

July 22, 2022

City of Missoula

Attn: Alex Bramlette
Community Development
435 Ryman Street
Missoula, MT 59802

Re: Missoula City Public Forum
Missoula County – TSOS Pallet Shelter Site

Dear Ms. Bramlette:

The purpose of this letter is to present the vision for the Pallet Shelter site and to present deviations from certain design and site standards required by the Title 20 Zoning Regulations. The Pallet Shelter project is unique in that it is located within Missoula City limits and owned by Missoula County. The plans are to improve the site with a combination of uses including Emergency Homeless Shelter, Group Living and Temporary Use. The site will provide temporary safe outdoor space with prefabricated modular shelters, bathroom units and office space. It's intended to provide emergency/temporary housing for those who need assistance. This approach to addressing the housing crisis is unprecedented for the jurisdiction and while aiding individuals and the community as a whole, the following deviations from the design standards are:

Chapter 20.40.45 Emergency Homeless Shelter

- 20.40.045.C.1 Storage Lockers – Provide one locker with a minimum of nine cubic feet of storage space with lock per bed.
 - Temporary housing shelters can be locked and have approximately 100 square feet of interior space for storage needs.

Chapter 20.40.130 Temporary Uses

- 20.40.130.G.2 – In nonresidential zoning districts temporary uses may be permitted for up to 90 days per calendar year per parcel. There is no limit on the number of occurrences or events as long as the 90-day cumulative limit is not exceeded.
 - Operations are planned for year-round.
- 20.40.130.G.3 – The applicant must submit a written explanation of the length of time needed for a proposed temporary use.
 - Duration unknown at this time.

Chapter 20.60.090 – Bicycle Parking

- 20.60.090.D – Long-Term Bicycle Parking and Storage Spaces
 - Long-term bike storage can be provided in the shipping container onsite but undetermined at this time as to whether it will meet the full criteria for design and location.

Chapter 20.65 Landscaping

- 20.65.040 – Interior Parking Lot Landscaping

- All required landscape islands are not provided to allow for a pedestrian connection from shelters to W. Broadway.
- 20.65.060.B.2 – Buffers – Landscape Buffer, Fence or Wall, and/or Landscape Berm
 - A chain link fence buffer between development site and residentially used property to the south will not meet material requirements.
- 20.65.070.B – Features to be Screened – Ground-mounted Mechanical Equipment, Roof-mounted Mechanical Equipment, Structure-mounted Mechanical Equipment.
 - See attached visuals for examples of mechanical equipment that will be exposed and not screened.
 - Electrical transformer will be out of direct view but will not meet screening standards.
- 20.65.070.B.6 – Screening Materials,
- Supplies and Equipment
 - Shipping container will be onsite for storage, potential for long term bike storage as well.
- 20.65.080 – Landscape Material and Design
 - To minimize maintenance around the pallet shelters and provide uniformity in surface materials, mineral mulch will be used on more than 50% of the mulch landscaped areas.
 - A chain link fence buffer between development site and residentially used property to the south will not meet material requirements.

The following documents are attached:

- Missoula City Public Forum Application
- Site Plan
- Landscaping Plan
- Grading Plan
- Two Visual Exhibits Demonstrating Exterior Mechanical Equipment (AC, Electrical)
- Restroom/Shower Combo Specs and Floorplan
- Pallet Shelter Spec Sheet and Visual Representation of Interior
- Atco Mobile Office exterior view and website link for interior visuals

Please contact if any additional information is needed at kdinsmore@wgmgroup.com or 406-531-4735.

Sincerely,
WGM Group, Inc.



Kate Dinsmore, PLA
Project Manager



COMMUNITY PLANNING, DEVELOPMENT & INNOVATION

Development Services Division

435 RYMAN | MISSOULA, MT 59802-4297 | 406.552.6630 | FAX 406.552.6053

MISSOULA CITY PUBLIC FORUM APPLICATION

Date: 22 July 2022

Meeting Date: _____

Applicant Name: Missoula County

Address: 200 W Broadway St. Phone: _____

Agent Name: Kate Dismore - WGM Group, Inc.

Address: 1111 East Broadway Phone: 406-531-4735

Project Address/Location: Geocode 220017214030000; Parcel ID 04220017214030000; NHN West Broadway

Request Type: Request a public hearing to demonstrate deviations from the Title 20 Zoning Regulations

The following items must be submitted as part of the application:

Legal Description

Lot(s): Lot 2; Block(s): _____; Subdivision: Trinity Mullan

Section: 17; Township: 13 N; Range: 19 W

COS#: _____

Zoning: M1R-2 ; Limited Industrial - Residential

PACKETS MUST CONTAIN THE FOLLOWING ITEMS

Provide the following information as pdf's emailed to the Zoning desk staff at ZoningDesk@ci.missoula.mt.us Staff will review the application for completeness and provide any corrections. Once a complete application and the fee is received staff will provide a schedule for the public hearing date.

- a. **Application**
- b. **Cover Letter**
- c. **Site Plan & Landscaping Plan (to scale)**
- d. **Elevation Drawings (to scale)**
- e. **Topography Map, if applicable (to scale)**
- f. **Floor Plan**



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MISSOULA CITY PUBLIC FORUM APPLICATION

APPLICANT'S RESPONSIBILITY

The burden of proof for an applicable hardship and justification of proposal lies with the applicant. The applicant or the applicant's agent must be present at the meeting. Failure to appear at the meeting is grounds for denial of the variance request.

STATUTORY AUTHORITY

A public forum process is established as authorized by §76-2-402 MCA. Whenever an agency proposes to use public land contrary to local zoning regulations, a public hearing must be held and the agency shall attend the public hearing. The City Council is responsible for conducting public hearings.

TITLE 20, SECTION 20.85.095 PUBLIC FORUM

Title 20, Section 20.85.095 includes the process to implement the Public Forum provisions in state law. An "agency" means a means a board, bureau, commission, department, district, an authority, or other entity of state or local government.

The City Council shall hold a hearing within 30 days of the date the agency gives notice of its intent to develop land contrary to local zoning regulations and pays the application fee. The City Council shall hold the public hearing as a public forum and shall have no power to deny or condition the proposed use, but shall act only to allow a public forum for comment on the proposed use.

I hereby attest that the information on this application form is accurate and complete.

Property Owner's Signature Christian Lounsbury **Date** 7/21/22

I, Christian Lounsbury, owner of the said property authorize WGM

to act as my agent in this application.

GENERAL NOTES:

1. ALL BUILDINGS ARE PREFABRICATED AND TO BE PROVIDED BY OWNER.

KEYED NOTES:

1. REFER TO SHEET C4.0 FOR WATER SERVICE PLAN, PROFILE, AND CONSTRUCTION COORDINATION NOTES.
2. REFER TO SHEET C5.0 FOR SEWER SERVICE PLAN, PROFILE, AND CONSTRUCTION COORDINATION NOTES.
3. COORDINATE WITH UTILITY COMPANIES FOR JOINT UTILITY TRENCH (JUT) ANTICIPATED COMMUNICATION PROVIDERS:
SPECTRUM - BENNY MURPHY (406)-370-7205
CENTURY LINK/LUMEN - JOHN OLSEN (406)-370-6756
4. COORDINATE WITH NORTHWESTERN ENERGY FOR PRIMARY POWER AND TRANSFORMER INSTALLATIONS. TRANSFORMER PAD ELEVATION AND LOCATION TO BE STAKED IN FIELD BY ENGINEER. DEVELOPER'S REPRESENTATIVE TO BE PRESENT DURING TRANSFORMER INSTALLATION TO FIELD VERIFY PAD ELEVATION PRIOR TO POURING CONCRETE. ENSURE 95% COMPACTION OVER ENTIRE LENGTH OF ELECTRIC OR GAS LINE TRENCHES.
5. INSTALL ACCESSIBLE PARKING SIGN.
6. REFER TO LANDSCAPE PLANS FOR PLANT SELECTION, PLANT INSTALLATION, AND MULCH DETAILS.
7. REFER TO SHEET C4.0 FOR IRRIGATION SERVICE CONNECTION TO MAIN AND ROUTING TO METER PIT INFORMATION. REFER TO DETAIL 2 ON C6.1 FOR METER PIT DETAILS.
8. REFER TO LANDSCAPE PLANS FOR BIKE RACK PLACEMENT AND DETAILS.
9. PROVIDE 5.0' WIDE ASPHALT PATHWAY PER DETAIL 9 ON SHEET C6.1 AS SHOWN. REFER TO LANDSCAPE PLANS FOR MAN GATE DETAILS.
10. PROVIDE 5.0' GRAVEL PATHWAY PER DETAIL 8 ON SHEET C6.1 BETWEEN THE UNITS AS SHOWN. ENSURE PATHWAY COMPACTED TO 95%.
11. PROVIDE ASPHALT CONNECTION TO UNITS 25 THROUGH 30 FOR ADA ACCESS PER ASPHALT PATHWAY DETAIL.
12. PROVIDE GRAVEL PAD BENEATH OFFICE BUILDING (BUILDING A) AND BATHROOM UNITS (BUILDINGS B & C) PER DETAIL 3 ON SHEET C6.1. GRAVEL PAD TO EXTEND 6" BEYOND FOOTPRINT OF EACH BUILDING EXCEPT WHERE MODULAR ABUTS CONCRETE. MODULAR BUILDINGS A, B, AND C TO BE PROVIDED BY MISSOULA COUNTY.
13. PROVIDE GRAVEL PAD BENEATH EACH PALLET SHELTER LIVING UNIT PER DETAIL 4 ON SHEET C6.1. GRAVEL PAD TO EXTEND 6" BEYOND FOOTPRINT OF EACH 13.5' X 7.5' UNIT. EACH LIVING UNIT TO SIT ON 2" X 4" WOOD FRAME FOR ANCHORING. ANCHOR FRAME TO BE INSTALLED BY PALLET SHELTER SUPPLIER AND INTENDED TO SIT FLUSH WITH TOP OF GRAVEL PAD. SITE CONTRACTOR TO COORDINATE GRAVEL PAD AND ANCHOR FRAME INSTALLATION WITH PALLET SHELTER REPRESENTATIVE. COUNTY TO FACILITATE SCHEDULE PALLET SHELTER REPRESENTATIVE IS ON SITE TO INSTALL ANCHOR FRAME AND PALLET SHELTERS.
14. PROVIDE 20' X 8' GRAVEL PAD PER PATHWAY DETAIL FOR SHIPPING CONTAINER. CONTAINER TO BE PROVIDED BY MISSOULA COUNTY.
15. PROVIDE CURB OPENING AND GRADE IN SHALLOW SWALE TO ALLOW PARING LOT RUNOFF TO DRAIN TO EXISTING SWALE AND SUMP. REFER TO GRADING PLAN FOR SWALE DETAILS AND GRADING INFORMATION.
16. REFER TO LANDSCAPE PLANS FOR FENCING INFORMATION AND DETAILS.
17. REFER TO LANDSCAPE PLANS FOR DUMPSTER ENCLOSURE SCREENING DETAILS.
18. REFER TO ELECTRICAL PLANS FOR SITE LIGHTING DETAILS.
19. PROVIDE 26.5' X 8.3' CONCRETE PAD, FOR TRASH ENCLOSURE, PER DETAIL 8 ON SHEET C6.1.
20. PROVIDE SOIL STERILANT TRIFLURALIN, OR APPROVED EQUAL TO TOP OF PREPARED GRAVEL BASE OF INTERNAL GRAVEL PATHWAY AND ASPHALT ENTRANCES TO UNITS 25 THROUGH 30. SOIL STERILANT SHALL BE A COMMERCIAL TRIFLURALIN (TRIFLAN) AT A RATE OF 11 FLUID OUNCES PER 1,000 SQ. FT. PAVE SHORTLY AFTER APPLICATION, WITH A MAXIMUM EXPOSURE TIME OF 6 HOURS.

LEGEND-PROPOSED

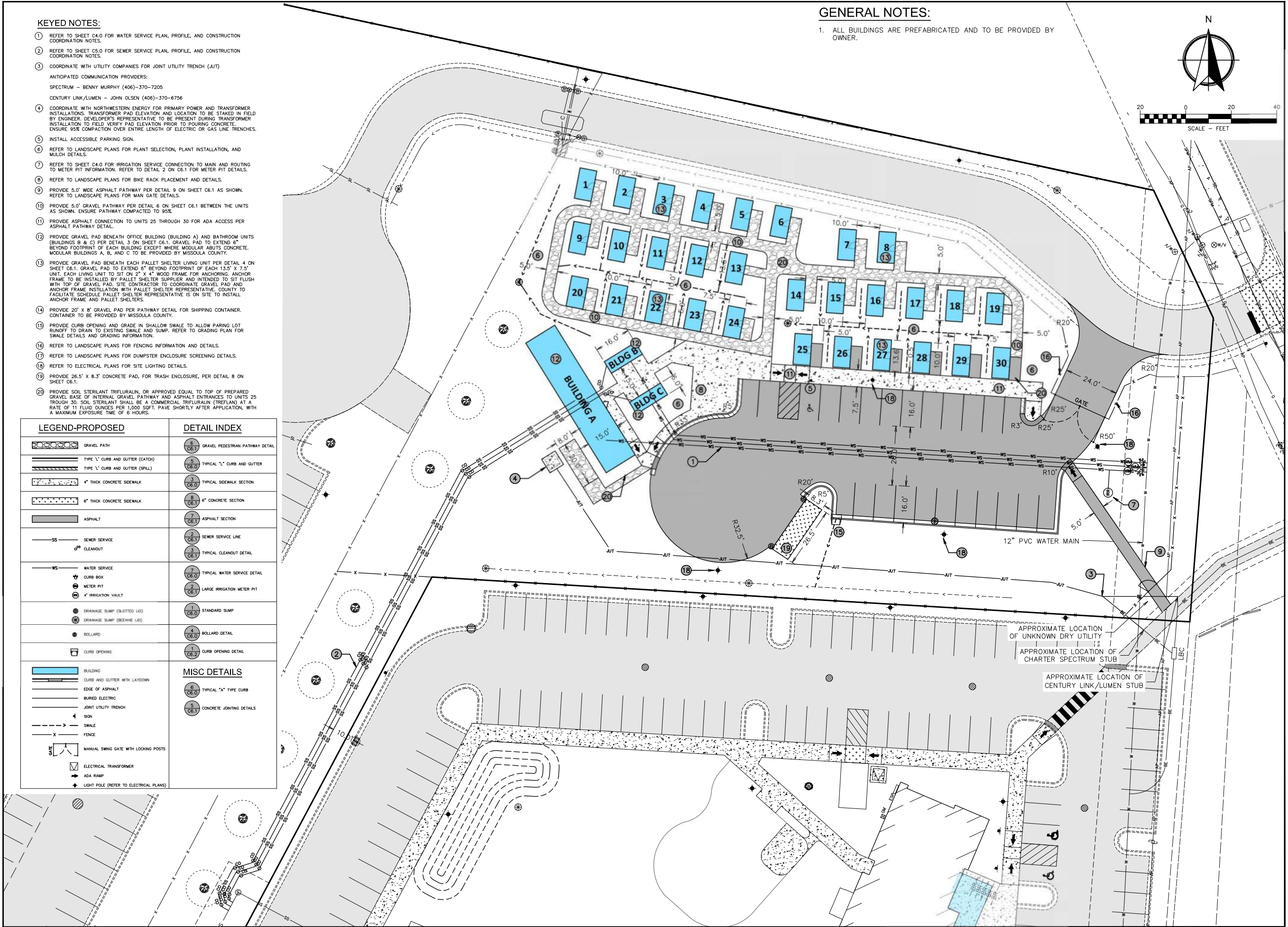
	GRAVEL PATH
	TYPE 1' CURB AND GUTTER (CATCH)
	TYPE 1' CURB AND GUTTER (SPILL)
	4" THICK CONCRETE SIDEWALK
	6" THICK CONCRETE SIDEWALK
	ASPHALT
	SEWER SERVICE
	CLEANOUT
	WATER SERVICE
	CURB BOX
	METER PIT
	4" IRRIGATION VAULT
	DRAINAGE SUMP (SLOTTED LID)
	DRAINAGE SUMP (BENCHING LID)
	BOLLARD
	CURB OPENING
	BUILDING
	CURB AND GUTTER WITH LAYDOWN
	EDGE OF ASPHALT
	BURIED ELECTRIC
	JOINT UTILITY TRENCH
	SIGN
	SWALE
	FENCE
	MANUAL SWING GATE WITH LOCKING POSTS
	ELECTRICAL TRANSFORMER
	ADA RAMP
	LIGHT POLE (REFER TO ELECTRICAL PLANS)

DETAIL INDEX

	GRAVEL PEDESTRIAN PATHWAY DETAIL
	TYPICAL 1' CURB AND GUTTER
	TYPICAL SIDEWALK SECTION
	6" CONCRETE SECTION
	ASPHALT SECTION
	SEWER SERVICE LINE
	TYPICAL CLEANOUT DETAIL
	TYPICAL WATER SERVICE DETAIL
	LARGE IRRIGATION METER PIT
	STANDARD SUMP
	BOLLARD DETAIL
	CURB OPENING DETAIL

MISC DETAILS

	TYPICAL "A" TYPE CURB
	CONCRETE JOINTING DETAILS





WGM GROUP
WWW.WMGROUP.COM

PERMIT AND
BID SET

PLOTTED: 7/22/22
SAVED: 7/22/22

OVERALL LANDSCAPE PLAN
PALLET SHELTER
MISSOULA, MONTANA

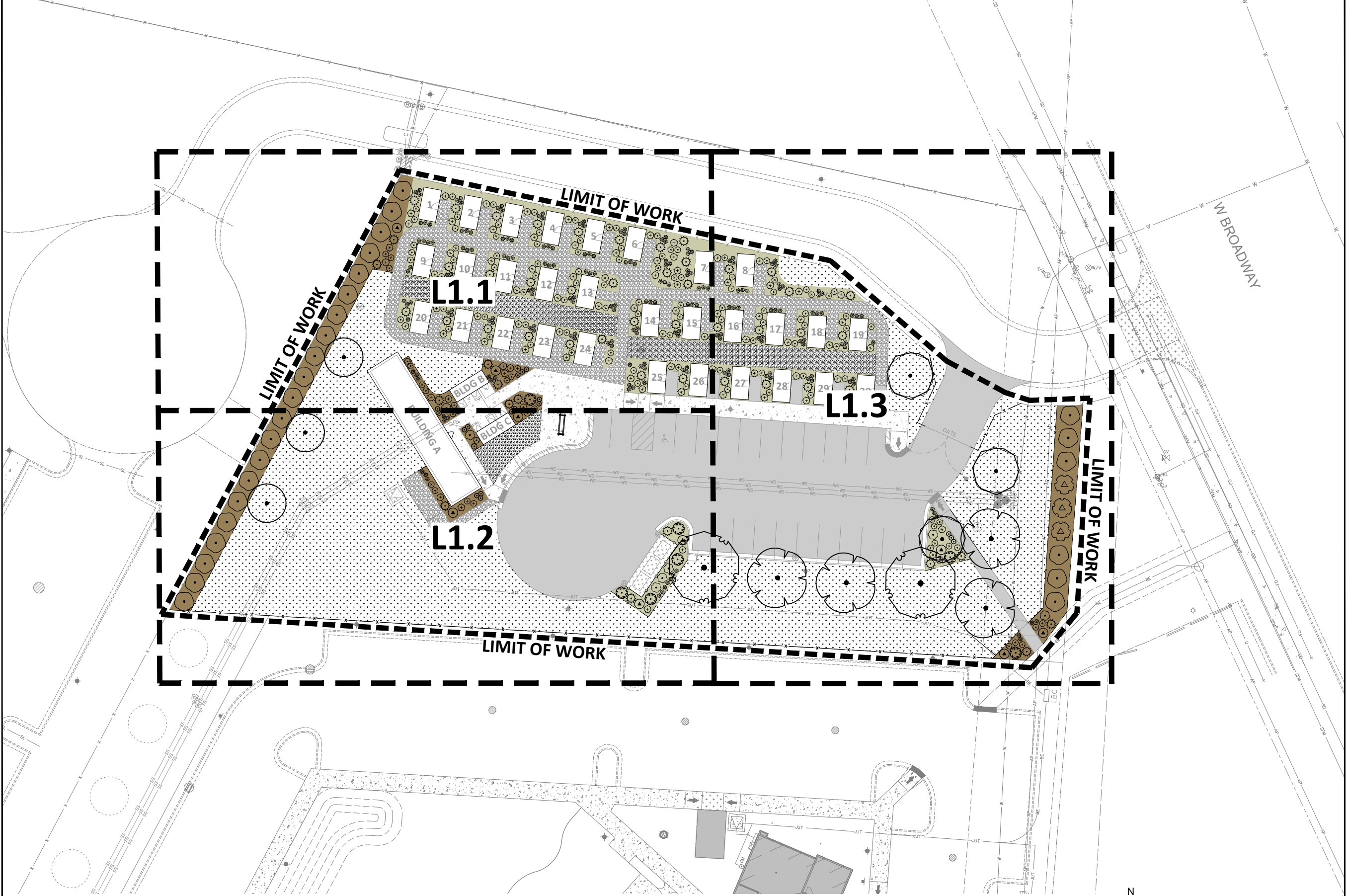
REVISIONS:		
NO.	DESCRIPTION	DATE

PROJECT: 22-01-01
LAYOUT: L1.0
SURVEYED: WGM GROUP
DESIGN: K.D./T.M.C
DRAFT: T.M.C
APPROVE: K.D
DATE:

JULY 22, 2022

SHEET

L1.0





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PERMIT AND
BID SET

PLOTTED: 7/22/22
SAVED: 7/22/22

PLANTING PLAN ENLARGEMENT
PALLET SHELTER
MISSOULA, MONTANA

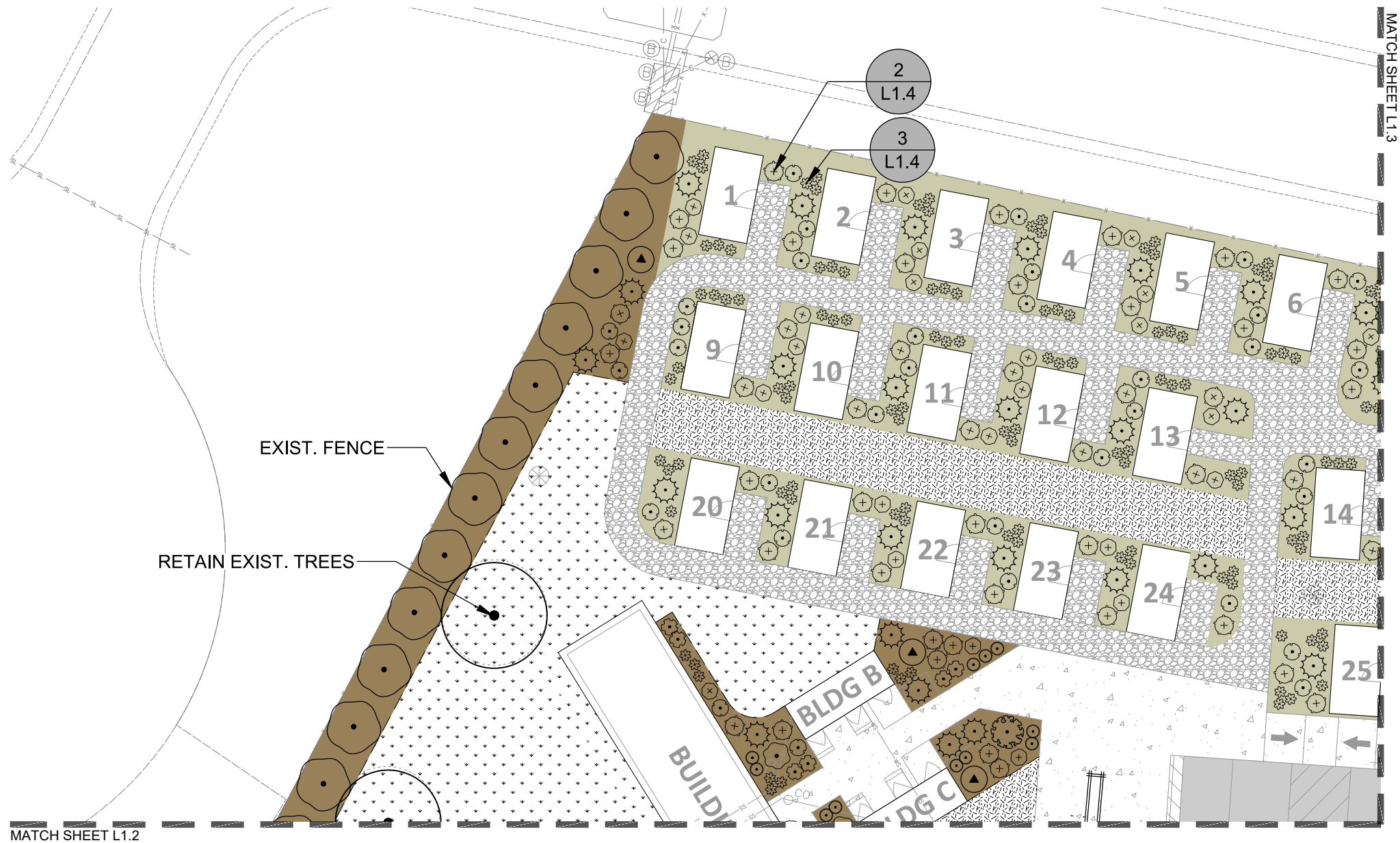
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NO.	DESCRIPTION	DATE

PROJECT: 22-01-01
LAYOUT: L1.1
SURVEYED: WGM GROUP
DESIGN: K.D./T.M.C
DRAFT: T.M.C
APPROVE: K.D
DATE:

JULY 22, 2022

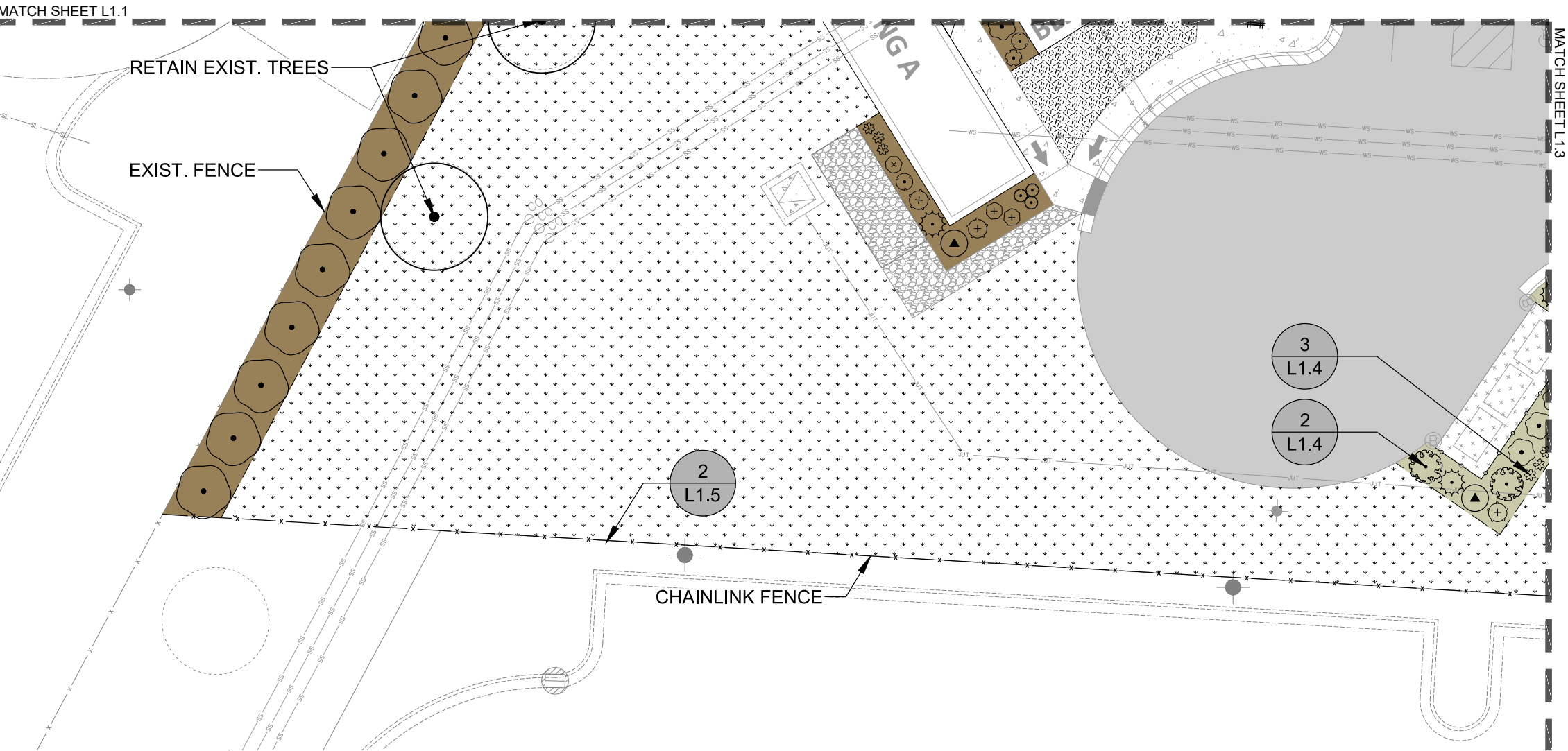
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L1.1



1 PLANTING PLAN ENLARGEMENT
PLAN





1 PLANTING PLAN ENLARGEMENT
PLAN



PERMIT AND
BID SET

PLOTTED: 7/22/22
SAVED: 7/22/22

PLANTING PLAN ENLARGEMENT
PALLET SHELTER
MISSOULA, MONTANA

REVISIONS:		
NO.	DESCRIPTION	DATE

PROJECT: 22-01-01
LAYOUT: L1.2
SURVEYED: WGM GROUP
DESIGN: K.D./T.M.C
DRAFT: T.M.C
APPROVE: K.D
DATE:

JULY 22, 2022

SHEET

L1.2

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PERMIT AND
BID SET

PLOTTED: 7/22/22
SAVED: 7/22/22

PLANTING PLAN ENLARGEMENT
PALLET SHELTER
MISSOULA, MONTANA

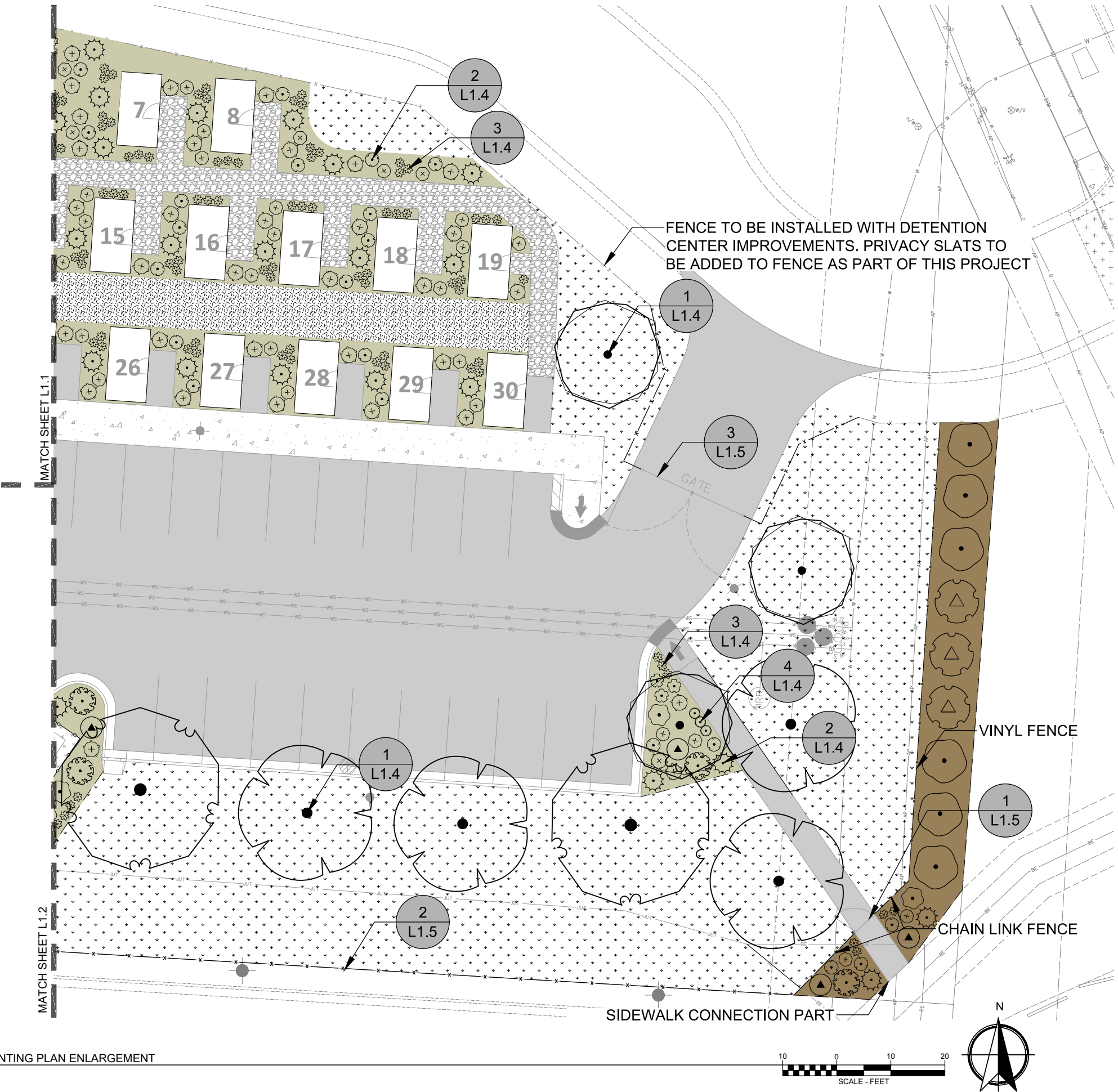
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NO.	DESCRIPTION	DATE

PROJECT: 22-01-01
LAYOUT: L1.3
SURVEYED: WGM GROUP
DESIGN: K.D./T.M.C
DRAFT: T.M.C
APPROVE: K.D
DATE:

JULY 22, 2022

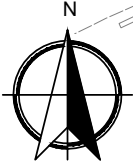
SHEET

L1.3















1 PLANTING PLAN ENLARGEMENT
PLAN


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SCALE - FEET







PLANT SCHEDULE


DECIDUOUS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	2	ACER X FREEMANII 'SIENNA' TM SIENNA GLEN MAPLE MATURE SIZE 50'H X 35'W; SPACING AS SHOWN	2" CAL.	B&B
	3	PRUNUS MAACKII AMUR CHOKECHERRY MATURE SIZE 30'H X 25'W; B&B; FULLY BRANCHED; SPACING AS SHOWN	2" CAL.	B&B
	4	TILIA AMERICANA 'BOULEVARD' BOULEVARD AMERICAN LINDEN MATURE SIZE 60'H X 30'W; B&B; FULLY BRANCHED; SPACING AS SHOWN	2" CAL.	B&B


SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	3	AMELANCHIER ALNIFOLIA SASKATOON SERVICEBERRY MATURE SIZE 10'H X 8'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	85	BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW JAPANESE BARBERRY MATURE SIZE 3'H X 3'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	27	COTONEASTER LUCIDUS HEDGE COTONEASTER MATURE SIZE 10'H X 10'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	52	JUNIPERUS HORIZONTALIS 'ANDORRA' ANDORRA JUNIPER MATURE SIZE 1'H X 10'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	56	POTENTILLA FRUTICOSA 'ABBOTSWOOD' ABBOTSWOOD BUSH CINQUEFOIL MATURE SIZE 3'H X 3'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	57	POTENTILLA FRUTICOSA 'KATHERINE DYKES' KATHERINE DYKES BUSH CINQUEFOIL MATURE SIZE 2'H X 3'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	7	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC MATURE SIZE 3'H X 6'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	9	SPIRAEA DOUGLASII WESTERN SPIREA MATURE SIZE 4'H X 4'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT
	7	SYRINGA MEYERI 'PALIBIN' DWARF KOREAN LILAC MATURE SIZE 4'H X 5'W; FULLY BRANCHED; SPACING AS SHOWN	5 GAL.	POT

ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	207	HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS MATURE SIZE 3' X 2'; SPACING AS SHOWN	1 GAL.	POT

PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	17	HEMEROCALLIS X 'STELLA DE ORO' STELLA DE ORO DAYLILY MATURE SIZE 18"H X 24"W; SPACING AS SHOWN	4"	POT
	10	NEPETA RACEMOSA 'WALKER'S LOW' WALKER'S LOW CATMINT MATURE SIZE 18"H X 30"W; SPACING AS SHOWN	4"	POT

GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	19,397 SF	TURF SEED WATER SAVER TURF TYPE FESCUE BLEND HYDROSEED EARLY SPRING OR FALL.	SEED	
	2,190 SF	TURF SOD WATER SAVER TURF TYPE FESCUE BLEND	SOD	


 ¾" CRUSHED, WASHED GRAVEL MULCH- 3" DEEP, MIN., TYP. ALL PLANTING AREAS. COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION

 ORGANIC WOOD MULCH- 3" DEEP, MIN.

— x — CHAIN LINK FENCE, SEE DETAIL 2/L1.5

— o — VINYL FENCE, 6' HEIGHT. PROVIDE SHOP DRAWINGS AND COLOR OPTIONS FOR LANDSCAPE ARCHITECT APPROVAL

— — EDGING - 6" TALL, POLYETHYLENE LANDSCAPING EDGING, OLY-OLA BRAND SLIM EDGE OR APPROVED EQUAL, INSTALL PER MANUFACTURER'S RECCOMENDATIONS

 BIKE RACK - DOUBLE-SIDED GRID BIKE RACK, 18 BIKE CAPACITY, BLACK ULINE, H-2541BL, INSTALL PER MANUFACTURER'S RECCOMENDATIONS

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF MISSOULA STANDARDS AND THE STATE OF MONTANA BUILDING AND SPECIALTY CODES
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF MISSOULA STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- MARK AND PROTECT ALL UTILITIES, SITE FEATURES, AND VEGETATION TO BE RETAINED WITH ORANGE FENCING.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND UTILITY COMPANIES, LOCATION OF ALL UTILITIES PRIOR TO COMMENCING WORK. CONTRACTOR IS RESPONSIBLE TO REPAIR DAMAGES TO EXISTING UTILITIES, HARDSCAPES, STRUCTURES, TREES, TURF, AND VEGETATION AS A RESULT OF THE CONTRACTORS ACTIVITIES.
- PRIOR TO PLANTING, ON-SITE TOPSOIL SHALL BE TESTED FOR SOIL FERTILITY BY A CERTIFIED TESTING LAB AND REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT. IF NECESSARY, TOPSOIL FOR TREE PITS, SHRUB PITS, AND GROUND COVER BEDS SHALL BE AMENDED AS RECOMMENDED BY THE SOIL FERTILITY REPORT. TOPSOIL DEPTH SHALL BE A MINIMUM DEPTH OF 6" FOR LAWN AREAS AND 12" FOR SHRUB BEDS.
- MATCH GRADES OF LAWNS TO CURBS, SIDEWALKS, AND TRAILS AT A 5% MAXIMUM SLOPE AND A 2% MINIMUM SLOPE, OR AS SHOWN ON GRADING AND DRAINAGE PLANS. TAPER TO EXISTING GRADES.
- ALL PLANTING AREAS ADJACENT TO BUILDING SHALL SLOPE AWAY FROM THE BUILDING FOR THE FIRST 10 FEET AT A 2% MINIMUM SLOPE, OR SHOWN ON THE GRADING PLAN.
- EDGING AS SPECIFIED. INSTALL EDGING AFTER INSTALLATION OF IRRIGATION AND PRIOR TO PLANTING. RE-STAKE EDGING IF NECESSARY AS DIRECTED BY OWNER'S REPRESENTATIVE.
- TYPAR PROFESSIONAL LANDSCAPE FABRIC, OR APPROVED EQUAL, TO BE INSTALLED IN ALL GARDEN BEDS.
- MULCH IN LOCATIONS & TYPE AS SPECIFIED ON PLANS. MULCH ALL GARDEN BEDS AND TREE RINGS.

PLANTING NOTES

- PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. ALL PLANTS TO BE NURSERY GROWN.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. ANY PLANT OR MATERIAL NOT MEETING THE REQUIREMENTS SHALL BE REJECTED, REMOVED, DISPOSED OF AND REPLACED BY AND AT THE CONTRACTOR'S EXPENSE.
- PLANTS SHALL BE INSPECTED AND APPROVED ON-SITE PRIOR TO PLANTING BY OWNER'S REPRESENTATIVE.
- PLANTS SHALL BE LOCATED BY THE CONTRACTOR AND OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT SHALL GIVE DIRECTION, MAKE ADJUSTMENTS, AND APPROVE LOCATION PRIOR TO INSTALLATION.
- VERIFY ALL QUANTITIES. PLANT QUANTITIES IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE TO COMPLETE THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANS AND SIZES SHOWN ON THE PLAN. IN CASE OF A DISCREPANCY THE PLANTING PLAN SHALL DICTATE QUANTITY.
- SEED/SOD ALL DISTURBED EXISTING LAWN AREAS TO PRE-DISTURBANCE CONDITION.
- BACKFILL TO BE LOOSENEED NATIVE SOIL UNLESS AMENDMENT IS NECESSARY AS DICTATED BY SOIL TEST.
- LANDSCAPE CONTRACTOR SHALL WATER PLANTINGS UNTIL IRRIGATION SYSTEM IS FULLY FUNCTIONAL AND PROVIDE A 1-YEAR WARRANTY PERIOD AFTER INSTALLATION AND ACCEPTANCE BY LANDSCAPE ARCHITECT, AND GUARANTEE ALL PLANTINGS TO BE ALIVE AND IN SATISFACTORY HEALTH.

CHAPTER 20.65.020: GENERAL SITE LANDSCAPING	
TOTAL SITE AREA	51,067 SF
REQUIRED LANDSCAPE AREA	15% X 51,067 = 7,660 SF
TOTAL PROVIDED LANDSCAPE AREA	25,985 SF
TOTAL TREES REQUIRED	8
TOTAL TREES PROVIDED	11
TOTAL SHRUBS REQUIRED	46
TOTAL SHRUBS PROVIDED	276

20.65.030 PERIMETER PARKING LOT LANDSCAPING
THE SITE DOES NOT HAVE ANY STREET FRONTAGE SO THESE REQUIREMENTS DO NO APPLY

20.65.040 INTERIOR PARKING LOT LANDSCAPING
NOT ALL OF THE REQUIRED LANDSCAPE ISLANDS ARE PROVIDED TO ALLOW FOR A PEDESTRIAN CONNECTION FROM BROADWAY TO THE PALLET SHELTER UNITS. THIS IS INCLUDED IN THE PUBLIC FORUM APPLICATION

TOTAL PAVED VEHICULAR USE AREA	11,453 SF
LANDSCAPED AREA REQUIRED	10% X 11,453 = 1,145 SF
LANDSCAPED AREA PROVIDED	1,195 SF

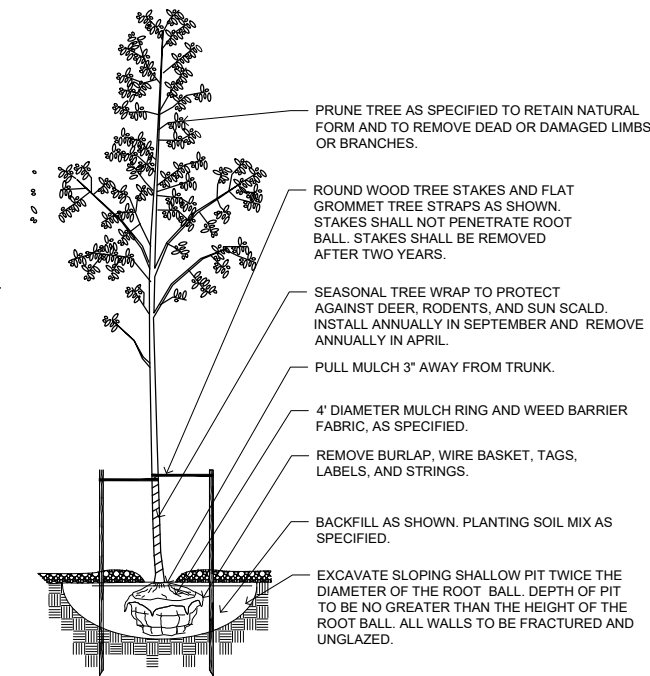
20.65.50 PERIMETER PARKING LOT LANDSCAPING
A FENCE IS PROVIDED ALONG BROADWAY PROVIDING A CONTINUOUS BUFFER OVER 36" IN HEIGHT.

20.65.60 BUFFERS
A FENCE IS PROVIDED ALONG THE SOUTHERN BOUNDARY OF THE PROPERTY PROVIDING A BUFFER FOR THE ADJACENT RESIDENTIAL DEVELOPMENT. THE FENCE IS CHAIN LINK WITH PRIVACY SLATS WHICH DOES NOT MEET THE REQUIREMENTS OF CHAPTER 12.31 OF THE MUNICIPAL CODE. THIS IS INCLUDED IN THE PUBLIC FORUM APPLICATION.

20.65.80 LANDSCAPE MATERIAL AND DESIGN
MORE THAN 50% OF THE MULCH UTILIZED ON THE PROJECT IS MINERAL MULCH TO PROVIDE UNIFORMITY IN SURFACING AND MINIMIZE MAINTENANCE. THIS IS INCLUDED IN THE PUBLIC FORUM APPLICATION.

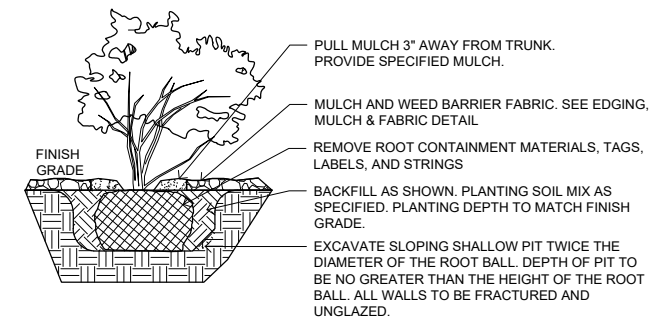
20.65.90 INSTALLATION AND MAINTENANCE.

- THE SITE WILL BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM AS SHOWN ON THE IRRIGATION PLAN.
- PESTS SHALL BE MONITORED AND MANAGED ON A REGULAR BASIS FOLLOWING INTEGRATED PEST MANAGEMENT LEAST-TOXIC GUIDELINES FOR BEST MANAGEMENT PRACTICES.
- PERENNIALS, GRASSES, SHRUBS, TREES, AND TURF GRASSES WIL BE FERTILIZED ON AN ANNUAL BASIS OR AS NECESSARY.
- ALL TREES SHALL BE MAINTAINED IN AN ATTRACTIVE APPEARANCE AND PRUNED AS NECESSARY.
- THE PROPERTY SHALL BE KEPT FREE OF WEEDS CONSISTENT WITH THE MISSOULA COUNTY WEED MANAGEMENT PLAN.
- ALL MAINTENANCE SHALL BE PERFORMED BY THE PROPERTY OWNER ON A CONSISTENT BASIS.



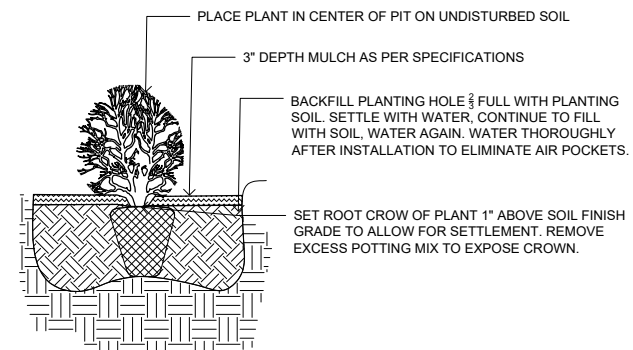
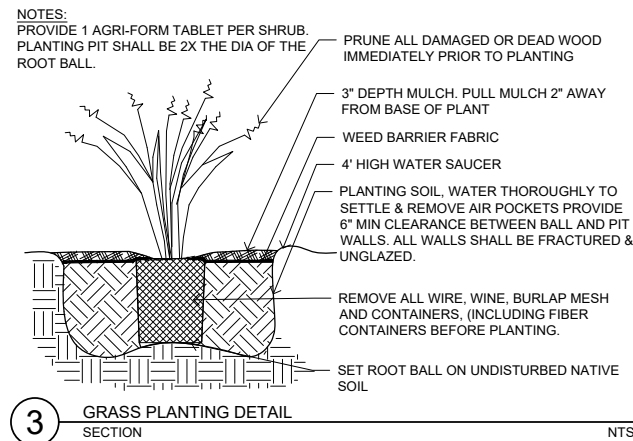
- NOTES:
- TREE SHALL BE PLANTED WITH CROWN OF TRUNK SET AT FINISHED GRADE.
 - TREE STAKING IS MANDATORY.

1 TREE PLANTING
DETAIL NTS

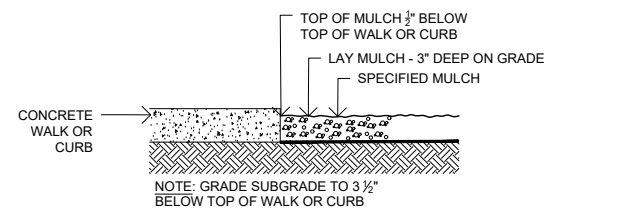


- NOTES:
- ALL SHRUBS TO BE PLANTED SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AS ORIGINALLY GROWN IN THE NURSERY.

2 SHRUB PLANTING
DETAIL NTS



4 TYPICAL SECTION: PERENNIAL PLANTING
SECTION NTS



5 WALK OR CURB EDGING DETAIL
DETAIL NTS



WGM GROUP
WWW.WGMGROUP.COM

PERMIT AND BID SET

PLOTTED: 7/22/22
SAVED: 7/22/22

PLANTING SCHEDULE, NOTES & DETAILS

PALLET SHELTER

MISSOULA, MONTANA

REVISIONS:		
NO.	DESCRIPTION	DATE

PROJECT: 22-01-01
LAYOUT: L1.4
SURVEYED: WGM GROUP
DESIGN: K.D./T.M.C
DRAFT: T.M.C
APPROVE: K.D
DATE:

JULY 22, 2022

SHEET

L1.4

FILE: W:\Projects\220101\CAD Data\Design\220101LP.dwg



PERMIT AND
BID SET
PLOTTED: 7/20/22
SAVED: 7/20/22

GRADING PLAN - WEST
PALLET SHELTER
MISSOULA, MONTANA

REVISIONS:		
NO.	DESCRIPTION	DATE

PROJECT: 22-01-01
LAYOUT: C3.0
SURVEYED: WGM GROUP
DESIGN: KB
DRAFT: EDI
APPROVE: ...
DATE: JULY 20, 2022
C3.0

GENERAL CONSTRUCTION NOTES: (THIS SHEET)

- 1) GRADING AND SLOPE INFORMATION PRESENTED ON THIS SHEET IS BASED ON DESIGN GRADES AND BEST AVAILABLE MAPPING INFORMATION. EXISTING ELEVATIONS AT TIE IN POINTS SHALL BE VERIFIED PRIOR TO INSTALLATION OF IMPROVEMENTS. NOTIFY ENGINEER IF DIFFERENT CONDITIONS ARE FOUND. CONTRACTOR RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. CONTRACTOR ALSO RESPONSIBLE FOR ADA COMPLIANCE FOR CONSTRUCTED IMPROVEMENTS.
- 2) THIS PLAN IS TO BE USED TO ASSIST THE CONTRACTOR IN HORIZONTAL LOCATION DURING THE STAKING AND LAYOUT. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCY BETWEEN THE GIVEN DATA AND THE INTENT AS SHOWN BY THE DRAWING, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION.

LEGEND-GRADING

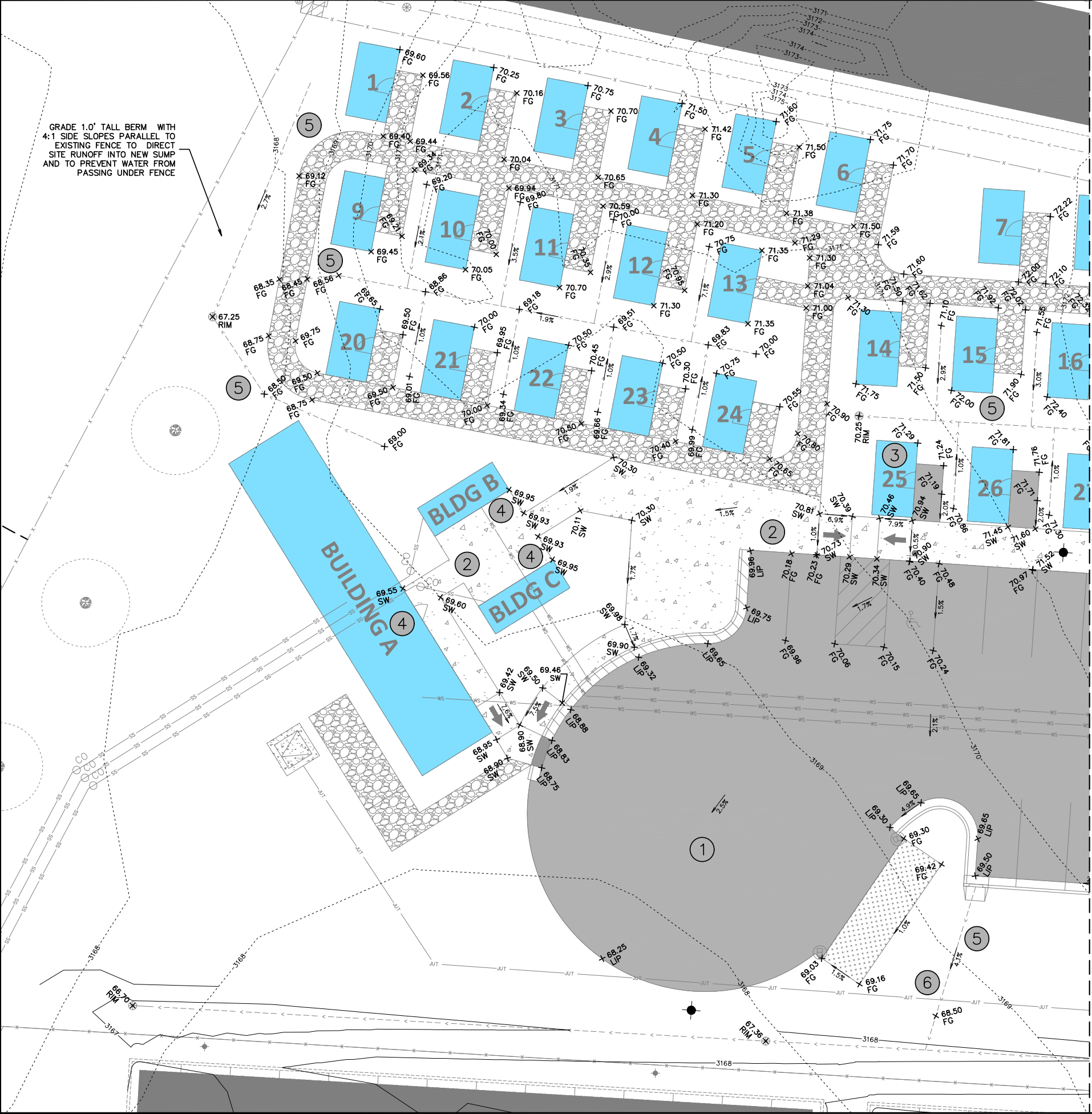
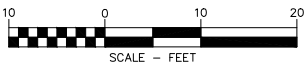
- X 72.50 PROPOSED FINISH GRADE (+3100')
- 1.4% PROPOSED SLOPE
- RIM SUMP RIM ELEVATION
- SW TOP OF SIDEWALK
- LIP LIP OF CURB
- FG FINISH GRADE

- ===== CATCH CURB (LIP+0.42')
- ===== SPILL CURB (LIP+0.58')

NOTE: ALL ELEVATIONS ARE LIP OF CURB/TOP OF ASPHALT UNLESS OTHERWISE NOTED

GRADING PLAN COORDINATION NOTES:

- 1) ENSURE POSITIVE DRAINAGE TOWARDS SUMP IN NEW ASPHALT AREAS.
- 2) ENSURE ACCESSIBLE ROUTE TO OFFICE AND BATHROOM UNITS COMPLY WITH ALL ADA REQUIREMENTS: LANDING AREAS-LESS THAN 2% SLOPE IN ALL DIRECTIONS, OTHER AREAS-LESS THAN 5% RUNNING SLOPE AND LESS THAN 2% CROSS SLOPE.
- 3) PALLET UNITS 25 THROUGH 30 TO BE ADA ACCESSIBLE UNITS. ENSURE ADA ACCESS IS MAINTAINED TO THESE UNITS. COORDINATE WITH PALLET SHELTER REPRESENTATIVE TO ENSURE WOOD ANCHOR, FINISHED FLOOR, AND ASPHALT ACCESS TO UNIT COMPLY WITH ALL ADA STANDARDS. COORDINATE WITH ENGINEER AS NECESSARY.
- 4) FINISHED FLOOR OF MODULAR BUILDINGS RELATIVE TO ADJACENT FINISHED GROUND IS UNKNOWN. ELEVATIONS SHOWN ARE TO TOP OF GRAVEL PAD. OWNER TO PROVIDE NECESSARY IMPROVEMENTS SUCH AS RAMPS OR STAIRS TO ENSURE ADA COMPLIANCE AFTER MODULAR UNITS HAVE BEEN PLACED ONSITE.
- 5) CONTRACTOR TO GRADE IN SHALLOW SWALES TO ENSURE POSITIVE DRAINAGE AWAY FROM EACH UNIT. ENSURE SWALE IS MAINTAINED AFTER LANDSCAPE CONTRACTOR IMPORTS TOPSOIL OR MULCH.
- 6) ENSURE 24" MINIMUM COVER OVER PROPOSED JOINT UTILITY TRENCH (JUT) IS MAINTAINED.



GRADE 1.0' TALL BERM WITH 4:1 SIDE SLOPES PARALLEL TO EXISTING FENCE TO DIRECT SITE RUNOFF INTO NEW SUMP AND TO PREVENT WATER FROM PASSING UNDER FENCE

MATCH LINE - SEE SHEET C3.1

PERMIT AND
BID SET

PLOTTED: 7/20/22
SAVED: 7/20/22

GRADING PLAN - EAST
PALLET SHELTER
MISSOULA, MONTANA

REVISIONS:
NO. DESCRIPTION DATE

PROJECT: 22-01-01
LAYOUT: C3.1
SURVEYED: WGM GROUP
DESIGN: KB
DRAFT: EDI
APPROVE: ...
DATE:

JULY 20, 2022

C3.1

SHEET

GENERAL CONSTRUCTION NOTES: (THIS SHEET)

- 1) GRADING AND SLOPE INFORMATION PRESENTED ON THIS SHEET IS BASED ON DESIGN GRADES AND BEST AVAILABLE MAPPING INFORMATION. EXISTING ELEVATIONS AT TIE IN POINTS SHALL BE VERIFIED PRIOR TO INSTALLATION OF IMPROVEMENTS. NOTIFY ENGINEER IF DIFFERENT CONDITIONS ARE FOUND. CONTRACTOR RESPONSIBLE FOR ENSURING POSTIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. CONTRACTOR ALSO RESPONSIBLE FOR ADA COMPLIANCE FOR CONSTRUCTED IMPROVEMENTS.
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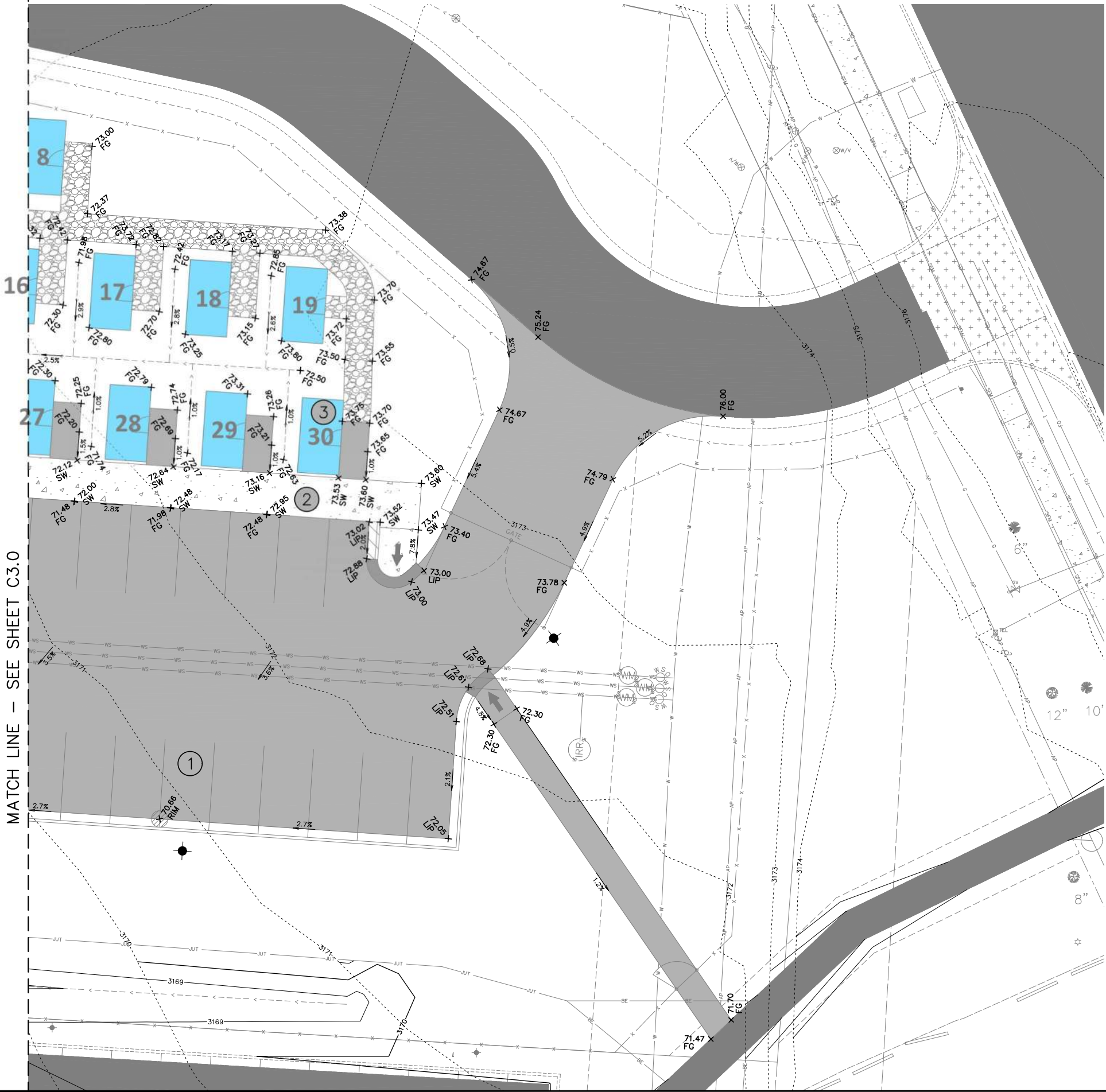
LEGEND-GRADING

X 72.50	PROPOSED FINISH GRADE (+3100')
1.4%	PROPOSED SLOPE
RIM	SUMP RIM ELEVATION
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=====	CATCH CURB (LIP+0.42')
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MATCH LINE - SEE SHEET C3.0

Mechanical Equipment Examples



Ready2Go Restroom Trailers

Phone: (919) 291-5089

1525 Park Manor Blvd #300

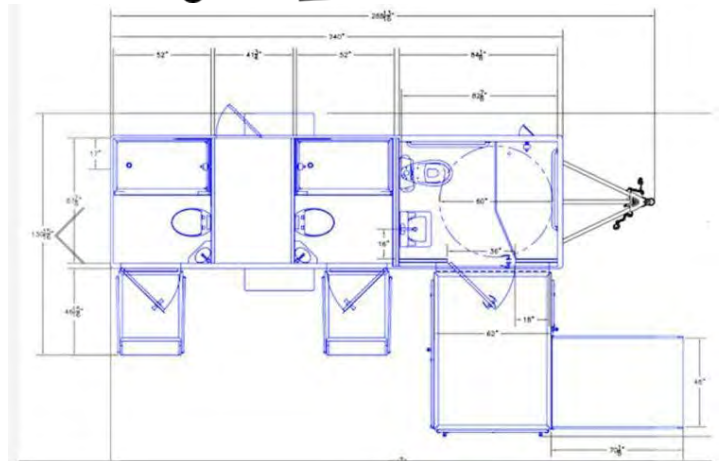
Pittsburgh, PA 15126

Email: lee@ready2gorestroomtrailers.com



READY2GO

RESTROOM TRAILERS SALES LLC



3 Station - ADA +2 Station Restroom / Shower Combo Trailer

Stock #: HH-412301-ASC

Year: 2022

Manufacturer: Ready2Go

URL: <https://www.ready2gorestroomtrailers.com/all-inventory?stock=HH-412301-ASC>

Price \$ 77,900.00 + freight; includes full winter heat package and upgraded gray interior.

Description

This unique floorplan contains a unisex handicap-accessible suite that includes 1 wheelchair-accessible sink, faucet, shower, and ADA toilet. This suite allows for a full 360 turning radius for wheelchairs, assistance grab rails, and fold up exterior ramp. This trailer also includes two standard unisex suites that each feature a shower, pedal flush toilet, and corner sink.

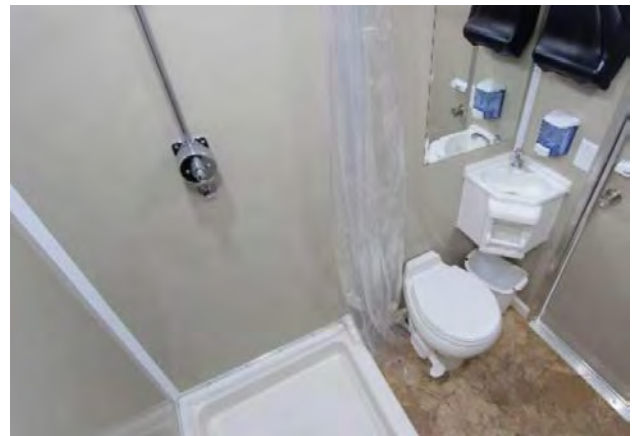
The trailer also features a smooth mar resistant laminated interior, insulated walls and 1 piece ceiling with built-in air supply and return. Hot water is run through an LP on Demand gas water heater and dual 40 lb propane tanks are mounted on the tongue. This trailer is fully climate controlled, with a low profile 9MBTU roof mounted air conditioner, and 5600 BTU heat strips. This unit is also equipped with vent fans/covers. Abundant LED porch lighting at each entry door and 1-piece non-skid rubber flooring ensures a safe entry/exit no matter what time of day or night.

*Dual 40 lb propane tanks are mounted on tongue.

Highlights:

- No. of stations: ADA-1, Standard-2
- Sinks: 3
- Toilets: 3
- Urinals: 1
- Showers: 3
- Box Size: 20' x 6'
- Weight: 5,375 lbs (will vary based on features)
- Freshwater Tank: 105-Gallons
- Waste Tank: 360-Gallons

- Power Requirements: One dedicated 120 Volt-20 amp circuit (will vary based on features)
- No. of AC Units: 1





Shelter Specifications

100 Square Foot Shelter

Standard Specifications

Size (nominal)	13 ft. - 7 1/2 In. wide x 7 ft. 6 In. deep x 9 ft. - 3 In high
Square Footage	100 square feet
Maximum Sleeping accommodations	Six
Maximum Interior Head Room	107 inches
Minimum Interior head room	90 inches
Lockable Security door (from inside and outside)	1 @ 36 in x 80 in
Openable windows	2 @ 16 x 25 inches 2 @ 12 x 19 inches Total square footage of windows 8.72 sq ft Openable percentage - 50%
Storage Shelves	3 @ 16 X 101.5 inches
Sleeping bunks	up to 4 @ 28.25 in x 81 in
Weight of shell insulated with 1.5 insulation R-7.5	916 lbs.
Weight of 1.5 insulated shell plus four bunks and three shelves	1040 lbs.
Openable vents	102 inch long openable vent at roof ridge line





Air Conditioning

Shelving

Fire Extinguisher

Power Outlets

Heater

Folding Bed

Underbed Storage

Atco Skid Mounted Mobile Office



<https://www.ironplanet.com/for-sale/Portable-Structures-Atco-Skid-Mounted-Mobile-Office-Texas/5958682>

(4) Offices, (2) Kitchens, (2) Bedrooms w/(4) Beds, (3) Bathrooms, Air Conditioner, Laundry, Kitchen, Dining Room