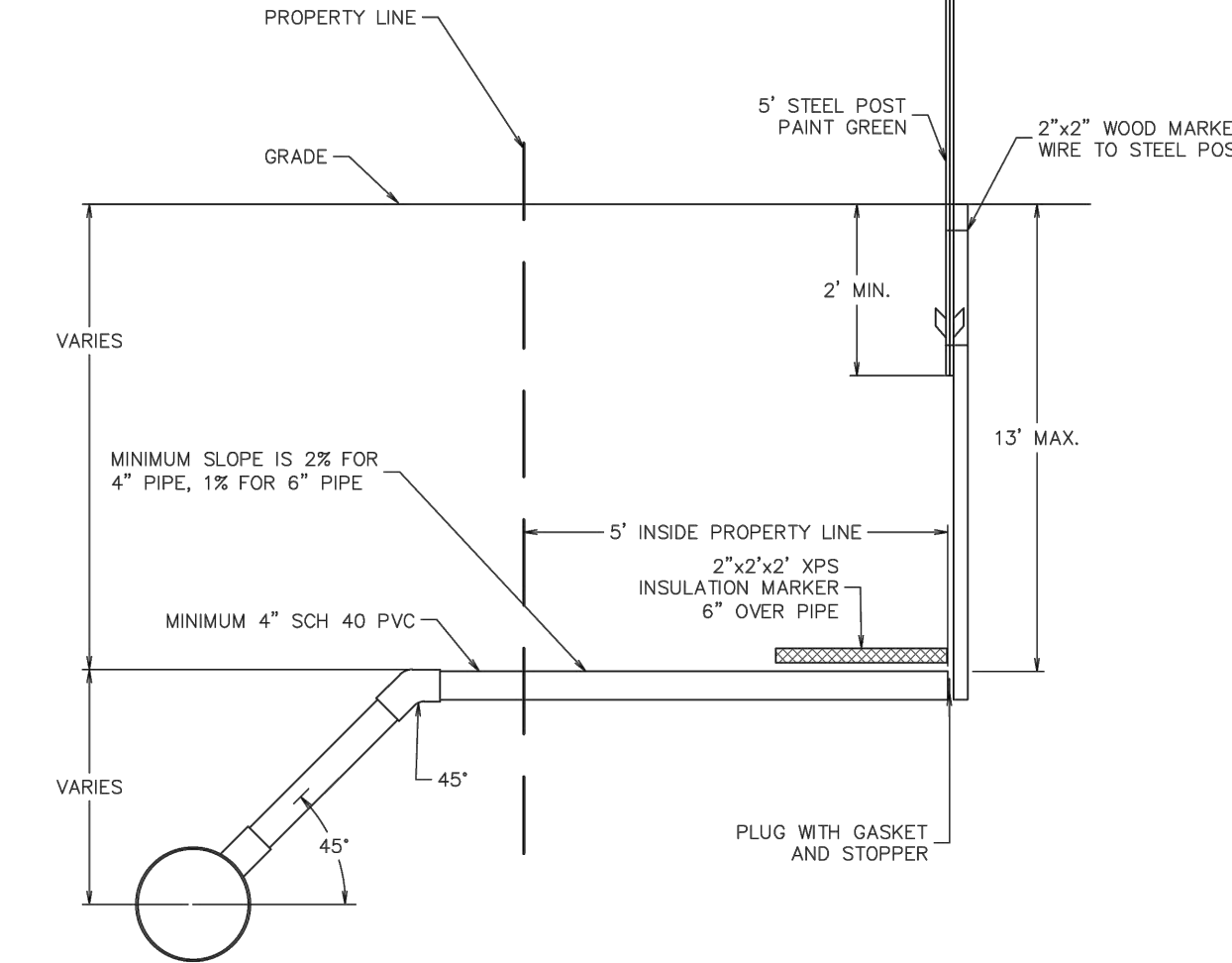
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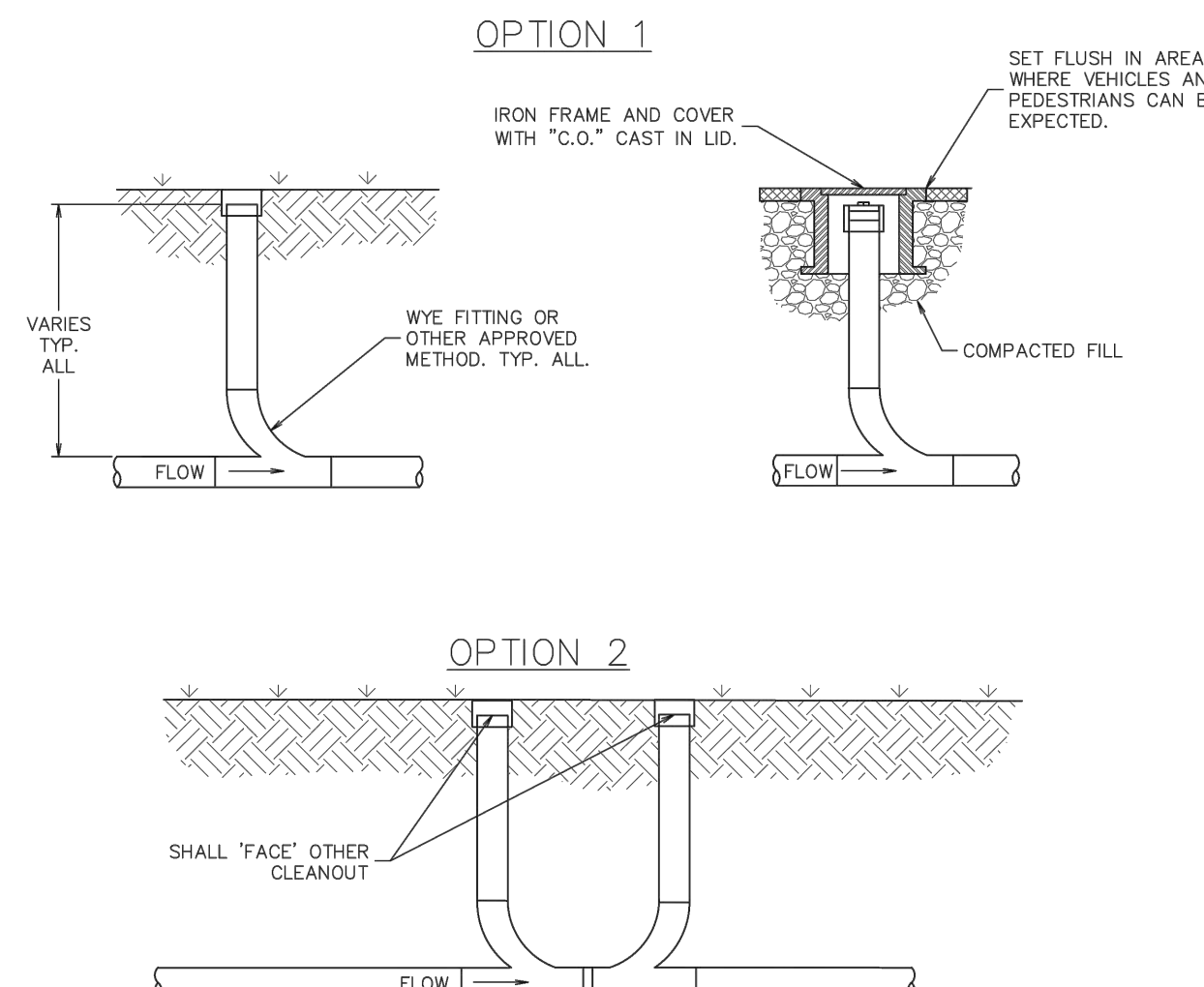
GENERAL NOTES:

1. WATER SERVICES SHALL BE BURIED A MINIMUM OF 6" DEEP.
2. FOR WATER SERVICES STUBS LARGER THAN 2" SEE CITY STANDARD DETAIL STD-413.
3. IF PROPERTY DOES NOT FRONT A STREET WITH A WATER MAIN, CONTACT CITY FOR SPECIFIC REQUIREMENTS RELATED TO EASEMENTS.
4. SERVICE LINE SHALL END AT WOOD POST, NO ABOVE GROUND WHIPS ALLOWED. IT IS THE INSTALLER'S RESPONSIBILITY TO REMOVE AIR FROM THE SERVICE LINES AS NECESSARY.
5. WATER SERVICE STUBS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR AS SPECIFIED BY CITY ENGINEERING.



GENERAL NOTES:

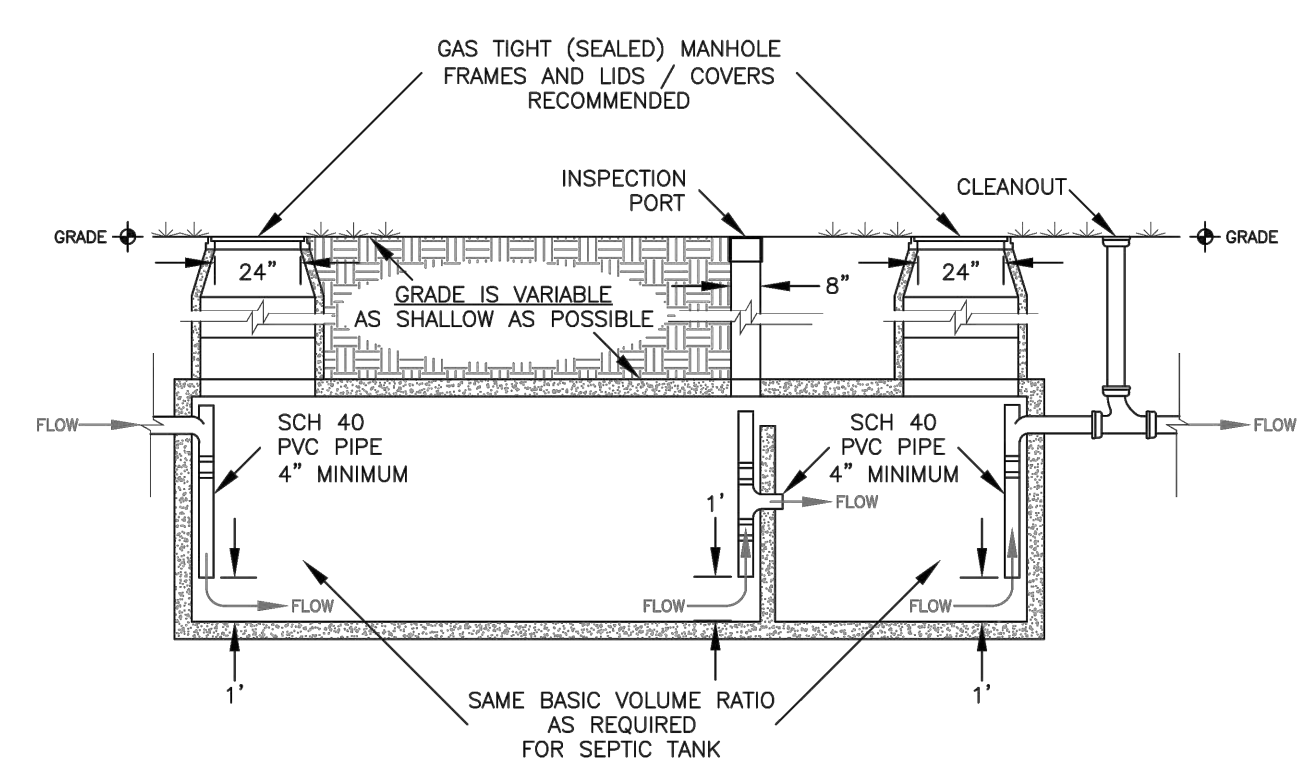
1. MAXIMUM LINE DEPTH IS 13'. DEVIATIONS MAY BE ALLOWED BY CITY ENGINEERING.
2. CONNECTIONS TO EXISTING SEWER MAINS SHALL BE TAPPED AT THE CONTRACTOR'S EXPENSE, AND PREDCO FAST FIT SADDLES OR APPROVED EQUAL SHALL BE USED. WHEN THE SEWER MAIN AND SEWER SERVICE LATERALS ARE INSTALLED UNDER ONE CONTRACT, IN-LINE TEES ONLY SHALL BE PROVIDED FOR THE SERVICE LATERALS. TEES SHALL BE ROLLED TO A 45 DEGREE ANGLE.
3. AN EXCAVATION PERMIT IS REQUIRED FOR EACH STUB.
4. SEWER SERVICE STUBS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR AS SPECIFIED BY CITY ENGINEERING.
5. IN ORDER TO KEEP SERVICE LINES DEEP ENOUGH TO SERVE EACH HOME AND PASS UNDER WATER MAINS, A 22 DEGREE FITTING MAY BE ALLOWED BY THE CITY ENGINEER AT THE SEWER MAIN TAP.
6. ALL COMMERCIAL SERVICE STUBS SHALL BE 6" MINIMUM DIAMETER.
7. ALL SINGLE DWELLING UNIT SERVICE STUBS SHALL BE 4" MINIMUM DIAMETER.



GENERAL NOTES:

1. CLEANOUTS SHALL BE PLACED WITHIN TWO FEET (OR APPROVED DISTANCE) OF THE STRUCTURE AND EVERY 100 FEET OF DISTANCE OR TOTAL CHANGE OF HORIZONTAL DIRECTION OF 135° OR MORE.
2. ALL CLEANOUTS SHALL BE EXTENDED TO FINISHED GRADE, CLEANOUTS INSTALLED UNDER ASPHALT OR CONCRETE SHALL HAVE A METAL RING AND COVER WITH "C.O." CAST IN THE LID SET TO GRADE.
3. CLEANOUTS SHALL BE THE SAME SIZE AND MATERIAL AS THE SANITARY SEWER PIPE.
4. UPON APPROVAL MANHOLES CAN BE SUBSTITUTED FOR CLEANOUTS WITH A MAXIMUM DISTANCE OF 300 FEET BETWEEN MANHOLES.
5. OPTION TWO MUST BE USED WHEN THERE IS NO UP STREAM CLEANOUT OR TERMINAL CLEANOUT.

FATS, OILS, GREASE AND GARBAGE (FOGG) WASTEWATER INTERCEPTOR



SECTION

1. FOGG WASTEWATER INTERCEPTOR SIZE, ALL RELATED PIPING, ALL CONNECTIONS AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE (UPC) - UTILIZING MOST CURRENT VERSION, REVISION, ADDENDUM AND / OR SUPPLEMENT.
2. FOGG WASTEWATER INTERCEPTOR MINIMUM SIZE SHALL BE ONE THOUSAND (1000) GALLONS FOR EXTERIOR INSTALLATIONS OR SIZED AS PER CURRENT PLUMBING CODE FOR INTERIOR INSTALLATIONS.
3. FOGG WASTEWATER INTERCEPTOR SHALL BE VENTED THROUGH STRUCTURE SERVED / SUPPLYING WASTEWATER.
4. FOGG WASTEWATER INTERCEPTOR MANHOLE FRAMES, LIDS / COVERS, INSPECTION PORT(S) AND CLEANOUT(S) RECOMMENDED TO BE GAS-TIGHT (SEALED).
5. FOGG WASTEWATER INTERCEPTOR LOCATED WITHIN THE PATH OF MOTOR VEHICLE TRAVEL SHALL HAVE TRAFFIC BEARING (RATED) FRAMES, LIDS / COVERS, INSPECTION PORT(S) AND CLEANOUT(S).

Missoula Engineering Division

Typical Residential Water Service Stub Detail

Approved By
Utilities Engineer
Logan McInnis, PE

Revised: 09/28/2020

STD - 404B

Missoula Engineering Division

Standard Sewer Service Stub

Approved By Utility
Project Manager -
Ross Mollenhauer, PE

Revised: 09/28/2020

STD - 520

Missoula Engineering Division

Typical Clean-out Details

Approved By
City Engineer
Kevin J. Slovorp

Adopted: 03/2004
Revised: 06/14/2017

STD - 521

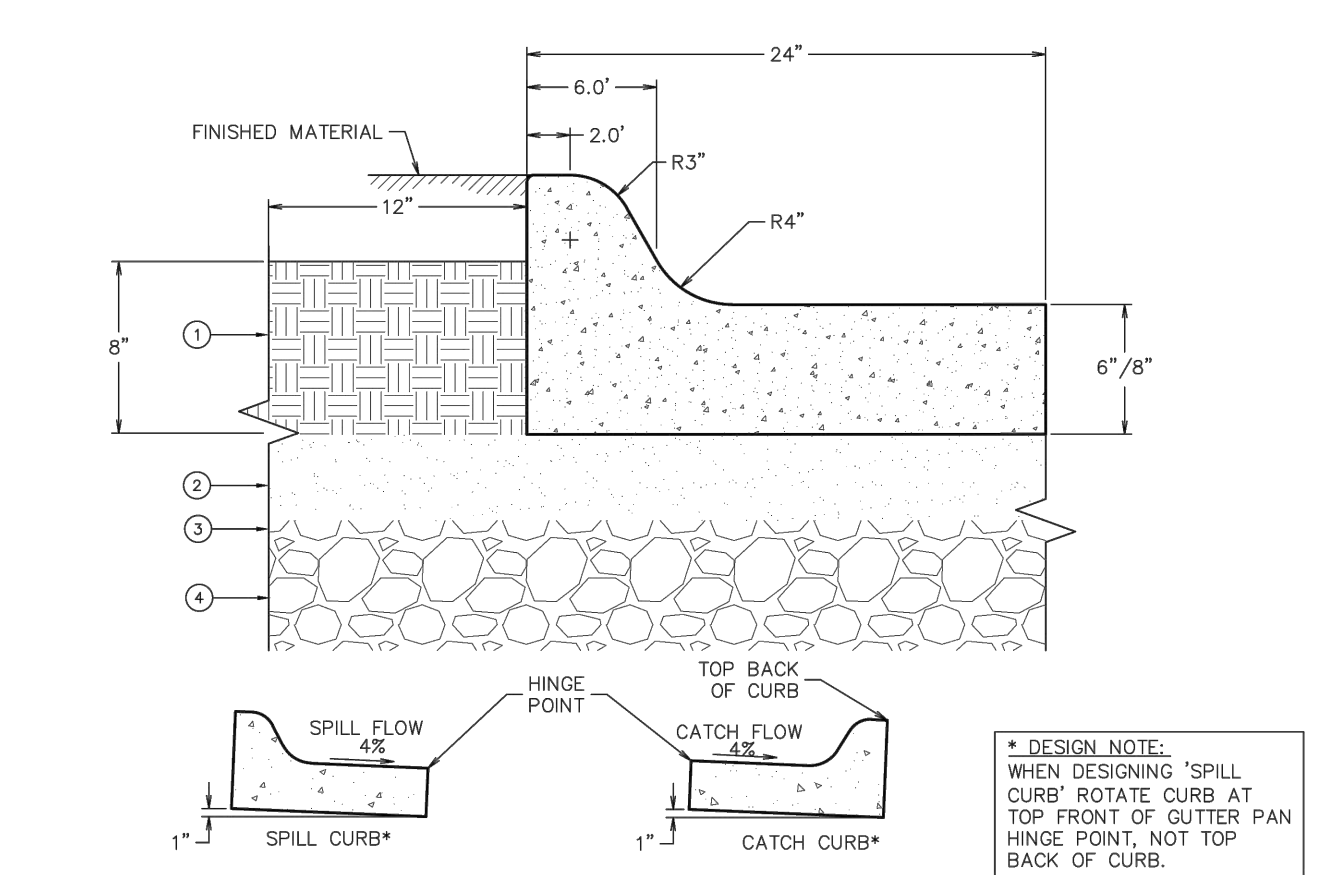
Missoula Engineering Division

Fats, Oils, Grease and Garbage (FOGG) Wastewater Interceptor

Approved By
City Engineer
Kevin J. Slovorp

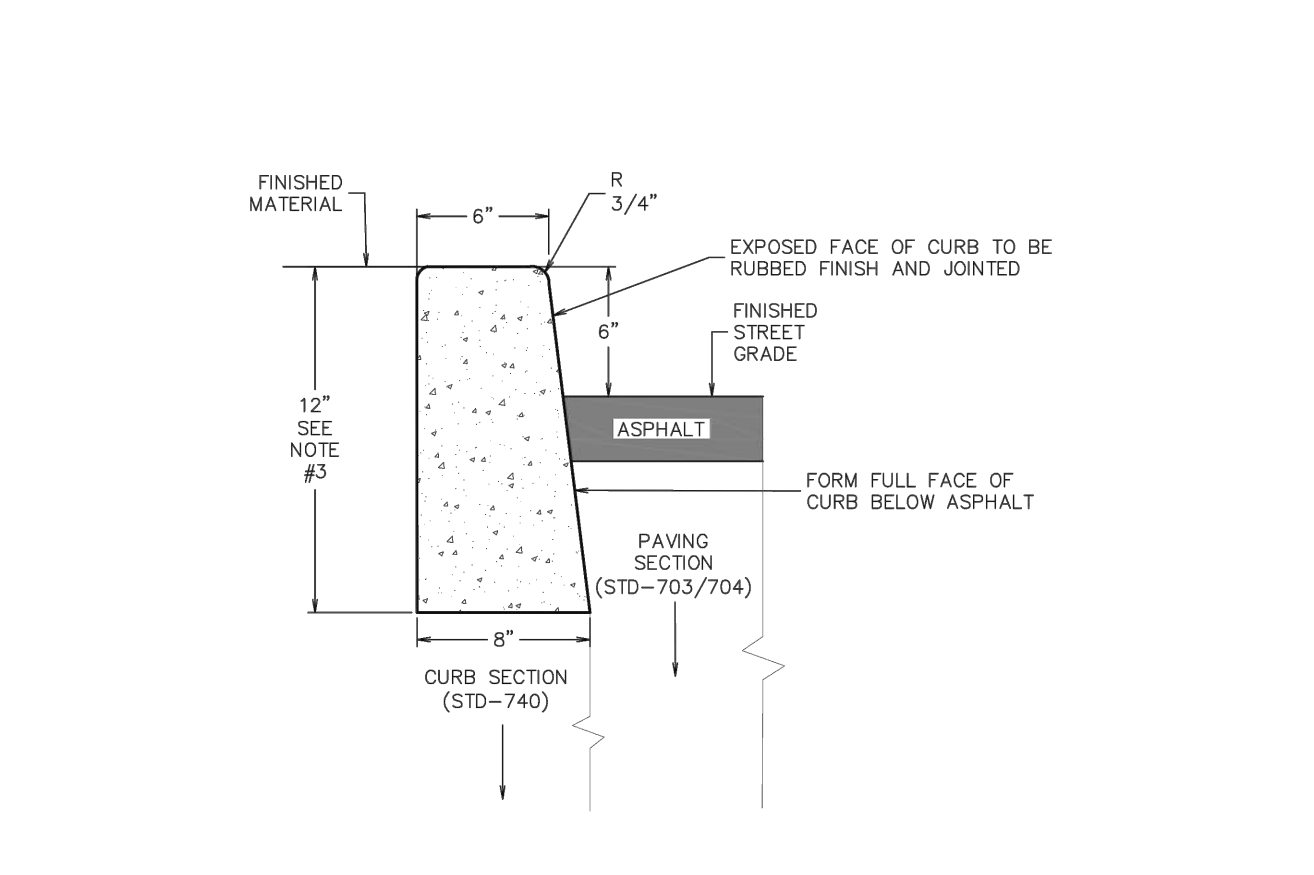
Adopted: 02/1990
Revised: 09/28/2020

STD - 531



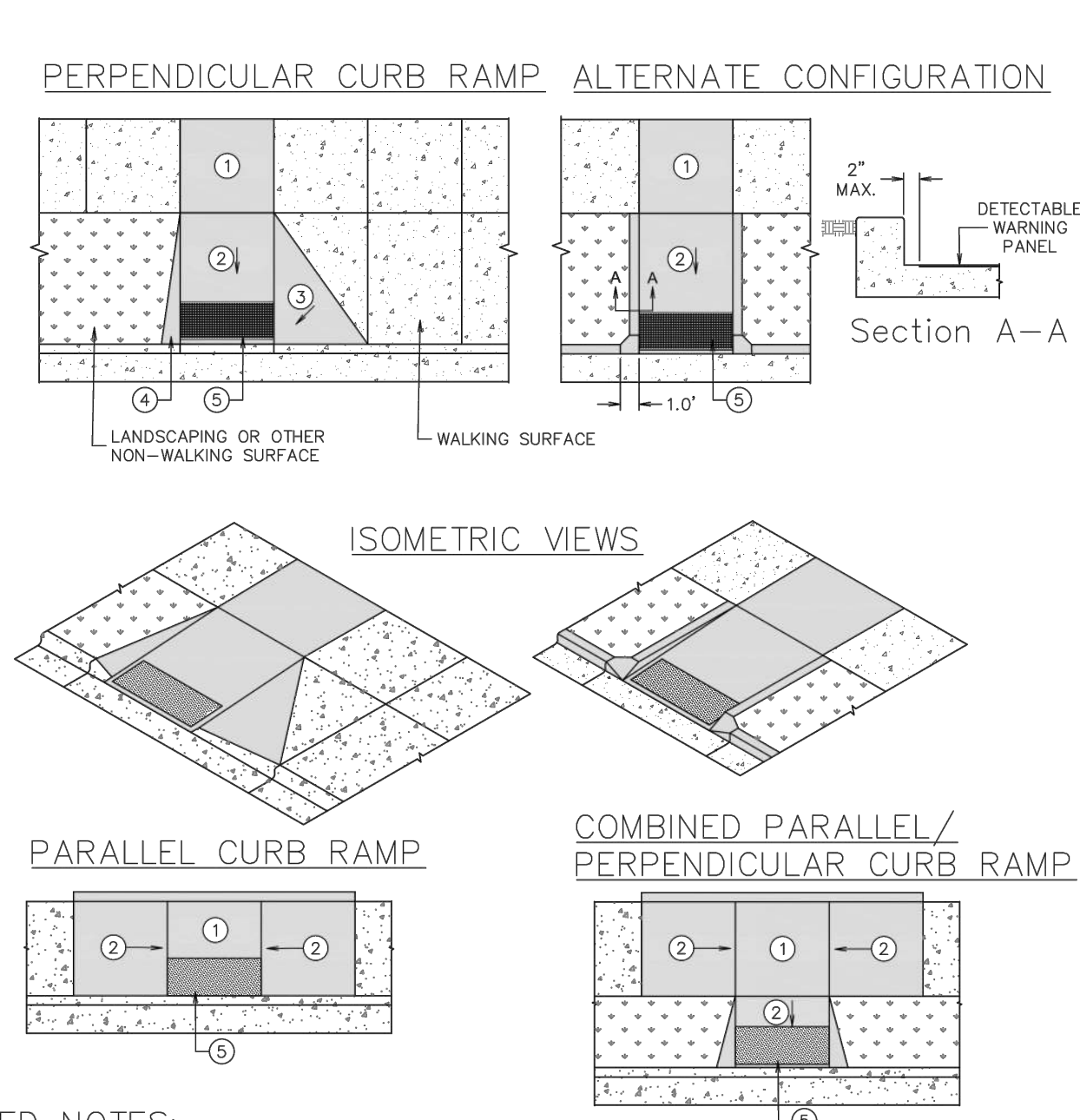
KEYED NOTES:

1. FILL MATERIAL: MINIMUM OF EIGHT (8") INCHES OF FILL MATERIAL COMPACTED TO 95% PROCTOR DENSITY BEHIND CURB. SEE STD-141 FOR SIDEWALK SECTION IF APPLICABLE.
 2. BASE: MINIMUM OF FOUR (4") INCHES OF BASE SHALL BE COMPACTED TO 95% PROCTOR DENSITY. EXTEND 1' FOOT BEHIND CURB.
 3. CITY ENGINEER MAY REQUIRE ADDITIONAL BASE, DEPENDING ON ADEQUACY OF SUB GRADE MATERIAL BASED ON A CBR.
 4. SUB GRADE: MINIMUM OF SIX (6") INCHES OF SUB GRADE SHALL BE COMPACTED TO 95% PROCTOR DENSITY. EXTEND 1' FOOT BEHIND CURB.
- GENERAL NOTES:
1. CONTRACTION JOINTS SHALL BE PLACED EVERY TEN (10') FEET AND SHALL BE ONE-FOURTH (1/4) THE CONCRETE THICKNESS OR A MINIMUM OF ONE (1") INCH DEEP.
 2. EXPANSION JOINTS OF ONE-HALF (1/2") INCH MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS:
2.1. P.C.S AND P.T.S OF CURVES WHERE RADI ARE THIRTY (30) FEET OR LESS.
2.2. GRADE BREAKS.
2.3. NO CLOSER THAN FOUR (4') FEET ON EITHER SIDE OF A DRAINAGE STRUCTURE.
2.4. AT OTHER LOCATIONS AS SPECIFIED BY CITY ENGINEER.
 3. MINIMUM GUTTER FLOW LINE SHALL BE FOUR-TENTHS (0.4%) PERCENT SLOPE.
 4. NO CURB OR SIDEWALK SHALL BE POURED WITHOUT AN INSPECTION AND APPROVAL OF FORM PLACEMENT BY CITY ENGINEERING DIVISION.
 5. "L" TYPE CURB IS SUITABLE FOR USE AS LANDSCAPE RETAINING CURB AND MAY BE POURED WITH SIDEWALK UPON APPROVAL.
 6. CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY SPECIFICATIONS FOR M-4000 CEMENT CONCRETE AND MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS SECTIONS 02528 AND 03310.
 7. THE CITY OF MISSOULA REQUIRES 564 LBS OF PORTLAND CEMENT PER CY OF CONCRETE.
 8. NOT FOR USE IN NEW ROAD CONSTRUCTION.



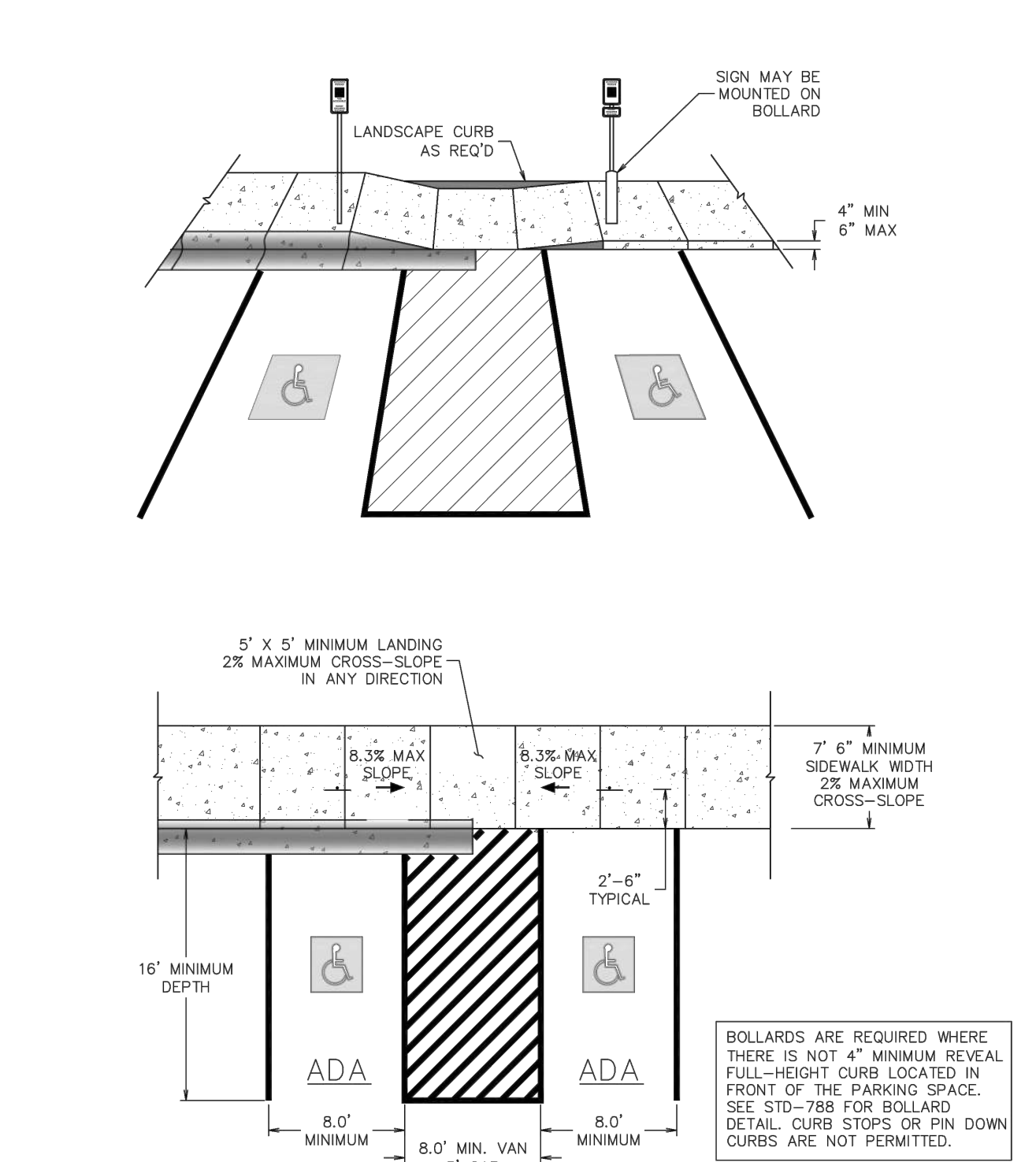
GENERAL NOTES:

1. SEE CITY OF MISSOULA STD-121 FOR BASE, SUB BASE, AND FILL SPECIFICATIONS.
2. CITY ENGINEER MAY REQUIRE ADDITIONAL BASE, DEPENDING ON SUB GRADE MATERIAL.
3. CITY ENGINEER MAY PERMIT OTHER CURB DEPTH - PRIOR APPROVAL IS REQUIRED.
4. CONTRACTION JOINTS SHALL BE PLACED EVERY TEN (10') FEET AND SHALL BE ONE-FOURTH (1/4) THE CONCRETE THICKNESS OR A MINIMUM OF ONE (1") INCH DEEP.
5. CONTRACTION JOINTS SHALL BE TOOK ON TOP AND FACE OF CURB.
6. EXPANSION JOINTS OF ONE-HALF (1/2") INCH MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS:
6.1. P.C.S AND P.T.S OF CURVES.
6.2. GRADE BREAKS.
6.3. NO CLOSER THAN FOUR (4') FEET ON EITHER SIDE OF A DRAINAGE STRUCTURE.
6.4. AT OTHER LOCATIONS AS SPECIFIED BY CITY ENGINEER.
6.5. EXPANSION JOINTS MAY BE ELIMINATED FOR EXTRUDED CURB AT CITY ENGINEER'S DISCRETION.
7. NO CURB OR SIDEWALK SHALL BE POURED WITHOUT AN INSPECTION AND APPROVAL OF FORM PLACEMENT BY CITY ENGINEERING DIVISION.
8. "B" TYPE CURB IS SUITABLE FOR USE AS LANDSCAPE RETAINING CURB AND MAY BE POURED WITH SIDEWALK UPON APPROVAL.
9. CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY STANDARD SPECIFICATIONS FOR M-4000 CEMENT CONCRETE AND MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS SECTIONS 02528 AND 03310.
10. THE CITY OF MISSOULA REQUIRES 564 LBS OF PORTLAND CEMENT PER CY OF CONCRETE.



KEYED NOTES:

1. LANDING: 5' X 5' PREFERRED DIMENSION, 4' X 4' MINIMUM. MAXIMUM SLOPE IS 2% IN ANY DIRECTION.
2. RAMP: 8.3% MAXIMUM RUNNING SLOPE. 2% MAXIMUM CROSS-SLOPE.
3. FLARED SIDE: 10% MAXIMUM SLOPE.
4. 1' FLARED TRANSITION FROM CURB LAY-DOWN TO TOP OF CURB.
5. DETECTABLE WARNING PANELS PER STD-750.
6. CONCRETE SIDEWALK SECTIONS, BASE, AND SUB GRADE PER STD-752.



Missoula Engineering Division

Typical "L" Type Curb/Gutter Section

Approved By
City Engineer
Kevin J. Slovorp

Adopted: 01/30/1980
Revised: 03/15/2017

STD - 740

Missoula Engineering Division

Typical "B" Type Curb Section

Approved By
City Engineer
Kevin J. Slovorp

Adopted: 04/09/1973
Revised: 03/20/2017

STD - 743

Missoula Engineering Division

Curb Ramp Details (Sheet 1 of 4)

Approved By
City Engineer
Kevin J. Slovorp

Adopted: 01/30/1980
Revised: 03/15/2017

STD - 751-1

Missoula Engineering Division

Accessible Front In Parking Spaces Access In Narrow Sidewalk (Sheet 2 of 2)

Approved By
City Engineer
Kevin J. Slovorp

Adopted: 02/27/1999
Revised: 01/13/2017

STD - 782-2

IMEG

1817 SOUTH AVE. W. STE. A
MISSOULA, MT 59801

PH: 406.721.0142
FAX: 406.721.5224
WWW.IMEG-CORP.COM

DATE	08/10/2021
REVISIONS	08/03/2021
REV 2	08/03/2021
REV 3	10/22/2021
REV 4	05/24/2022
REV 5	
DESIGNED:	CM
DRAFTED:	AE
CHECKED:	JR
DATE:	04/26/2022

LOCATION:
D.L.E. 1004, TRACT 1 OF HALLING FARMS
SECTION 18, T.13N., R.19W., P.M.M.
MISSOULA COUNTY, MONTANA

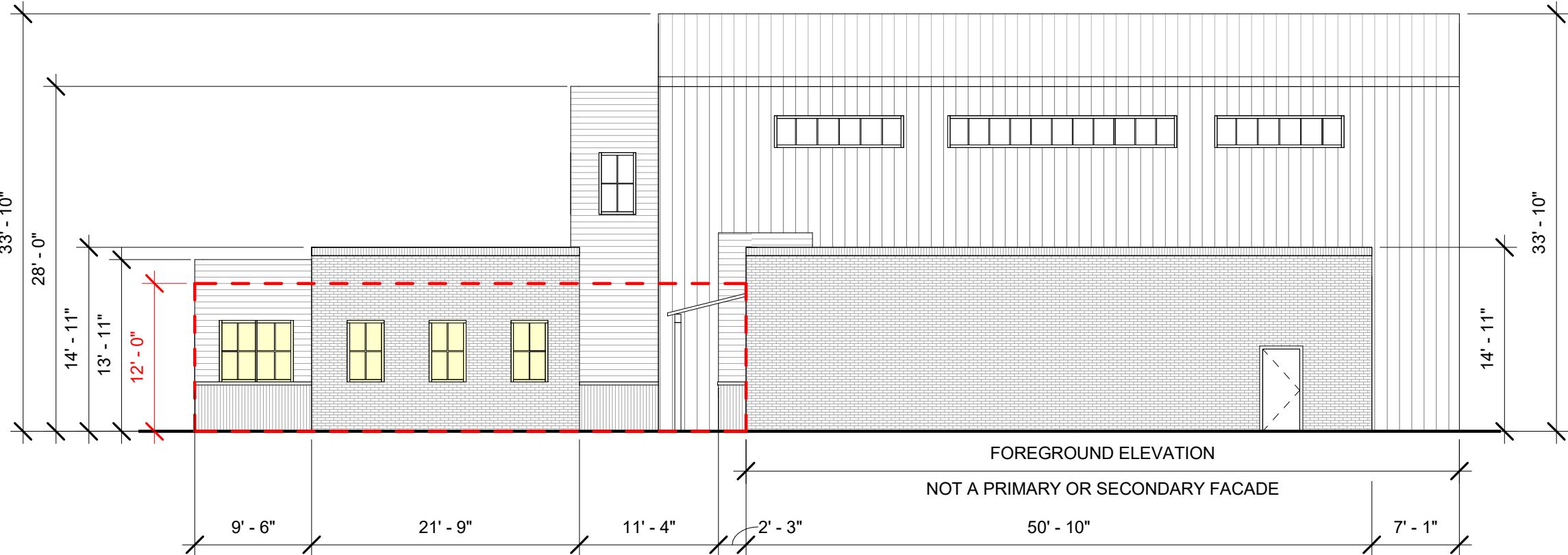
PREPARED FOR:
MMW, LLC

PROJECT NAME
MULLAN CROSSING
COMMERCIAL DEVELOPMENT

PROJECT NO.
19-5458

SHEET TITLE
CIVIL CONSTRUCTION PLANS
DETAIL SHEET

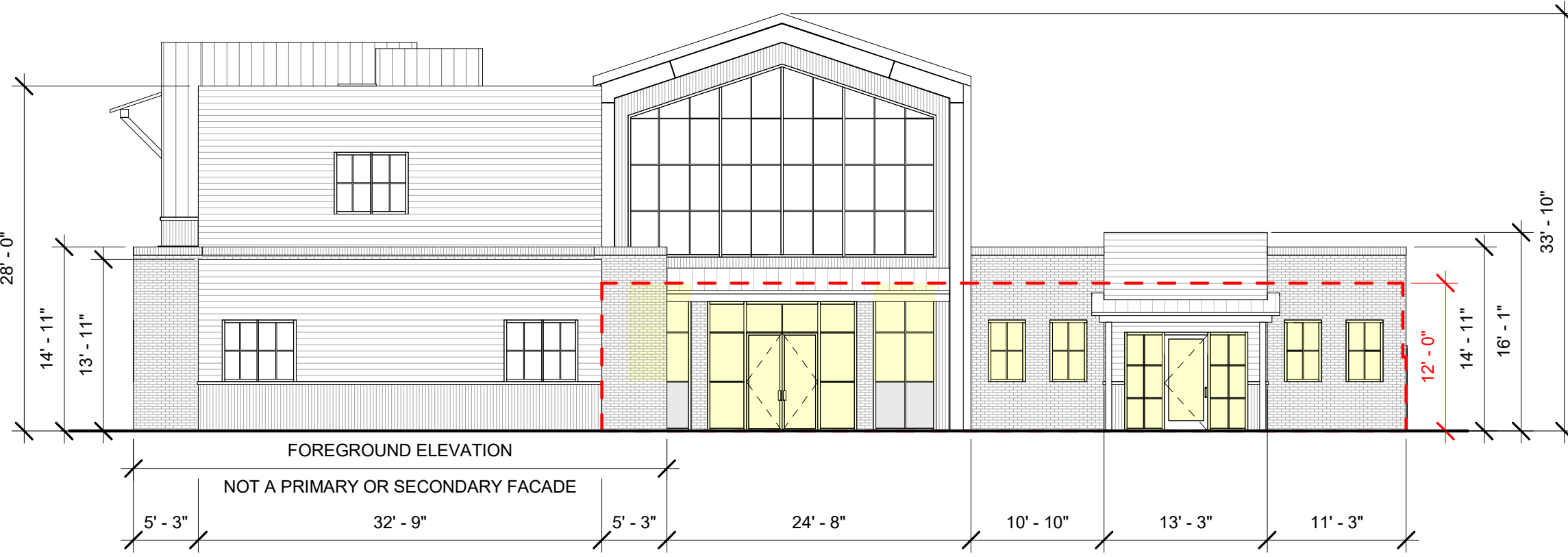
SHEET:
D2 OF D2



WEST ELEVATION - SECONDARY FACADE
(MEETS 1, 2, 3, 5)

ITEM #4 GLAZING CALCULATIONS:
GROUND FLOOR:
FACADE AREA TO 12FT = 537 SQFT
GLAZING AREA = 75 SQFT (14%)

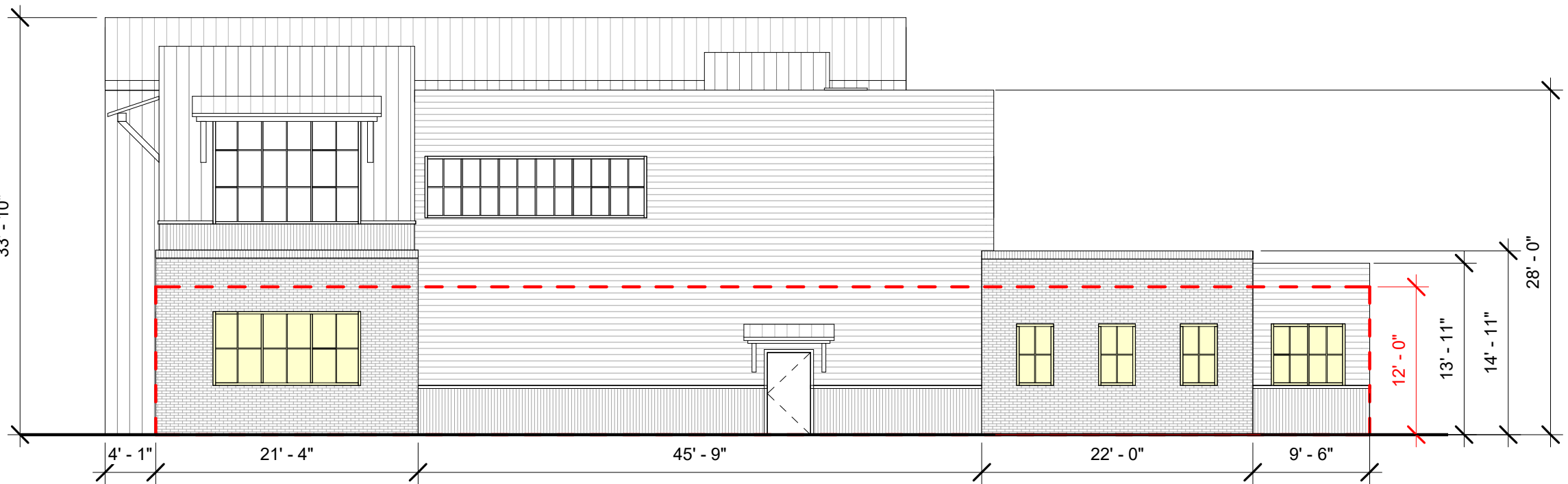
5 WEST ELEVATION - GLAZING & FACADE MODULATION
3/32" = 1'-0"



NORTH ELEVATION - PRIMARY FACADE
(MEETS ITEMS 1, 2, 3, 4, 5, 6)

ITEM #4 GLAZING CALCULATIONS:
GROUND FLOOR:
FACADE AREA TO 12FT = 782 SQFT
GLAZING AREA = 340 SQFT (43%)

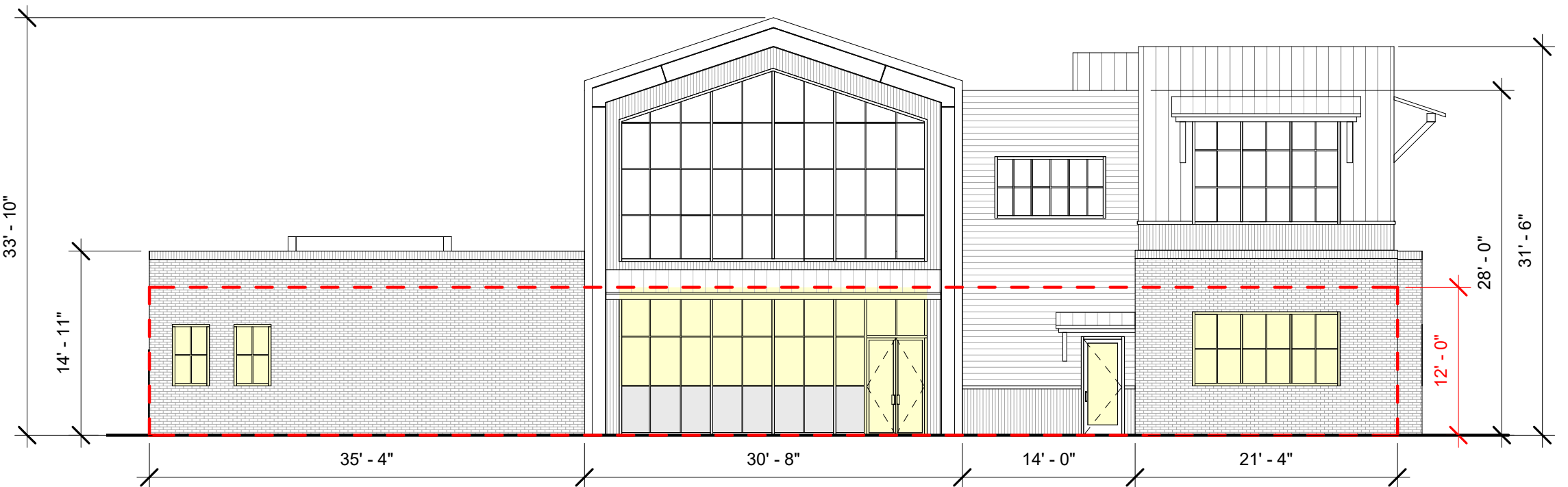
4 NORTH ELEVATION - GLAZING & FACADE MODULATION
3/32" = 1'-0"



EAST ELEVATION - PRIMARY FACADE
(MEETS ITEMS 1, 2, 3, 5)

ITEM #4 GLAZING CALCULATIONS:
GROUND FLOOR:
FACADE AREA TO 12FT = 1184 SQFT
GLAZING AREA = 147 SQFT (12%)

3 EAST ELEVATION - GLAZING & FACADE MODULATION
3/32" = 1'-0"



SOUTH ELEVATION - PRIMARY FACADE
(MEETS ITEMS 1, 2, 3, 4, 5)

ITEM #4 GLAZING CALCULATIONS:
GROUND FLOOR:
FACADE AREA TO 12FT = 1216 SQFT
GLAZING AREA = 339 SQFT (28%)

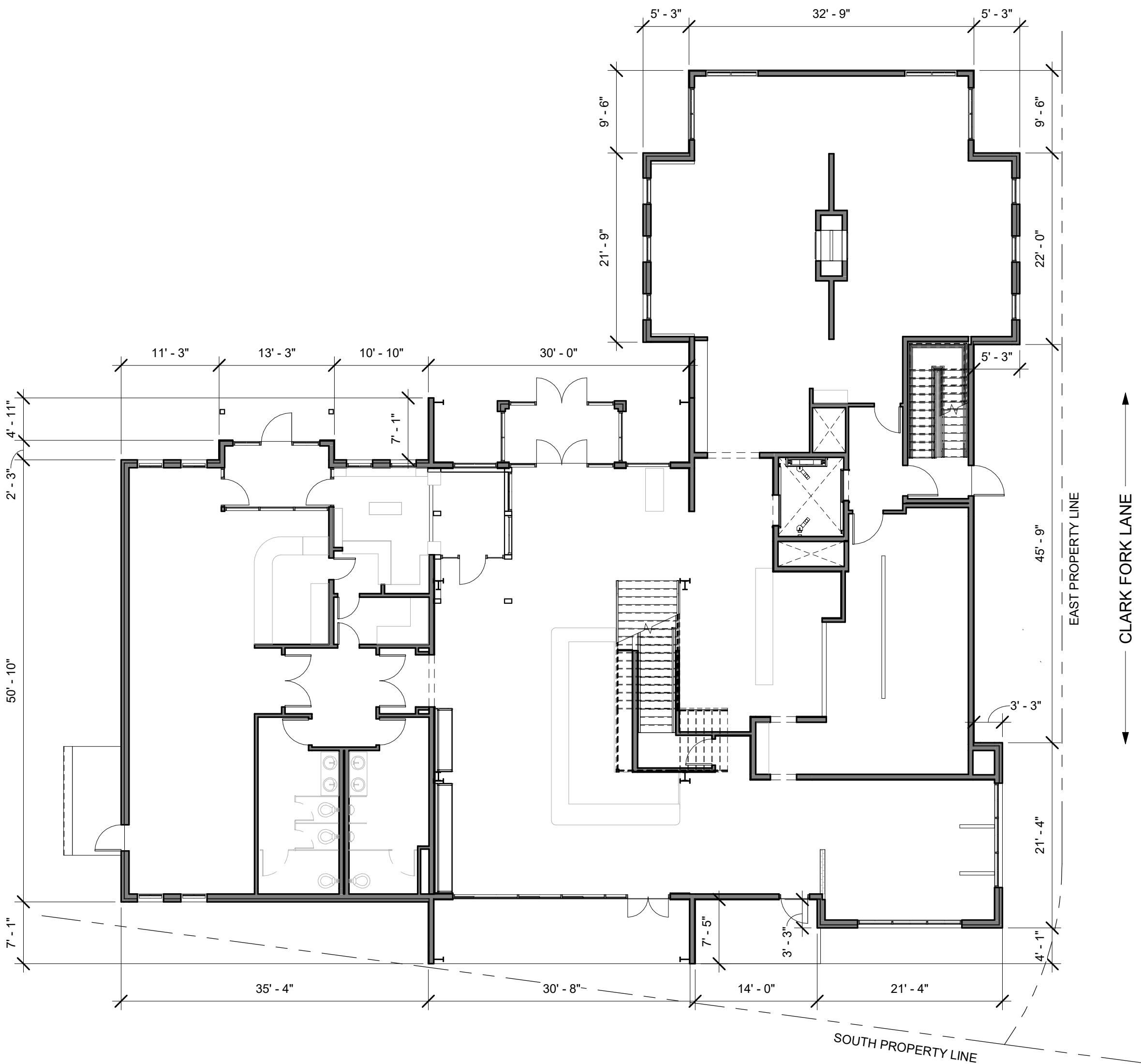
2 SOUTH ELEVATION - GLAZING & FACADE MODULATION
3/32" = 1'-0"

DESIGN STANDARDS PER CITY OF MISSOULA TITLE 20, SECTION 20.40.170, J:

- J. GENERAL COMMERCIAL:**
These standards shall apply to certain non-residential uses in the C1, C2, CBD, M1R and M1 zoning districts. In order to enhance the visual appearance of commercial development, primary facades shall incorporate at least four design alternatives and secondary facades shall incorporate at least three design alternatives. The design alternatives are:
1. Provide color variation in the building façade, including building trim or accent areas;
 2. Provide building façade modulation, such as projections, recesses, off-set planes, overhangs, arcades and/or clearly defined, highly visible pedestrian entrances encompassing at least 75% of the first story of the building façade. No uninterrupted (un-modulated) length of the façade shall exceed 80 feet in length. The break in the façade shall be at least eight feet in length and a minimum two feet in depth;
 3. Provide exterior materials that are clearly visibly texturally diverse. Predominant exterior building materials may not include smooth-faced concrete block, tilt up concrete panels or prefabricated steel panels. This is not intended to exclude the use of architectural metal wall systems;
 4. Incorporate windows, doors and other transparencies to encompass at least 25% of the first story of the building façade between finished grade and 12 feet above grade. Darkly tinted, mirrored or highly reflective glazing or doors with less than 50% glass may not be counted toward minimum glazed area requirements;
 5. Provide varied roof lines and multiple roof planes, with three or more roof slope planes, or a rooftop garden or rooftop deck; varied roof lines should not preclude the installation of renewable energy systems;
 6. Provide a primary customer entrance which is clearly defined and highly visible facing the street or public right-of-way. Where a customer entrance is provided to meet the requirement in 20.40.170.E, it shall be counted as meeting one of the design alternatives for that façade.

MATERIALS LEGEND

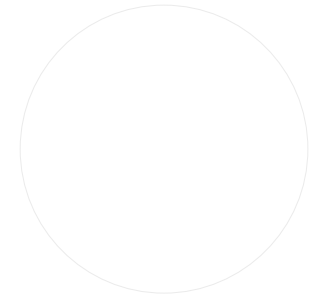
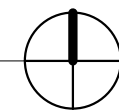
	METAL ROOF		BRICK
	METAL SIDING 1		HORIZONTAL WOOD SIDING
	METAL SIDING 2		SPANDRAL PANEL



1 FACADE MODULATION PLAN
3/32" = 1'-0"



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"



PARADIGM
ARCHITECTURE

CRU RESTAURANT & BAR

3770 & 3720 MULLAN RD // MISSOULA, MT 59808



REVISIONS

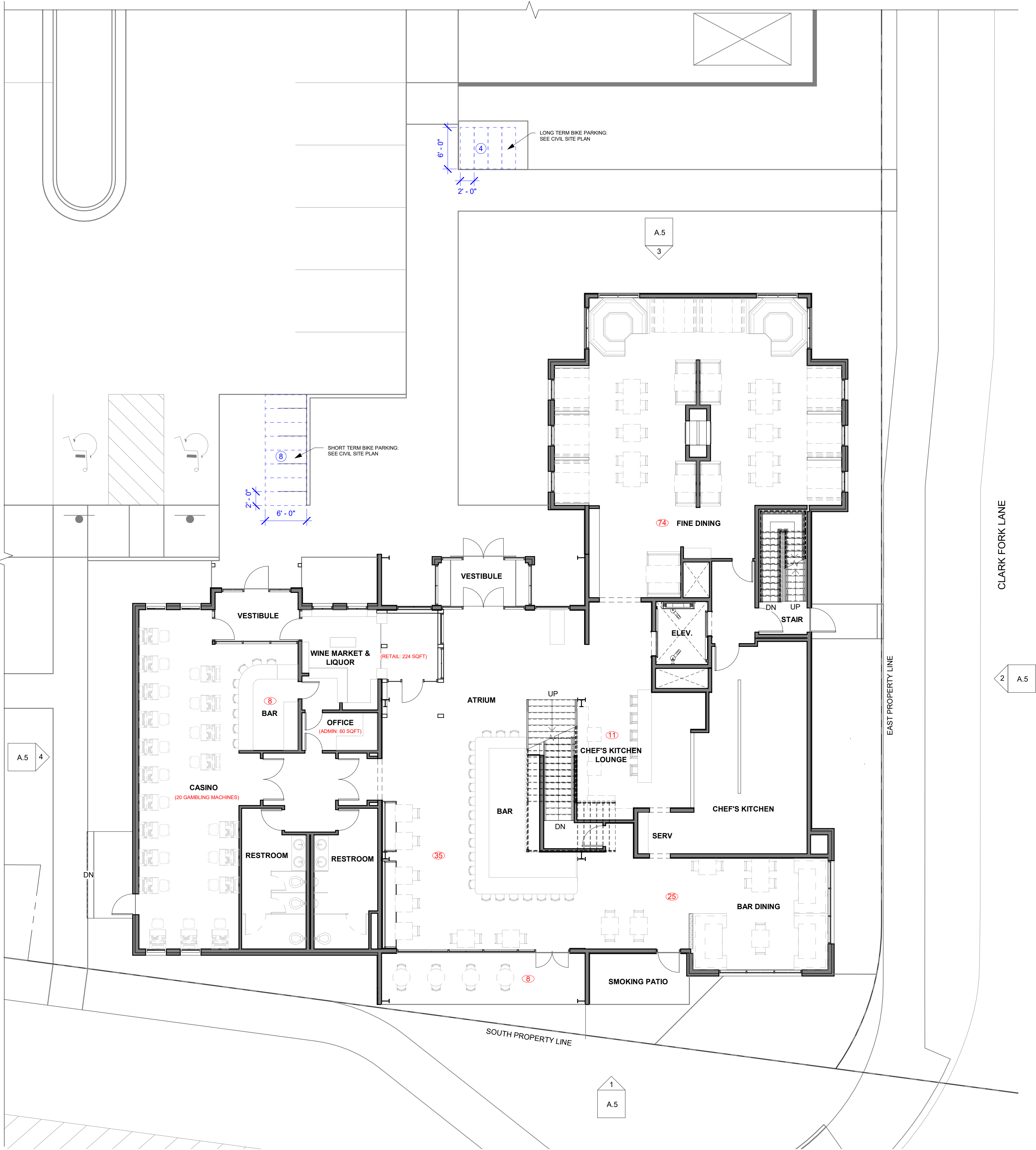
2022.05.27

BASEMENT FLOOR
PLAN

A.1

CONDITIONAL USE
PERMIT

PARKING CALCULATIONS	
 SEAT COUNT	
 BIKE PARKING COUNT	
VEHICLE PARKING REQUIREMENTS PER TITLE 20 TABLE 20.60-1 OFF STREET PARKING SCHEDULE:	
<ul style="list-style-type: none">• RESTAURANT: 1 SPACE PER 4 SEATS + 1 SPACE PER 2 EMPLOYEES• TAVERN: 1 SPACE PER 4 SEATS + 1 SPACE PER 2 EMPLOYEES + 1 SPACE PER BILLIARD TABLE + 1 SPACE PER 2 GAMBLING MACHINES.• CASINO: 1 SPACE PER 4 SEATS + 1 SPACE PER 2 EMPLOYEES + 1 SPACE PER BILLIARD TABLE + 1 SPACE PER 2 GAMBLING MACHINES.• FOOD AND BEVERAGE RETAIL SALES: 1 SPACE PER 480 SQFT.• ADMIN/OFFICE: 1 SPACE PER 480 SQFT	
BICYCLE PARKING REQUIREMENTS PER TITLE 20, 20.60.090:	
SPACES REQUIRED FOR COMMERCIAL USE:	
<ul style="list-style-type: none">• SHORT TERM: 1 PER 10 VEHICLE SPACES; 2 SPACES MIN.• LONG TERM: 1 SPACE PER 5 EMPLOYEES, 1 SPACE MIN.	
SIZE:	
<ul style="list-style-type: none">• SHORT TERM: 2FT WIDE, 6FT LONG, 7FT OVERHEAD CLEAR• LONG TERM: 2FT WIDE, 6FT LONG, 7FT OVERHEAD CLEAR (LOCKERS EXEMPT).	
VEHICLE PARKING CALCULATIONS:	
BASEMENT:	
4 SEATS	
ADMIN/OFFICE = 412 SQFT	
1ST FLOOR:	
161 SEATS	
ADMIN/OFFICE = 60 SQFT	
RETAIL = 224 SQFT	
GAMBLING MACHINES = 20 COUNT	
2ND FLOOR:	
62 SEATS	
TOTAL SEATS = 227/4 = 57 SPACES	
TOTAL EMPLOYEES = 18/2 = 9 SPACES	
TOTAL GAMBLING MACHINES = 20/2 = 10 SPACES	
TOTAL ADMIN/OFFICE = 472/480 = 1 SPACE	
TOTAL RETAIL = 224/480 = 1 SPACE	
TOTAL SPACES REQUIRED = 78	
BICYCLE PARKING CALCULATIONS:	
SHORT TERM = 78/10 = 7.8 = 8 SPACES	
LONG TERM = 18/5 = 3.6 = 4 SPACES	



1 1ST FLOOR PLAN
1/8" = 1'-0"



PARADIGM
ARCHITECTURE

CRU RESTAURANT & BAR

3770 & 3720 MULLAN RD // MISSOULA, MT 59808

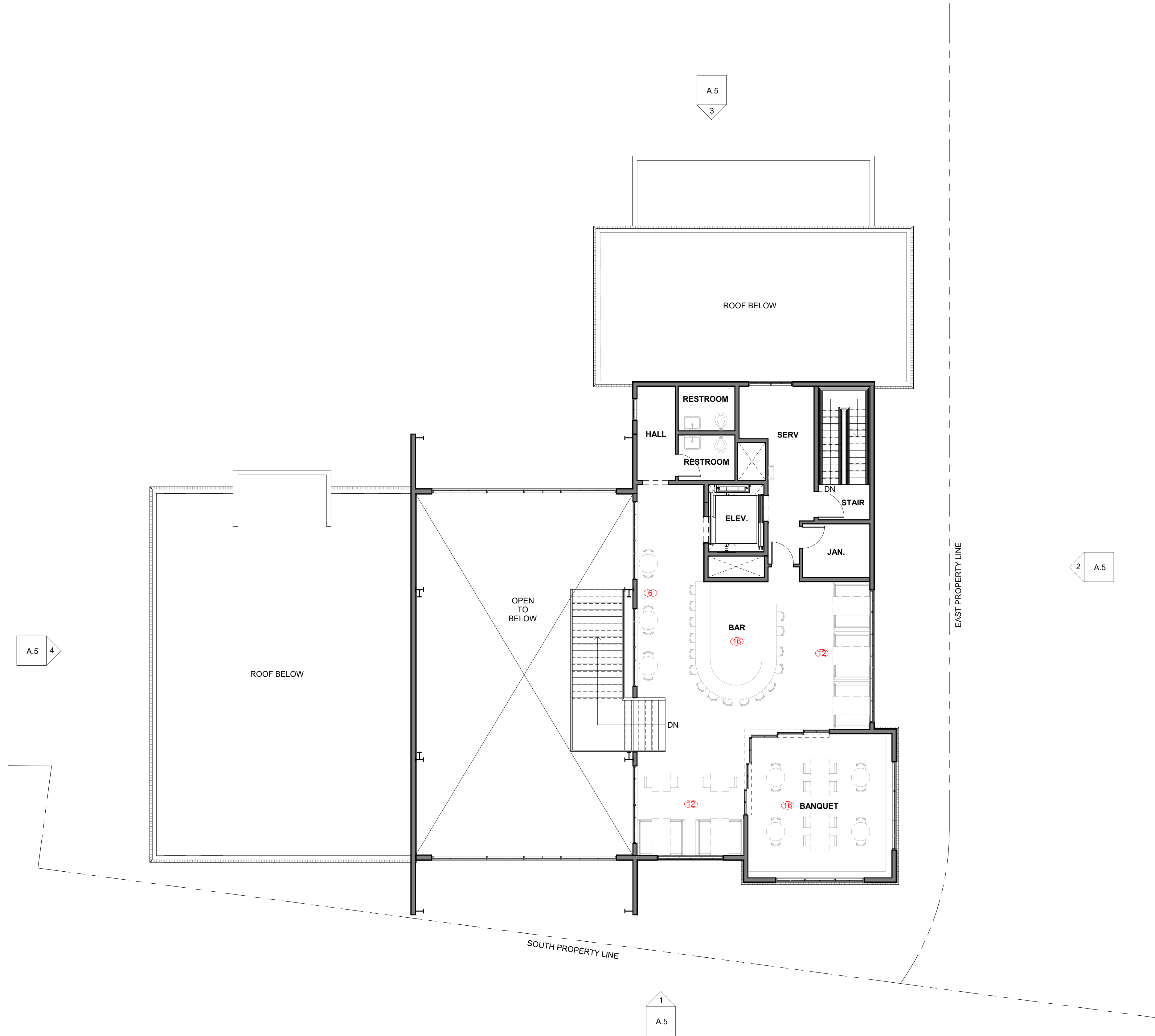
REVISIONS

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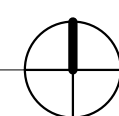
1ST FLOOR PLAN

A.2

CONDITIONAL USE
PERMIT



1 2ND FLOOR PLAN
1/8" = 1'-0"



PARADIGM
ARCHITECTURE

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2022.05.27

2ND FLOOR PLAN

A.3

CONDITIONAL USE
PERMIT



CRU RESTAURANT & BAR

3770 & 3720 MULLAN RD // MISSOULA, MI 59808

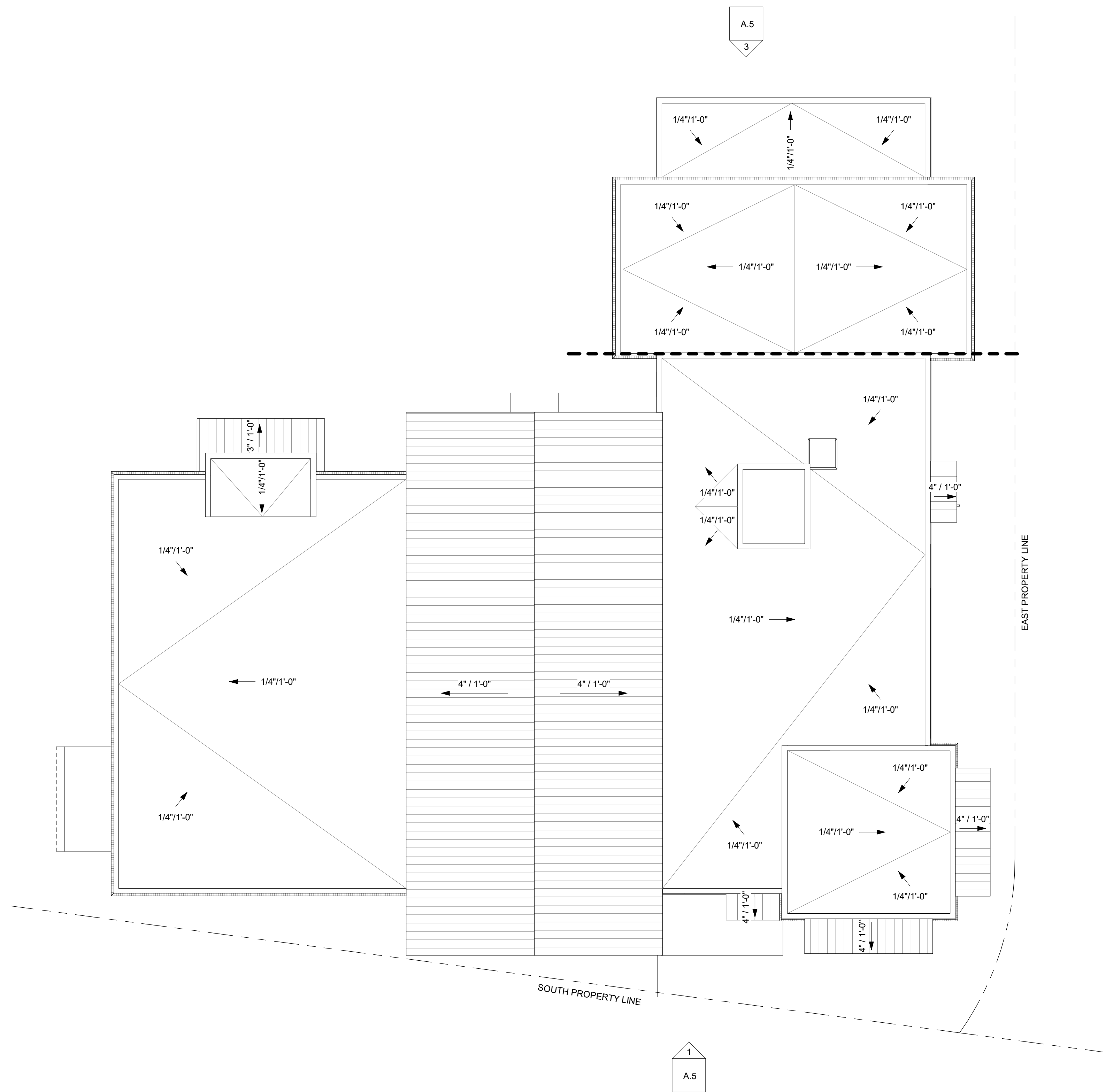
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2022.05.27

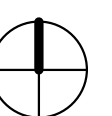
ROOF PLAN

A.4

CONDITIONAL USE PERMIT

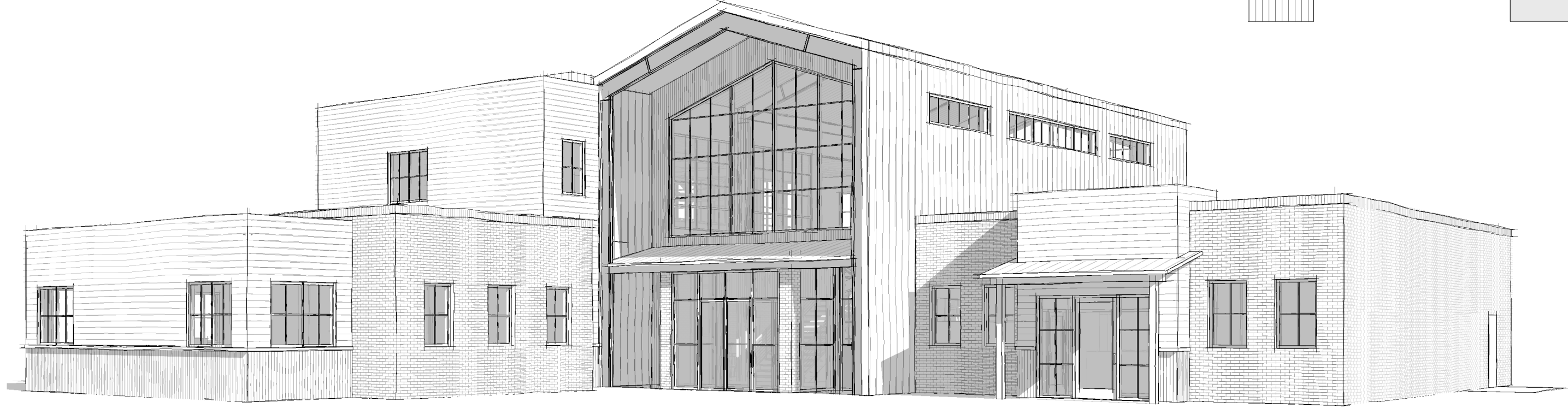


1 ROOF PLAN
1/8" = 1'-0"





5 SE CORNER PERSPECTIVE



6 NW CORNER PERSPECTIVE

MATERIALS LEGEND

	METAL ROOF		BRICK
	METAL SIDING 1		HORIZONTAL WOOD SIDING
	METAL SIDING 2		SPANDRAL PANEL



4 WEST ELEVATION
1/8" = 1'-0"



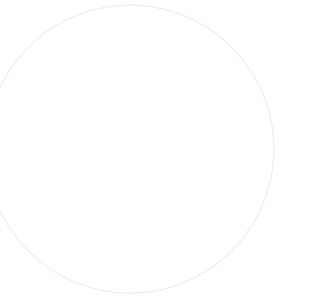
3 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"



PARADIGM
ARCHITECTURE

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2022.05.27

BUILDING ELEVATIONS

A.5

CONDITIONAL USE
PERMIT