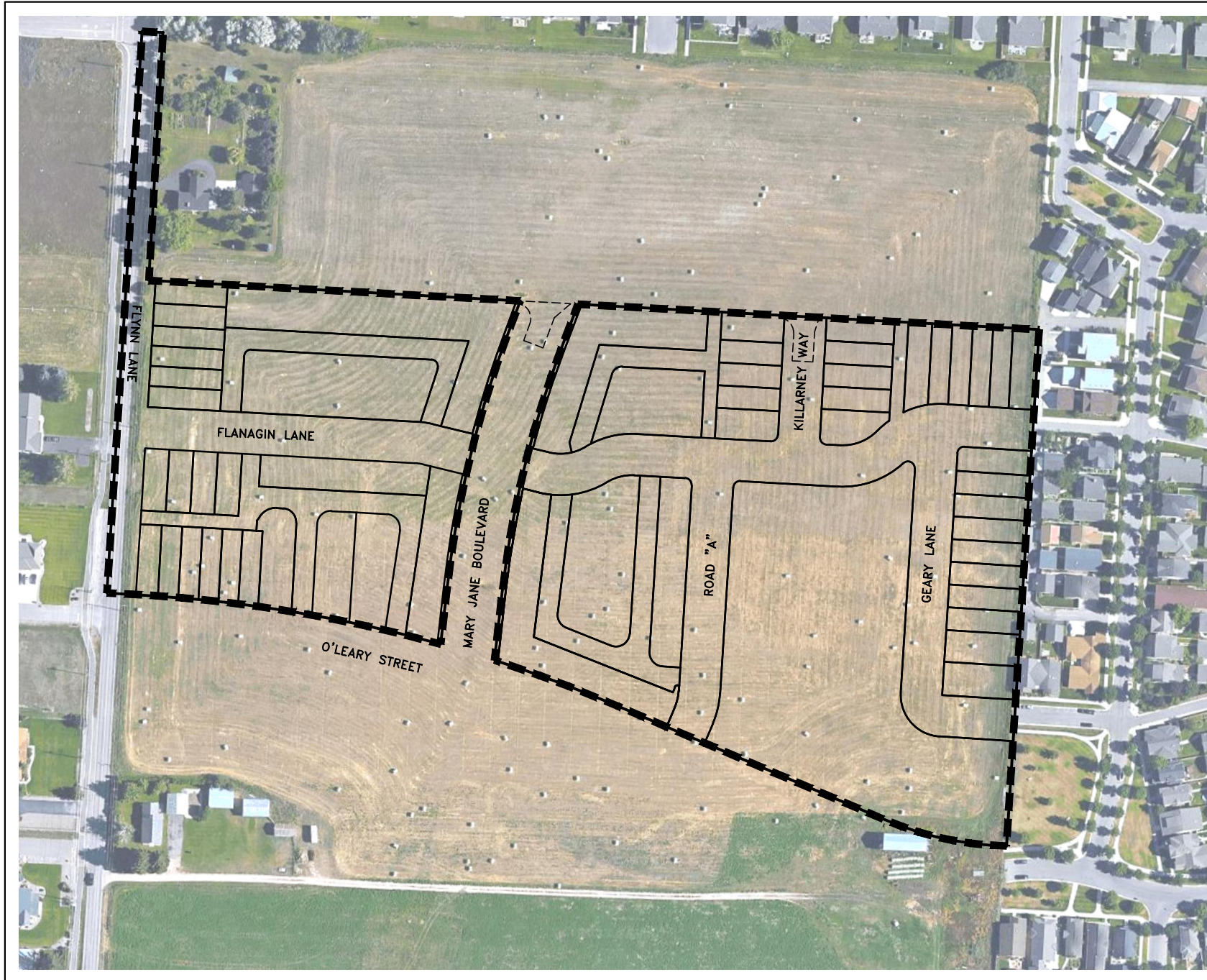


GRADING, DRAINAGE, AND ROAD CONSTRUCTION PLANS

MISSOULA LOFT HOMES ON MARY JANE
 LOCATED IN SECTION 18, T13N, R19W, P.M.M., MISSOULA COUNTY, MONTANA

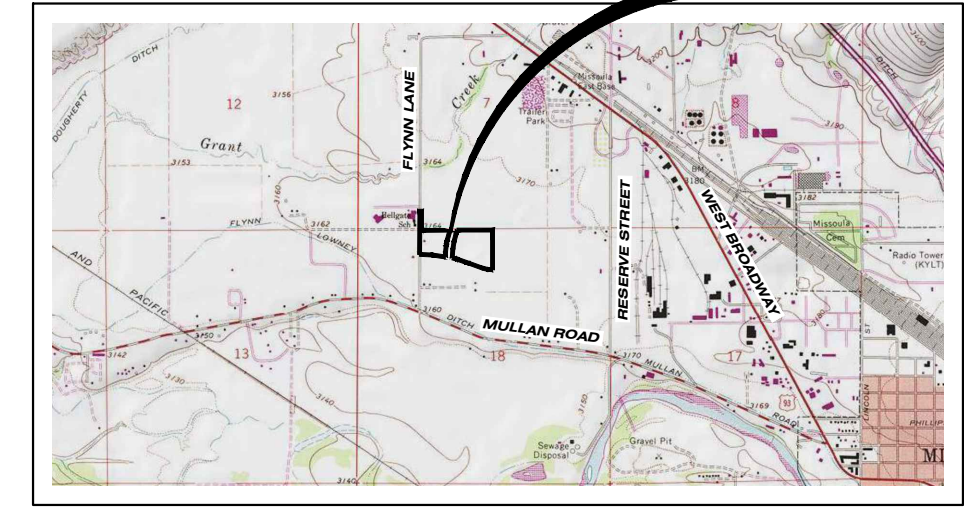


DESCRIPTION	SHEET NO.
LEGEND AND NOTES SHEET	SHEET 2 OF 20
ROAD PLAN & PROFILE SHEET (FLANAGIN)	SHEET 3-4 OF 20
ROAD PLAN & PROFILE SHEET (ROAD "A" / KILLARNEY)	SHEET 4 OF 20
ROAD PLAN & PROFILE SHEET (GEARY)	SHEET 5 OF 20
ROAD PLAN & PROFILE SHEET (FLYNN)	SHEET 6 OF 20
ROAD PLAN & PROFILE SHEET (O'LEARY)	SHEET 6-7 OF 20
ROAD PLAN & PROFILE SHEET (MARY JANE)	SHEET 8 OF 20
PARK GRADING PLAN	SHEET 9 OF 20
BOULEVARD TREE PLAN	SHEET 10 OF 20
BOULEVARD TREE PLAN	SHEET 11 OF 20
BOULEVARD TREE PLAN	SHEET 12 OF 20
SIGNAGE AND STRIPING PLAN	SHEET 13 OF 20
SIGNAGE AND STRIPING PLAN	SHEET 14 OF 20
DRY UTILITY PLAN	SHEET 15 OF 20
DRY UTILITY PLAN	SHEET 16 OF 20
SWPP & MASS GRADING PLAN	SHEET 17 OF 20
SWPP & MASS GRADING PLAN	SHEET 18 OF 20
SWPP & MASS GRADING PLAN	SHEET 19 OF 20
ROAD CROSS SECTIONS	SHEET 20 OF 20
DETAIL SHEET	SHEET D1 OF D9
DETAIL SHEET	SHEET D2 OF D9
DETAIL SHEET	SHEET D3 OF D9
DETAIL SHEET	SHEET D4 OF D9
DETAIL SHEET	SHEET D5 OF D9
DETAIL SHEET	SHEET D6 OF D9
DETAIL SHEET	SHEET D7 OF D9
DETAIL SHEET	SHEET D8 OF D9
DETAIL SHEET	SHEET D9 OF D9

CALL UTILITY NOTIFICATION
 CENTER OF MONTANA
1-800-424-5555
 CALL FOR THE MARKING OF
 UNDERGROUND UTILITIES
2 BUSINESS DAYS BEFORE
 YOU DIG, GRADE, OR EXCAVATE

SCALE IN FEET

VICINITY MAP THIS PROJECT



MISSOULA, MISSOULA COUNTY

IMEG
 1817 SOUTH AVE. W. STE. A PH: 406.721.0142
 MISSOULA, MT FAX: 406.721.5224
 www.imegcorp.com 59801

DATE

DESIGNED:	XX
DRAFTED:	DO
CHECKED:	XX
DATE:	APR, 2023

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18, T13N., R19W., P.M.M.
 MISSOULA COUNTY
 PREPARED FOR: **MIRAMONTE HOMES**

PROJECT NAME: **MISSOULA LOFT HOMES ON MARY JANE**

PROJECT NO: 22000700.01
 SHEET: 1 OF 20

STAGE 2

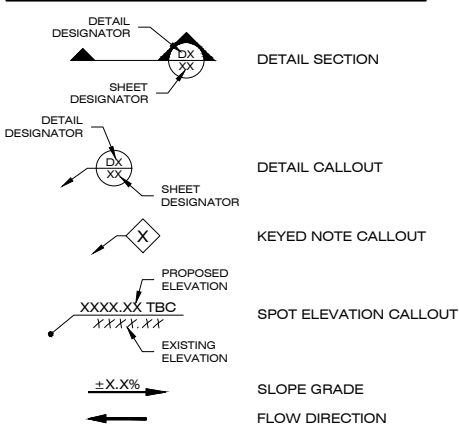
PROJECT STATUS		
THESE PLANS REQUIRE, AT A MINIMUM, APPROVAL FROM THE AGENCIES LISTED BELOW. THEREFORE, THE OWNER & CONTRACTOR ARE ADVISED THAT BIDS & CONTRACTS SHOULD NOT BE FINALIZED UNTIL INDICATED BELOW.		
AGENCIES REVIEW STATUS:	REFERENCE #	APPROVAL DATE
CITY OF MISSOULA DEV. SERVICES		
MONTANA DEPT. OF ENV. QUALITY	EQ#:	
PLAN SET IS READY FOR CONSTRUCTION <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
AS-BUILT DATE: PROJECT HAS BEEN CONSTRUCTED IN GENERAL CONFORMANCE WITH THE ABOVE APPROVALS, STATED SPECIFICATIONS, AND SHOWN HERE IN, UNLESS OTHERWISE SPECIFIED.		
PROJECT NOTES: MISSOULA CITY PUBLIC WORKS STANDARDS & SPECIFICATIONS (MCPWSS) EDITION JAN. 2023		
DEVELOPER: LLOYD TWITE email: lloydtwite@gmail.com		

DRAWING LOCATION: G:\2022\22000700.01\DESIGN\CONSTRUCTION\PROJECT\DRAWING\22000700.01.DWG

LEGEND

Table with 2 columns: EXISTING and PROPOSED. Lists various utility lines and structures with their corresponding symbols and abbreviations.

SYMBOLS



GENERAL CONDITIONS OF CONSTRUCTION:

- 1. The Standard General Conditions of the Contract prepared by the Engineers Joint Contract Documents Committee (Copyright 2007)...
- 2. Wherever used in these Drawings, the terms, whether printed with initial capital letters or not, as listed in the Standard General Conditions...
- 3. By proceeding with the Work as shown on these Drawings, the Contractor makes the following representations:
- 4. In resolving disputes resulting from conflicts, errors or discrepancies, the order of precedence shall be as follows...
- 5. If Contractor believes that any subsurface or physical condition at or contiguous to the Site that is uncovered or revealed...
- 6. Section 2.06 of the General Conditions is hereby incorporated into these Drawings.
- 7. Section 3.03.A.2 of the General Conditions is hereby incorporated into these Drawings.
- 8. Section 3.05 of the General Conditions is hereby incorporated into these Drawings.
- 9. Section 3.06 of the General Conditions is hereby incorporated into these Drawings.
- 10. Section 4.05 of the General Conditions is hereby incorporated into these Drawings.
- 11. Section 6.01, 6.02.A, and 6.03 of the General Conditions are hereby incorporated into these Drawings.
- 12. Substitutes and "Or-Equals" items are subject to the provisions of the General Conditions, Section 6.05.
- 13. Section 6.13 of the General Conditions is hereby incorporated into these Drawings, except that Section 6.13.D shall be replaced with the following sentence.
- 14. Section 6.11, 6.14, 6.15, 6.16, 6.18, 6.19, 6.20, and 6.21 of the General Conditions are hereby incorporated into these Drawings.
- 15. Article 9 - Engineers Status During Construction of the General Conditions is hereby incorporated into these Drawings, except as follows:
- 16. Section 10.02 of the General Conditions is hereby incorporated into these Drawings.
- 17. Article 13 - Tests and Inspections, Correction, Removal or Acceptance of Defective Work of the General Conditions is hereby incorporated into these Drawings.

STANDARD SPECIAL PROVISIONS:

- 1. The Contractor shall be responsible for all permits, licenses and fees required for completion of this project unless specifically noted otherwise.
- 2. The Contractor shall provide the Owner with a 24 hour phone number of a party responsible and capable of immediate local response to emergency maintenance for the duration of the Work.
- 3. Unless noted otherwise, the contractor shall be responsible for any necessary traffic control on and off-site including obtaining any applicable permits.
- 4. Material stockpiled along the project route shall be done so in a manner that does not affect public safety and is in a neat and orderly fashion.
- 5. The Contractor shall be responsible for disposing of all waste and excess materials such as, but not limited to: vegetation, trees, brush, asphalt, concrete, sub-grade soils, etc., off-site in accordance with local, state and federal laws.
- 6. The contractor will be responsible to adhere to the MDEQ or EPA approved Storm Water Pollution Prevention Plan (SWPPP), if applicable to the project.
- 7. The Contractor will be required to make every effort to immediately restore the construction area once the construction task is completed.
- 8. After all work on this project is completed and before final acceptance of the project, the entire project shall be neatly finished to the lines, grades, and cross sections shown on the plans and as hereinafter specified.
- 9. No on-site burning of waste materials will be allowed.
- 10. If a street has not been surfaced and cleaned, the Contractor shall be responsible for dust control and maintenance of the detours.
- 11. Daily street sweeping shall be completed on both ends of each street during construction.

UTILITY NOTES:

- 1. The Contractor shall notify appropriate personnel for utility locations and notice of construction commencement at least two business days prior to proceeding with the Work.
- 2. The information and data shown or indicated in the Drawings with respect to existing Underground Facilities at or contiguous to the Site is based on information and data furnished to Owner or Engineer by the owners of such Underground Facilities...
- 3. The Contractor shall support and protect all exposed utilities in conformance with the utility owner's standards.
- 4. All utility services shall be constructed per the International Plumbing Code, Local Jurisdictional policy, and the service provider standards and specifications.
- 5. All utility work shall be completed before paving.

SUBMITTALS, QUALITY CONTROL & ASSURANCE, INSPECTIONS, AND TESTING

- 1. Contractor shall comply with Summary of Work, Section 01010, MPWSS.
- 2. Contractor shall comply with Project Coordination, Section 01041, MPWSS.
- 3. Contractor shall comply with Field Engineering, Section 01050, MPWSS.
- 4. Contractor shall comply with Submittals, Section 01300, MPWSS.
- 5. Contractor shall comply with the Contractor Quality Control and Owner Quality Assurance, as modified by MCPWSS Appendix 2-A, Section 01400.
- 6. Contractor shall comply with Contract Closeout, Section 01700, MPWSS.
- 7. Contractor shall comply with all Density Control Testing, Part 1.3, for Sub Base Course, Section 02234 MPWSS.
- 8. Contractor shall comply with all Density Control Testing, Part 1.3, and Materials Submittals, Part 1.4, for Crushed Base Course, Section 02235 MPWSS.
- 9. Contractor shall comply with Pavement and Material Testing Requirements, Part 3.29, for Asphalt Concrete Pavement, Section 02510 MPWSS.
- 10. Contractor shall complete trench excavation and backfill in accordance with Section 02221 MPWSS.
- 11. The Contractor shall coordinate with Engineer to obtain samples of trench backfill material to be used on-site.
- 12. Contractor will be responsible for coordination with a material testing company of the Owner's selection to complete compaction testing of trench backfill.
- 13. The Contractor will be required to prepare a set of detailed as-built drawings to be presented to the Engineer at the completion of the project.

CONSTRUCTION NOTES:

- 1. All Work shall be in accordance with the Montana Public Works Standard Specifications (MPWSS), Seventh Edition, dated April 2021.
- 2. Contractor shall comply with Construction and Temporary Facilities, Section 01500, MPWSS.
- 3. Contractor shall comply with Construction Traffic Control, Section 01570, MPWSS.
- 4. For road plan and profile sheets, the stationing and elevations provided are for finished grade at centerline of road, unless noted otherwise.
- 5. For proposed pipe installations (culverts, storm drains, irrigation, etc.), the stationing is from centerline of pipe and elevations are from invert of pipe, unless noted otherwise.
- 6. Elevations shown on the Drawings are to finished surface grade unless otherwise indicated.
- 7. Elevations for curb and gutter are for top back of curb, unless otherwise indicated.
- 8. All material furnished on or for this project shall meet the minimum requirements of the approving agencies or as set forth herein, whichever is more restrictive.
- 9. If more than one acre will be disturbed during construction the contractor is responsible to notify DEQ or submit Storm Water Pollution Prevention Permit (SWPPP) to DEQ prior to construction.

CONSTRUCTION STAKING:

- 1. The owner will provide construction staking one time. Additional staking will be the responsibility of the contractor for scheduling and payment.
- 2. Contractor is responsible to coordinate and request staking at least two days in advance, unless otherwise agreed upon in writing by Engineer.
- 3. Staking will be provided as indicated in the Contract Documents, or as requested by contractor.
- 4. Cut sheets will be provided to the contractor with elevation from hub to finished grade, unless noted otherwise.
- 5. Engineer does not consider staking to be complete and ready for use until cut sheets have been delivered to Contractor.

GRADING NOTES:

- 1. All ramps shall be sloped @ 12:1 max (8.33%) with a cross slope less than 2% with landings being a minimum of 5'x5' and a maximum slope in all directions of 2%.
- 2. Square cut all asphalt.
- 3. Contractor shall protect all adjacent improvements (buildings, roadways, fences, ditches, parking lots, utilities, sidewalks, curbs, gutter, park recreation improvements, trees, etc.) from damage and erosion.
- 4. Compact subgrade and gravel cushion to 95% proctor density or per geotechnical engineering report, whichever provides a greater level of compaction.

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

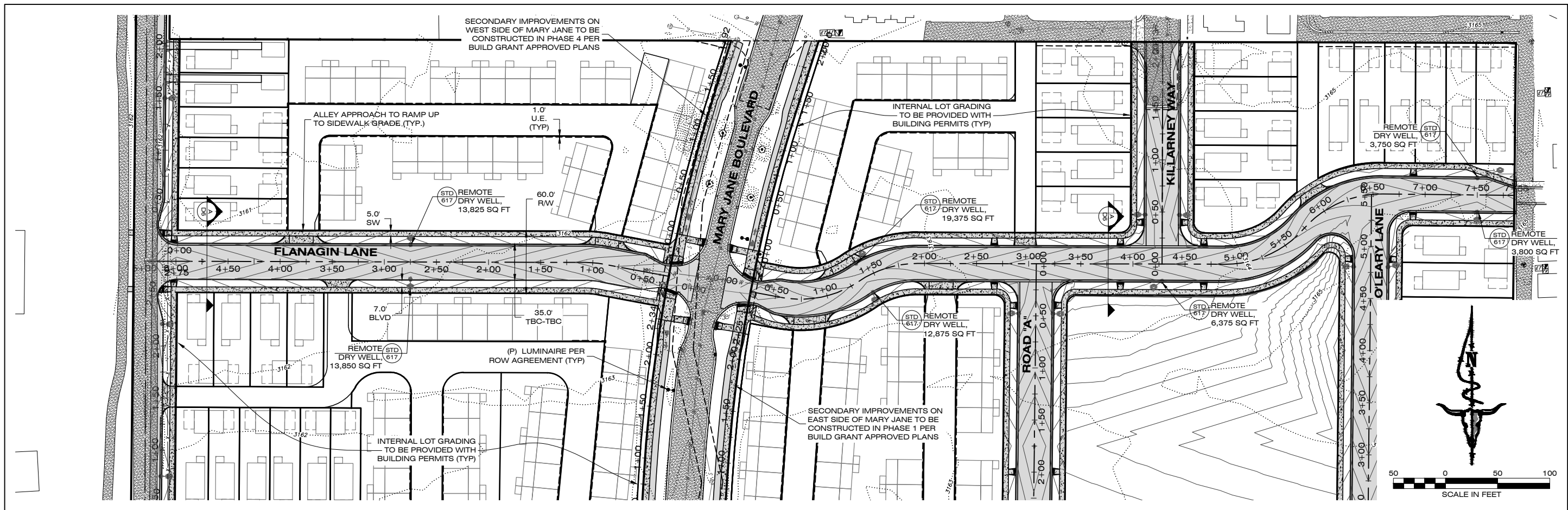
- 1. SWPPP Administrator shall turn in SWPPP reports generated from the beginning of construction to date that As-Built are turned into Engineer.
- 2. SWPPP Administrator is required to renew City SWPPP permit annually unless the site has been stabilized.

ABBREVIATIONS:

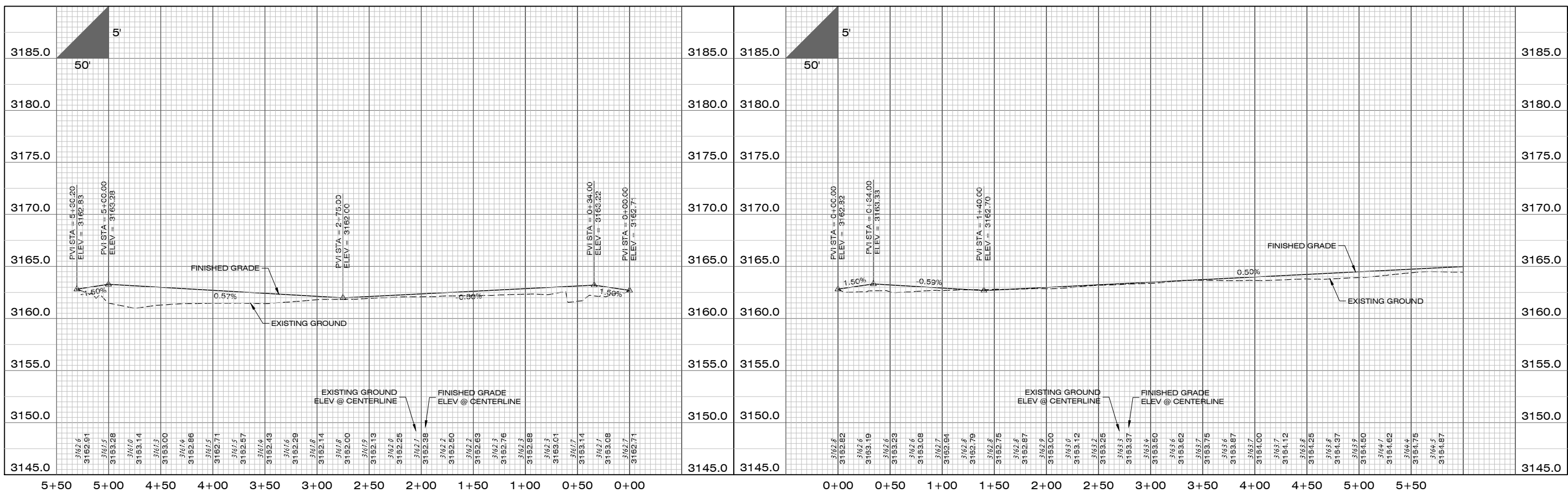
Table listing abbreviations and their full names, such as BC (BACK OF CURB), BP (BEGINNING POINT), BSW (BACK OF SIDEWALK), etc.

NOTE: NOT ALL FEATURES SHOWN IN LEGEND WILL BE PRESENT ON PLANS

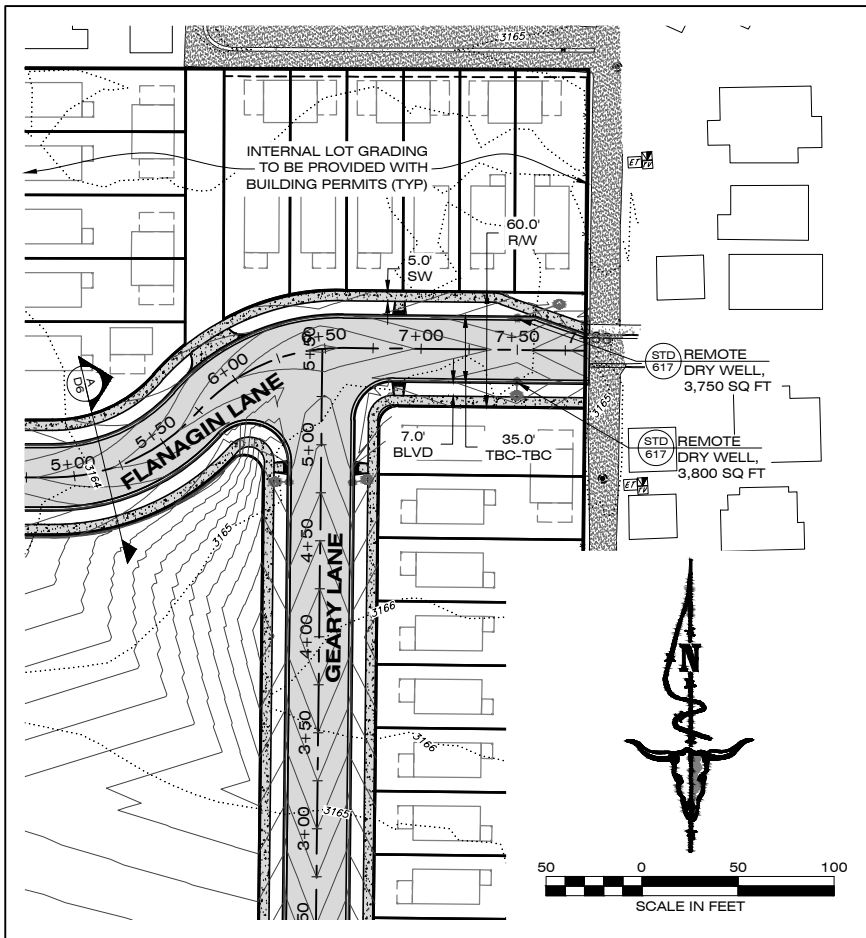
Project information including logo for IMEG, project name (MISSOULA LOFT HOMES), location (TRACT 5 AND TRACT 2 OF C.O.S. 6817), sheet number (2 OF 20), and stage (STAGE 2).



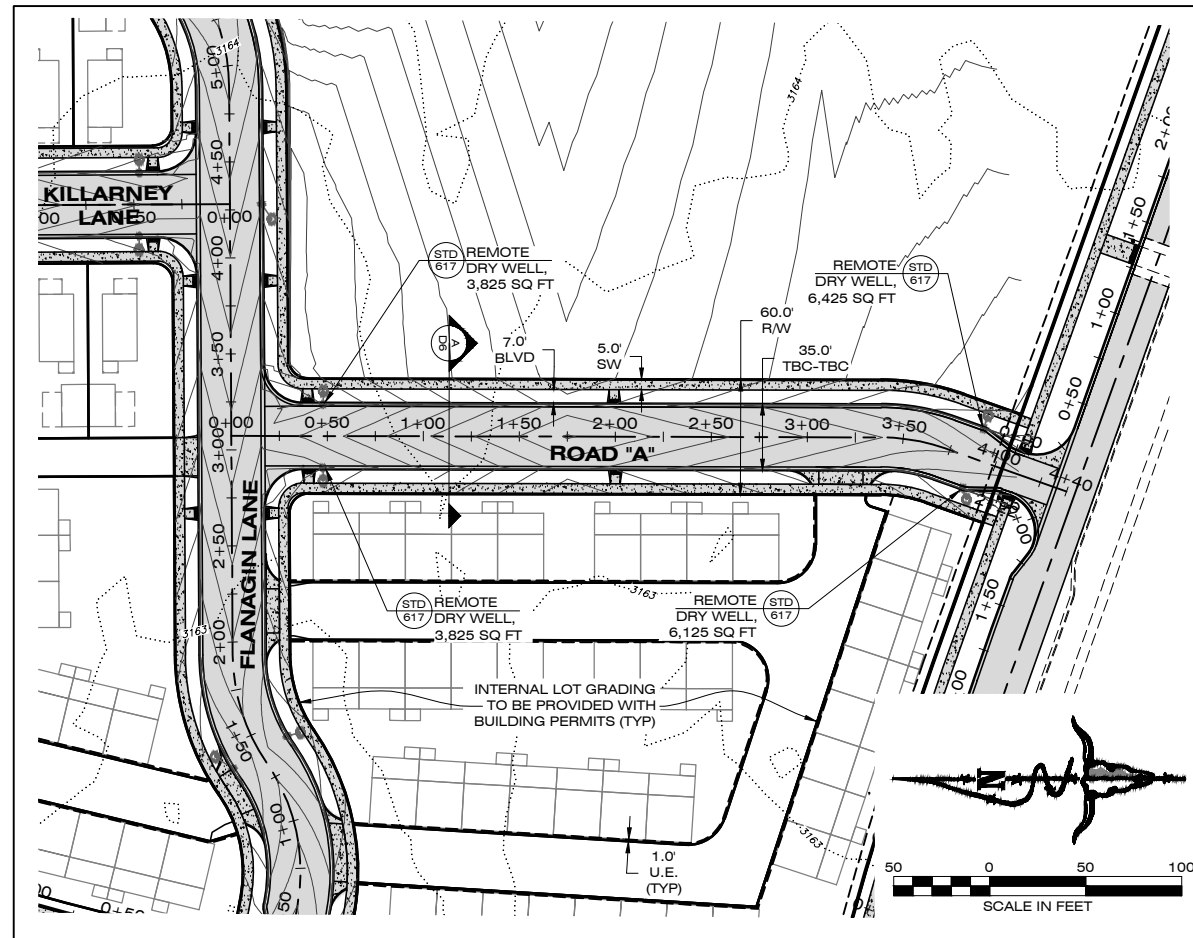
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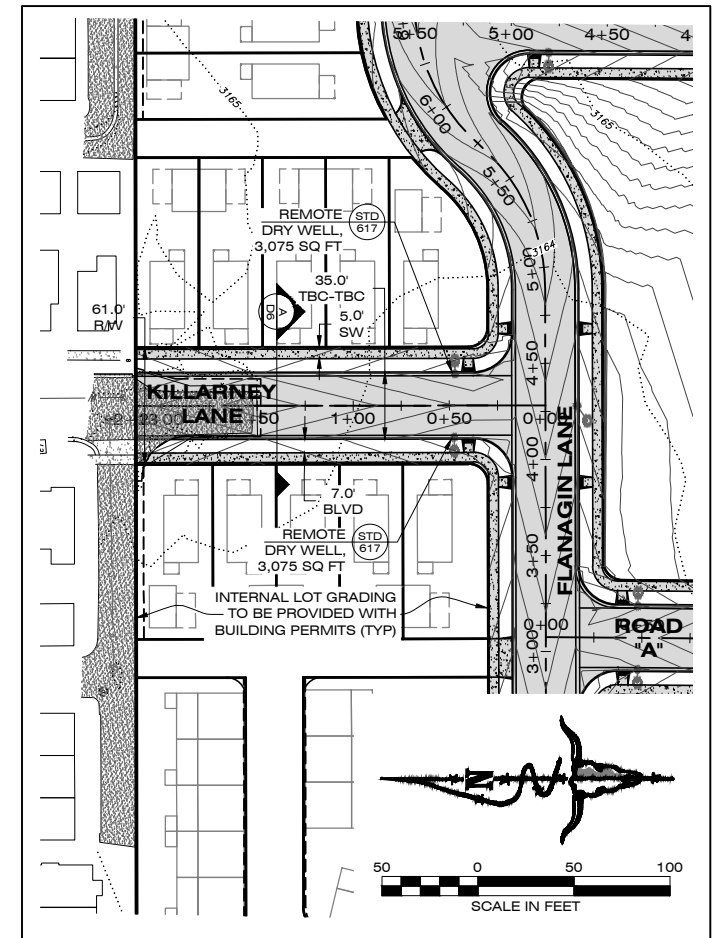
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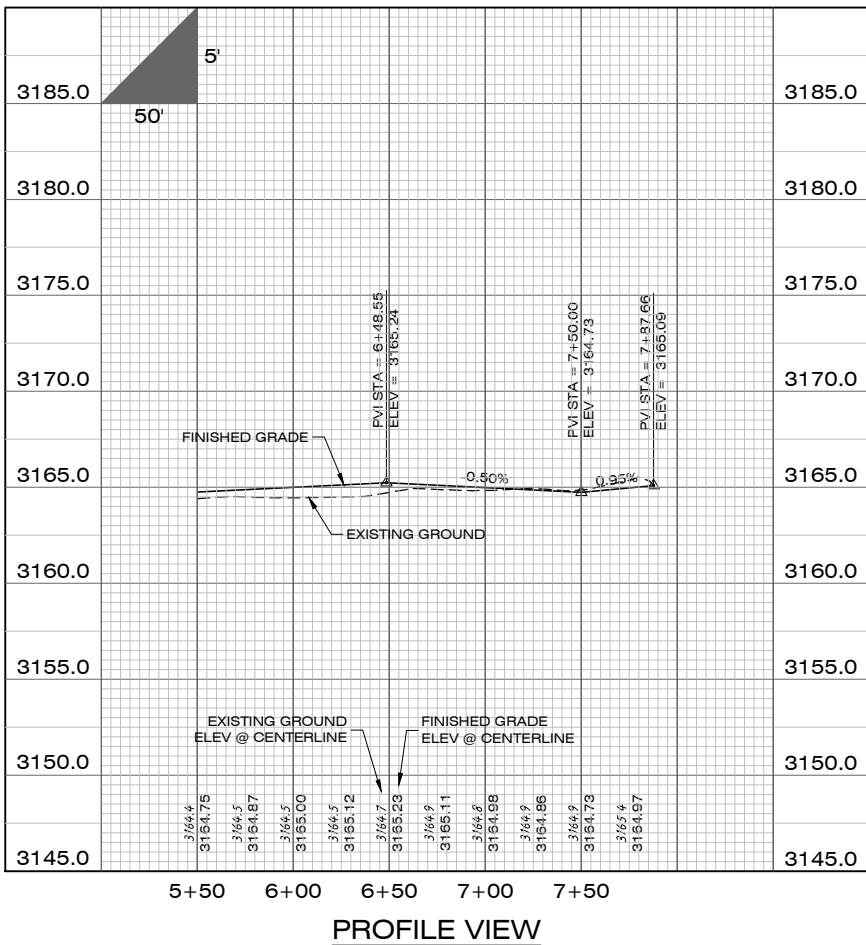
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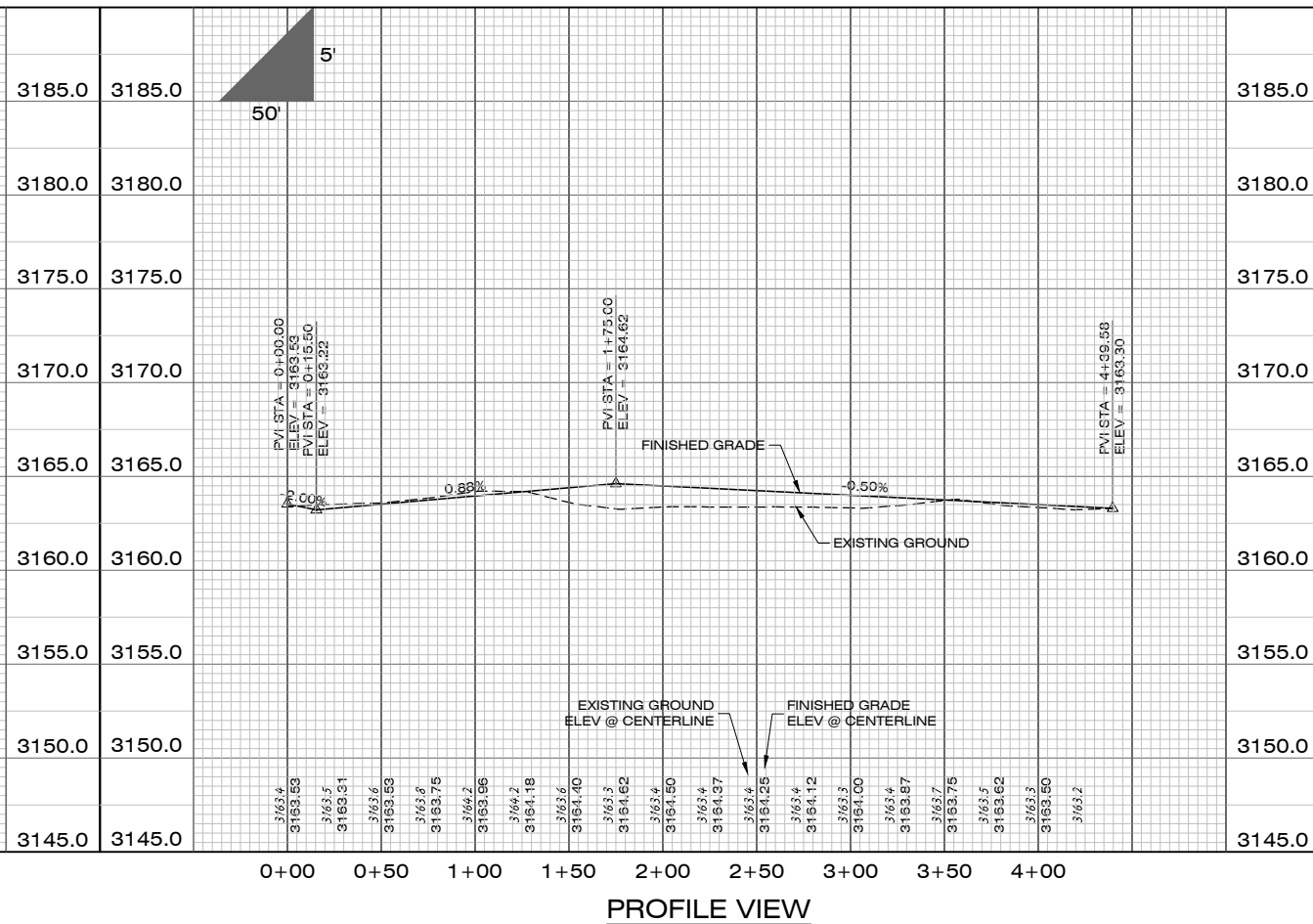
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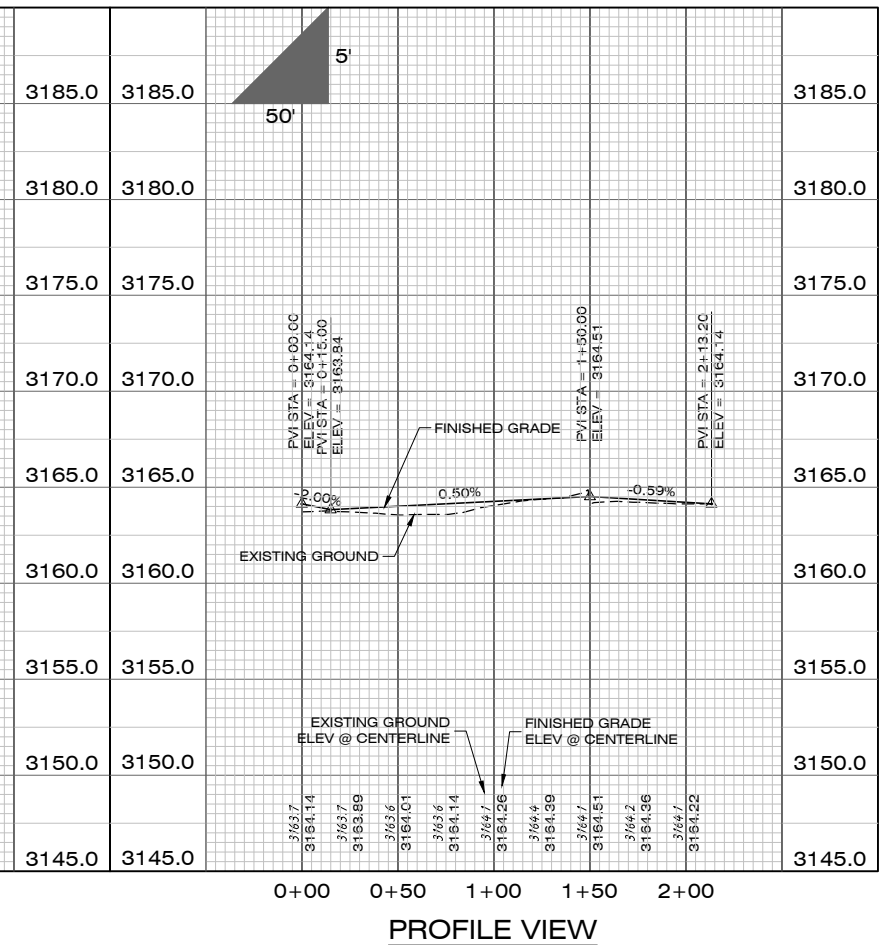
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PROFILE VIEW



PROFILE VIEW



PROFILE VIEW



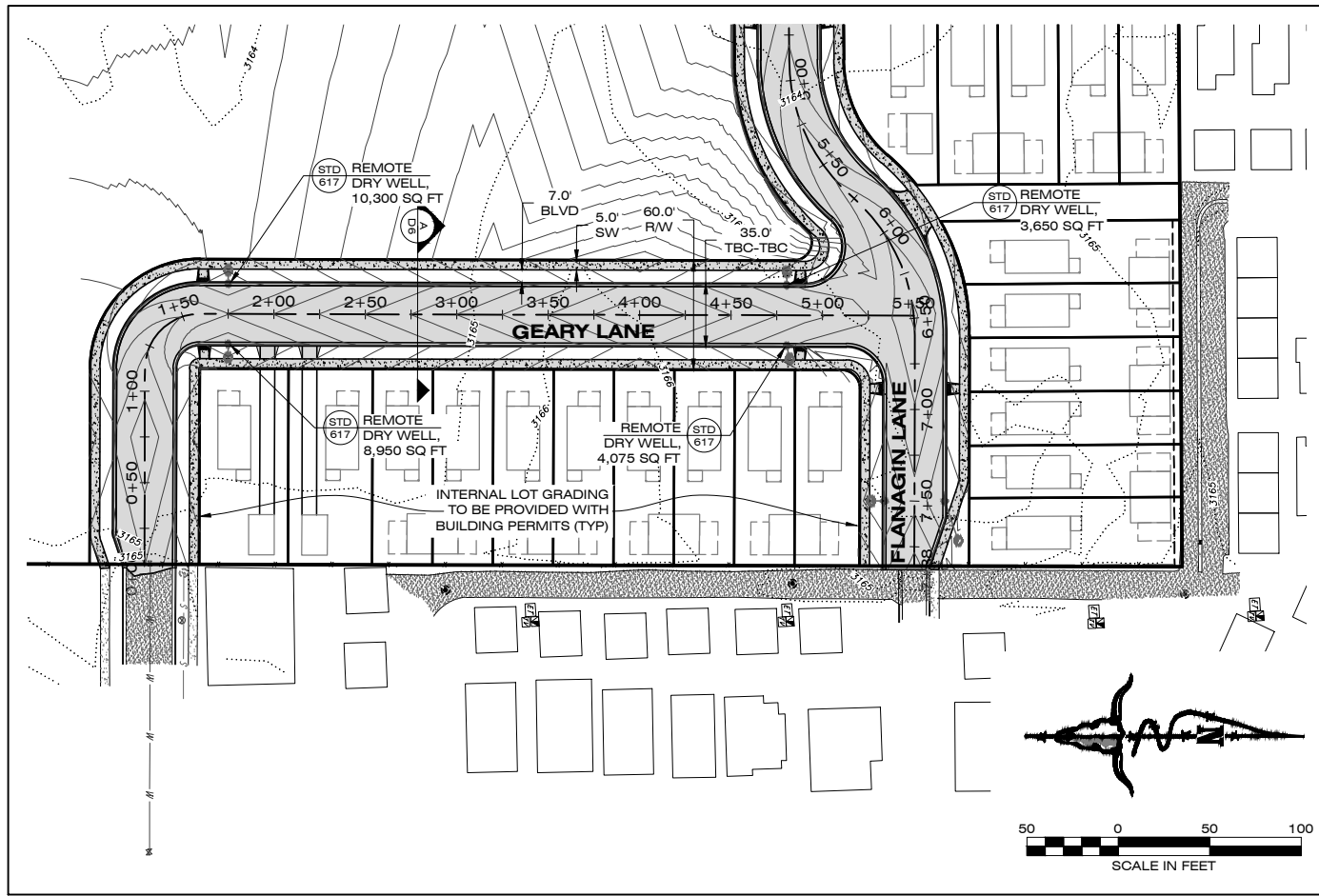
DATE	
REVISIONS	
DESIGNED: XX	
DRAFTED: DO	
CHECKED: XX	
DATE: APR, 2023	

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817 MARY JANE BOULEVARD SEC. 18, T13N., R19W., P.M.M. MISSOULA COUNTY, MONTANA
 PREPARED FOR: MIRAMONTE HOMES

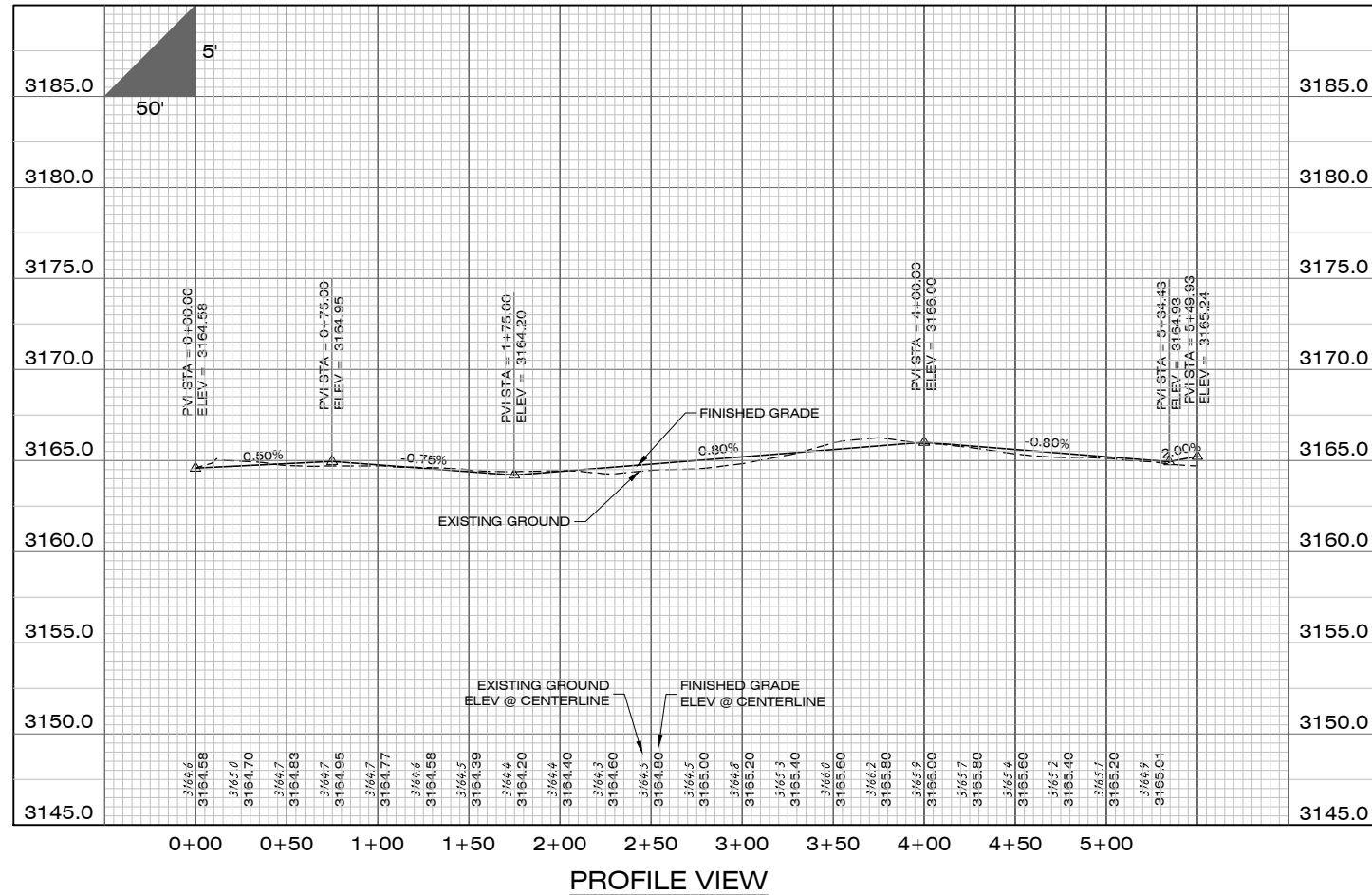
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 PROJECT NO.: 22000700.01
 SHEET: 4 OF 20
 SHEET TITLE: GRADING, DRAINAGE, AND ROAD PLANS PLAN AND PROFILE SHEET

STAGE 2

DRAWN LOCATION: G:\2022\22000700.01\DRAWING\CONV\PLAN\ROAD\RD-22000700.DWG



PLAN VIEW



PROFILE VIEW



DATE

REVISIONS

DESIGNED: XX
 DRAFTED: DO
 CHECKED: XX
 DATE: APR, 2023

LOCATION:
 TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18., T13N., R19W., P.M.M.
 MISSOULA COUNTY

MIRAMONTE
 HOMES

PROJECT NAME
 MISSOULA LOFT HOMES
 ON MARY JANE

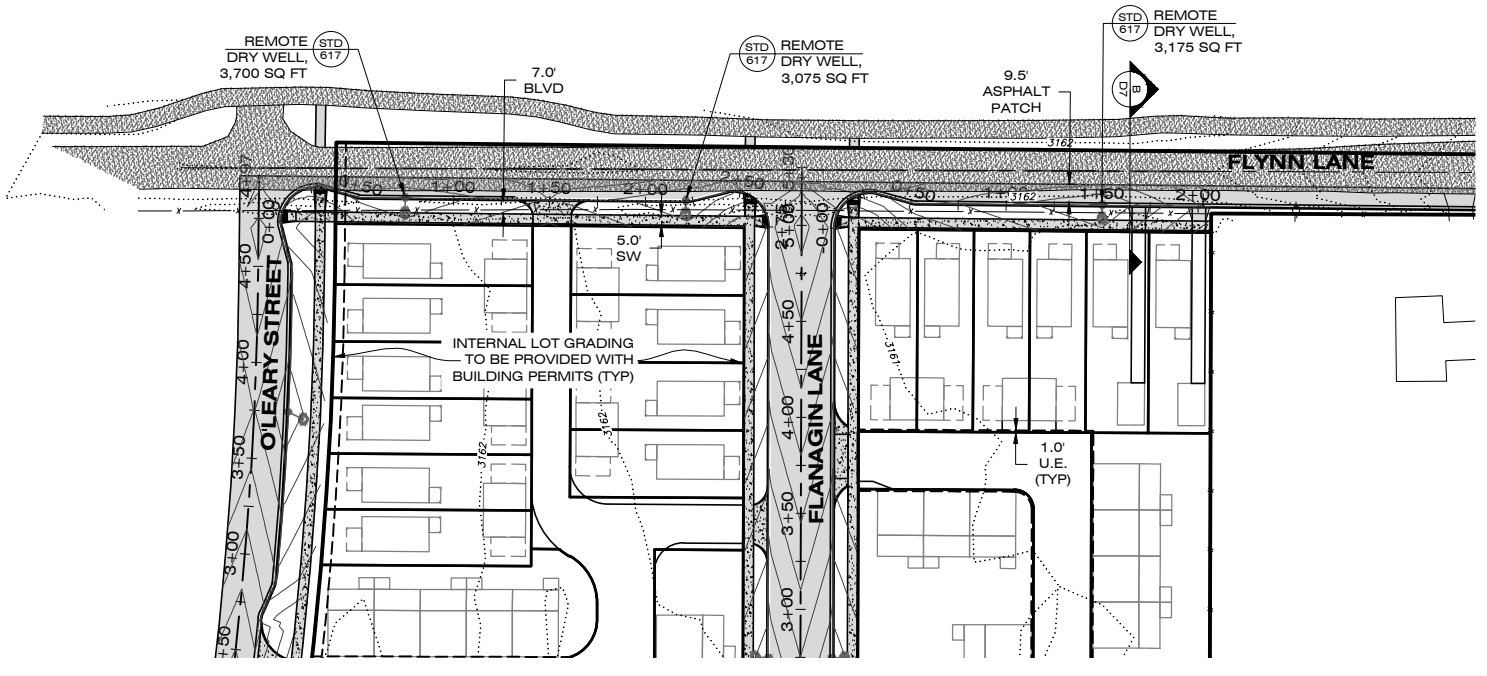
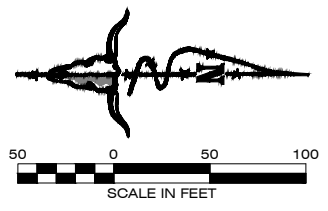
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 GRADING, DRAINAGE, AND ROAD PLANS
 PLAN AND PROFILE SHEET

PROJECT NO.
 22000700.01
 SHEET:
 5 OF 20

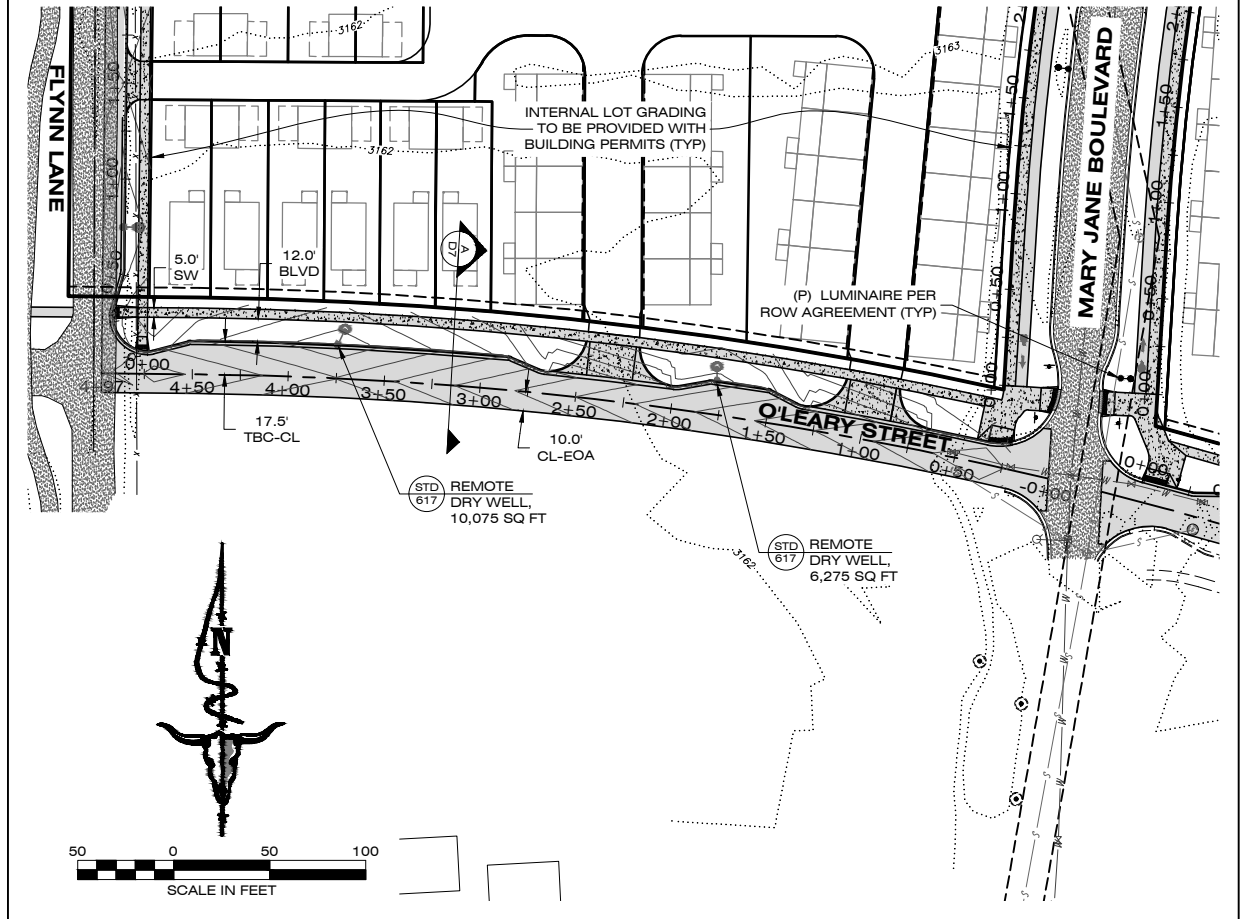
STAGE 2

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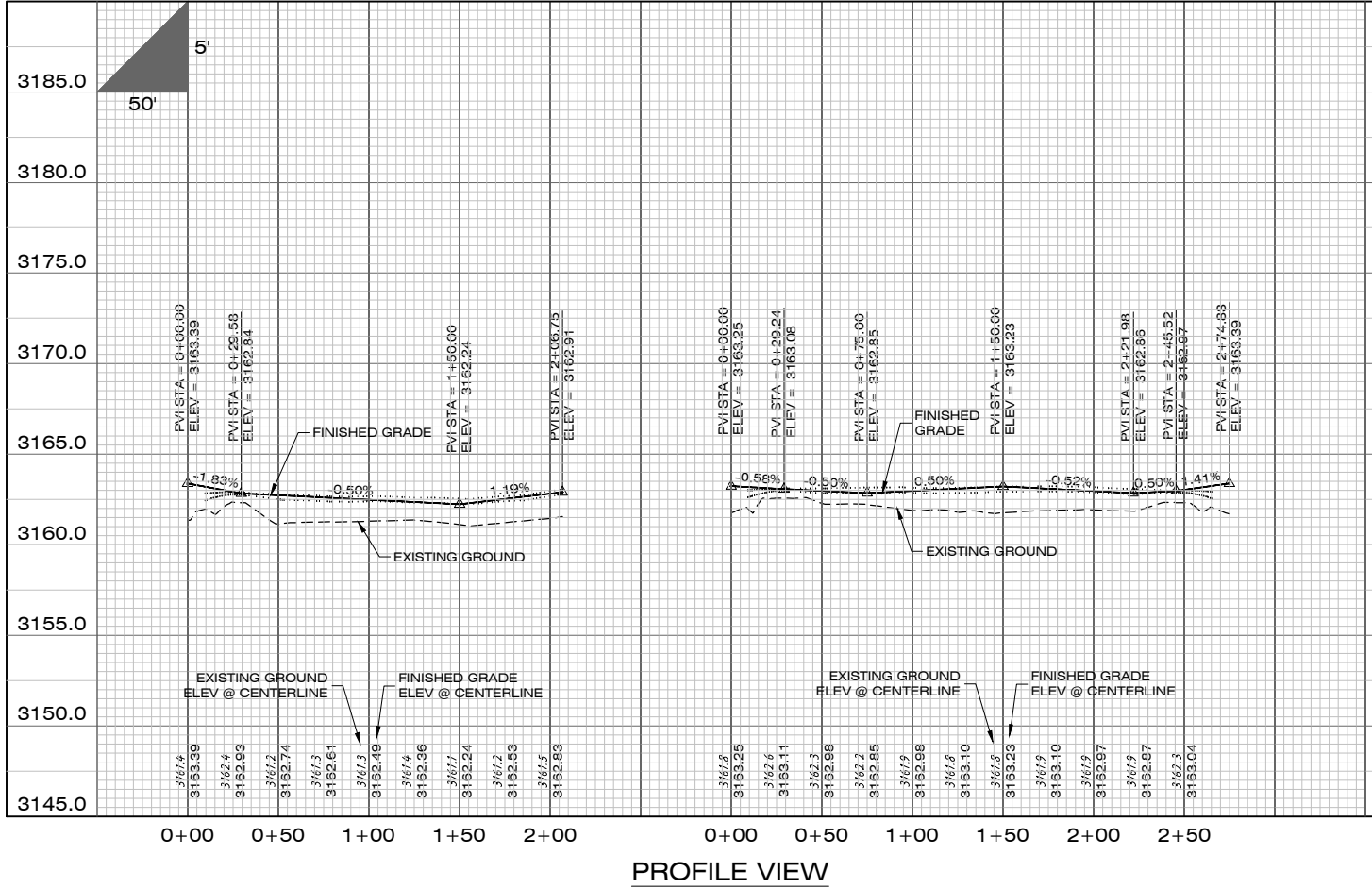
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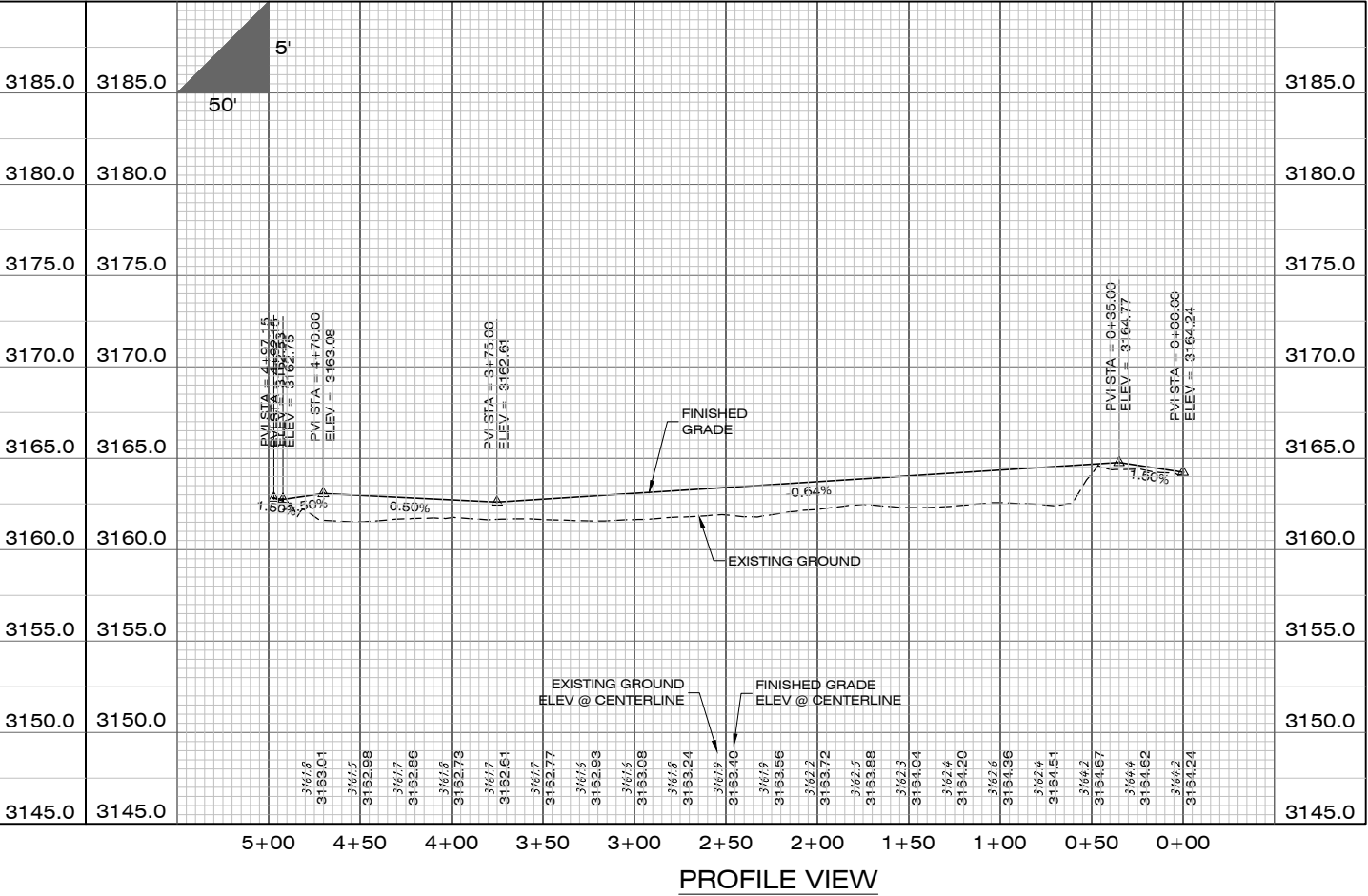
PLAN VIEW



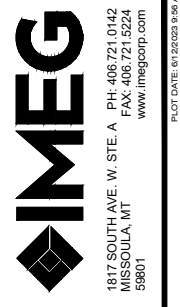
PLAN VIEW



PROFILE VIEW



PROFILE VIEW



DATE	
REVISIONS	
DESIGNED: XX	
DRAFTED: DO	
CHECKED: XX	
DATE: APR, 2023	

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817 MARY JANE BOULEVARD SEC. 18, T13N., R19W., P.M.M. MISSOULA COUNTY

PREPARED FOR: MIRAMONTE HOMES

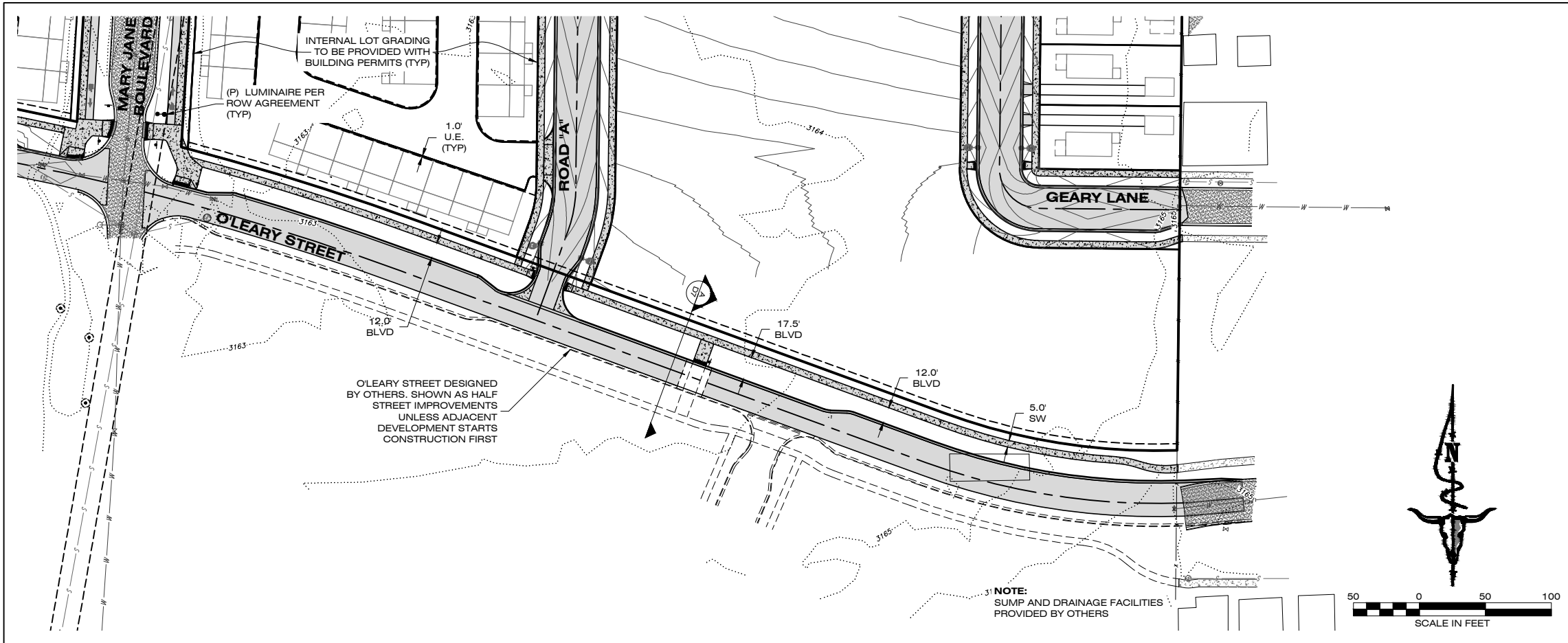
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PROJECT NO.: 22000700.01

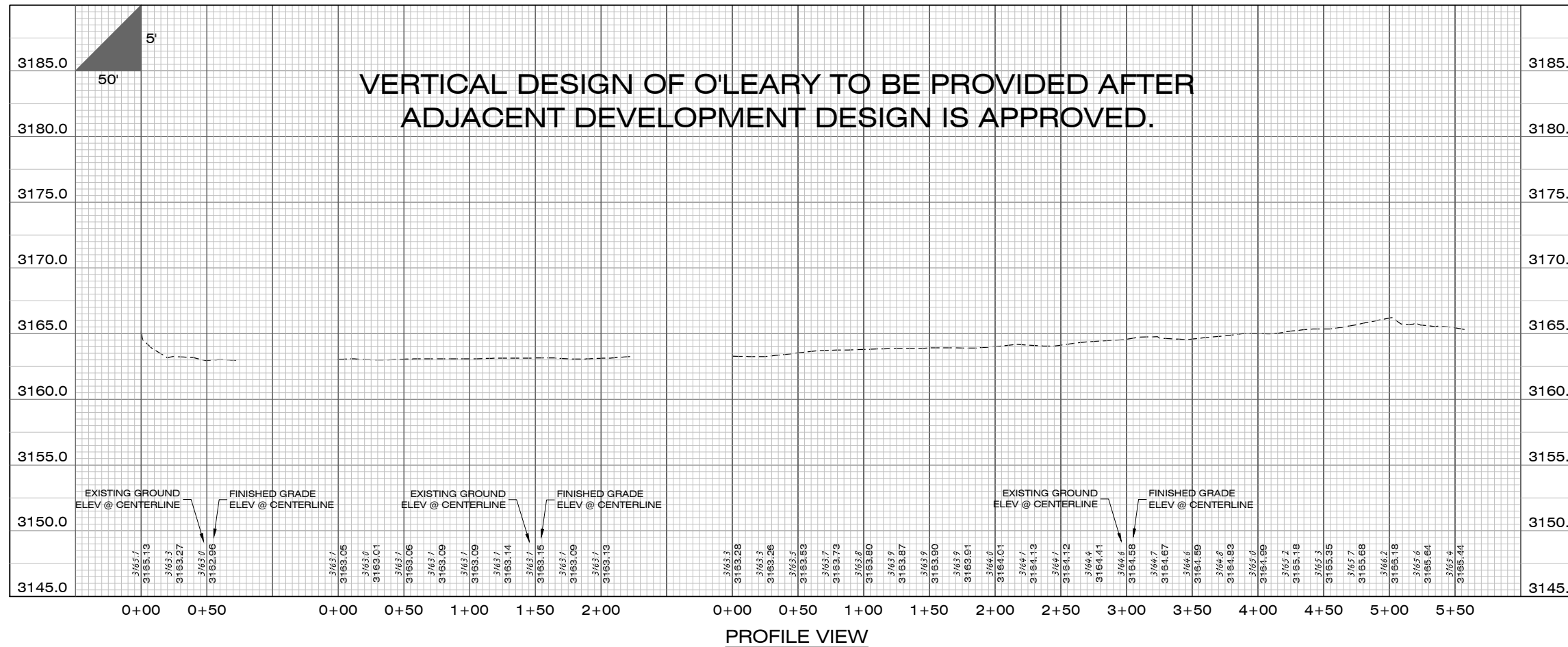
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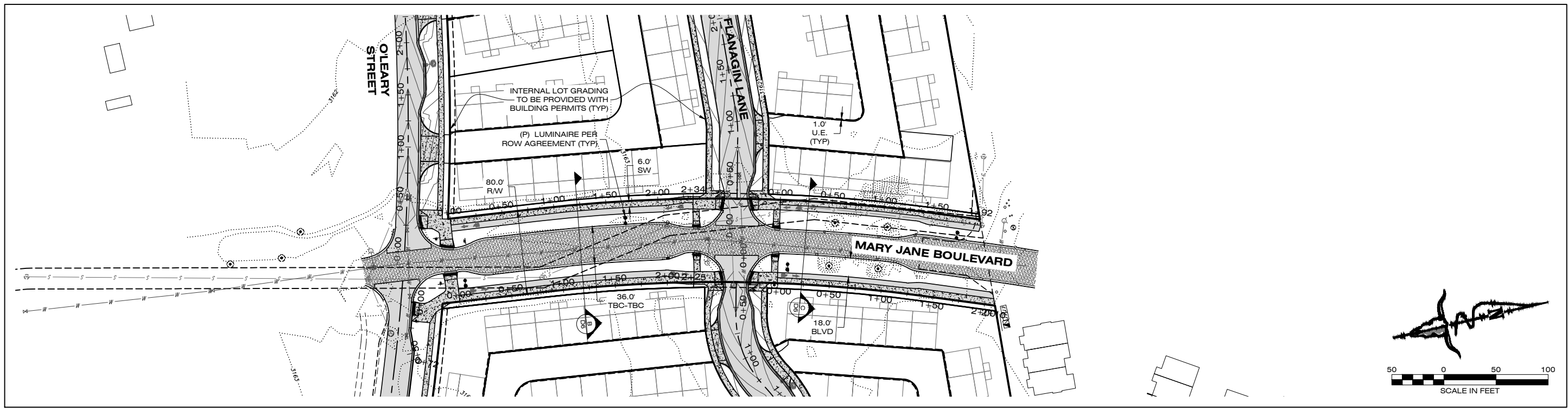
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STAGE 2

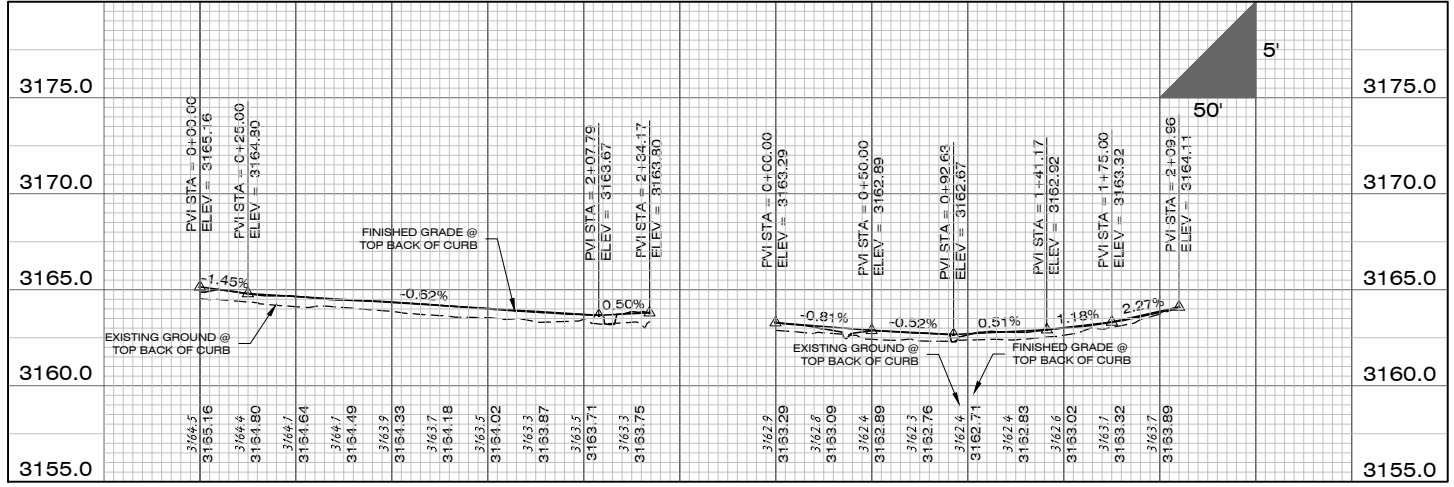


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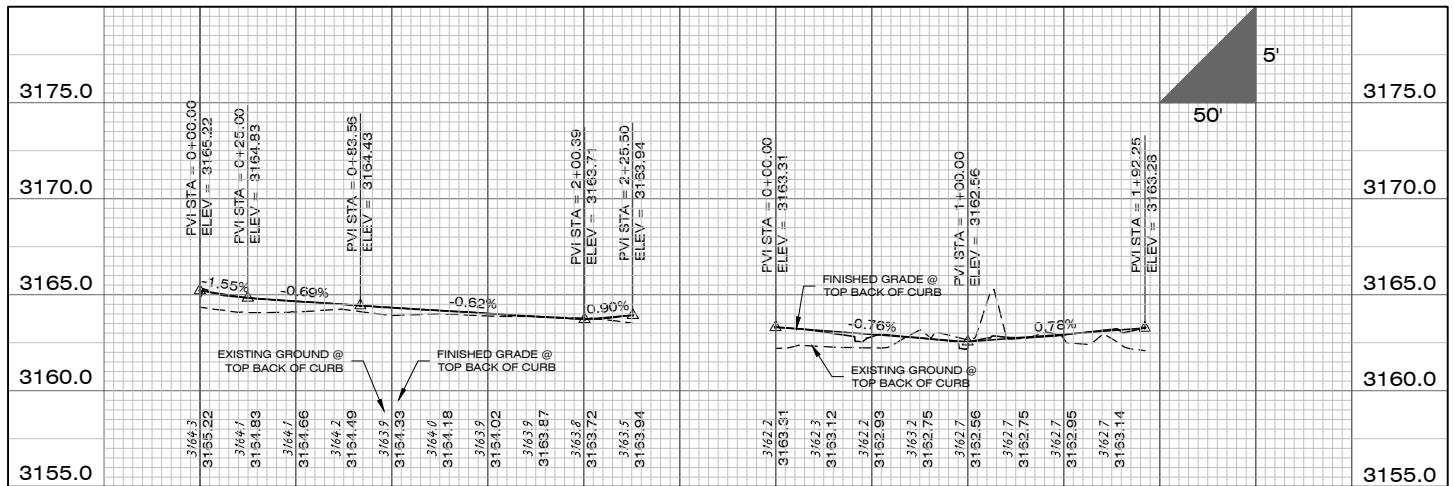




PLAN VIEW



PROFILE VIEW



PROFILE VIEW

DATE	
REVISIONS	

DESIGNED:	XX
DRAFTED:	DO
CHECKED:	XX
DATE:	APR, 2023

LOCATION:
 TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18, T13N., R19W., P.M.M.
 MISSOULA COUNTY

PREPARED FOR:
 MIRAMONTE HOMES

PROJECT NAME
 MISSOULA LOFT HOMES
 ON MARY JANE

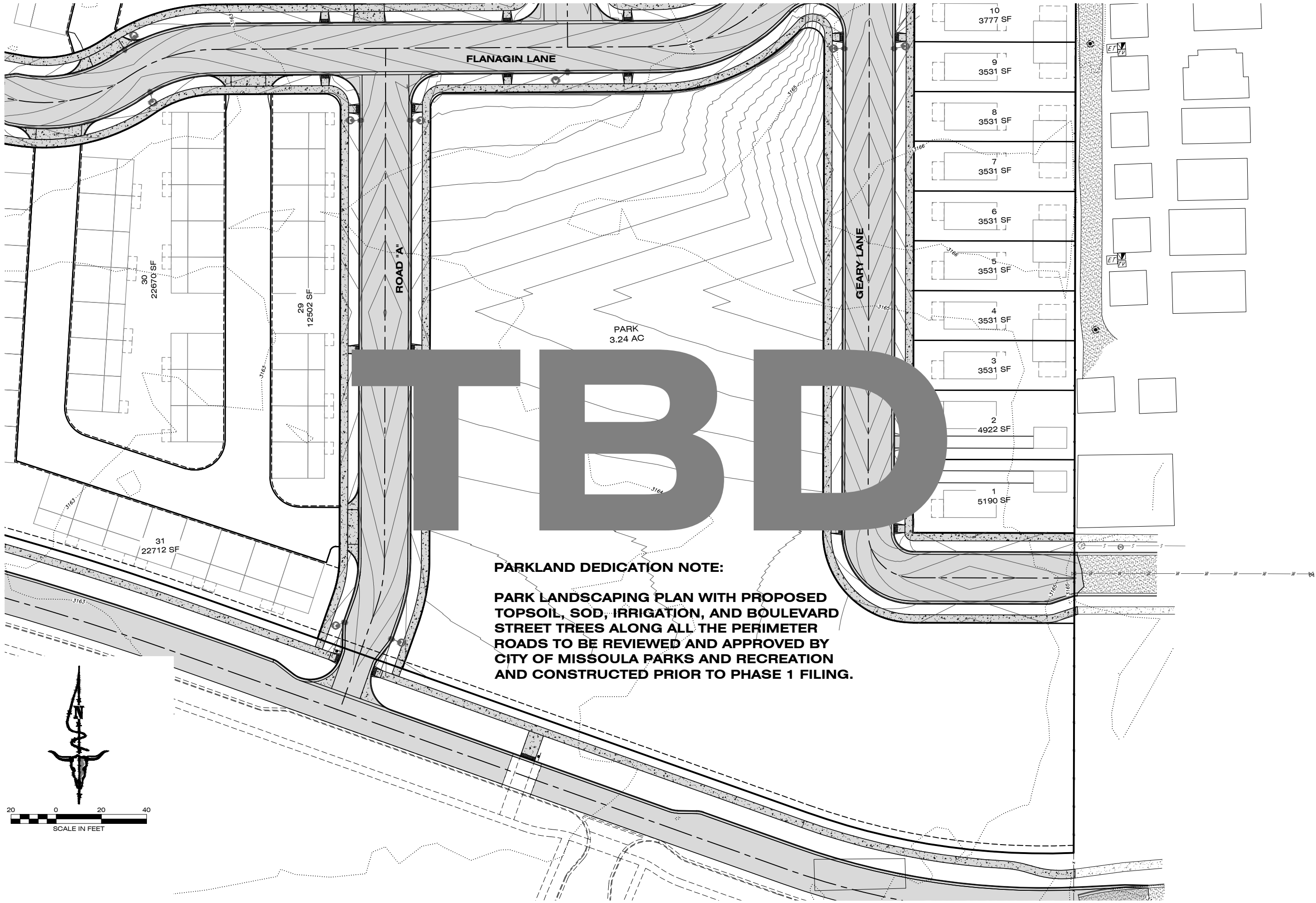
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PROJECT NO.
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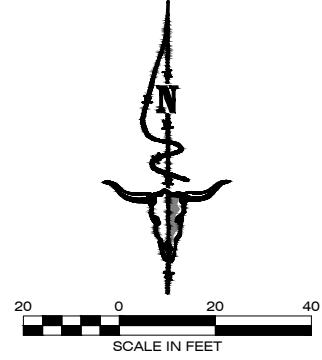
SHEET:
 8 OF 20

STAGE 2

DWS LOCATION: G:\2022\2200700.01\DWG\DRN\CONV\CONV\PLAN\ROAD\GRID\2200700.DWG PLOT DATE: 01/20/23 9:57 AM



PARKLAND DEDICATION NOTE:
PARK LANDSCAPING PLAN WITH PROPOSED TOPSOIL, SOD, IRRIGATION, AND BOULEVARD STREET TREES ALONG ALL THE PERIMETER ROADS TO BE REVIEWED AND APPROVED BY CITY OF MISSOULA PARKS AND RECREATION AND CONSTRUCTED PRIOR TO PHASE 1 FILING.



DESIGNED:	XX
DRAFTED:	DO
CHECKED:	XX
DATE:	APR., 2023

LOCATION:
 TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18, T13N., R19W., P.M.M.
 MISSOULA COUNTY

PREPARED FOR:
 MIRAMONTE
 HOMES

PROJECT NAME
 MISSOULA LOFT HOMES
 ON MARY JANE

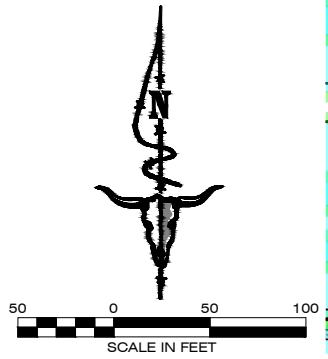
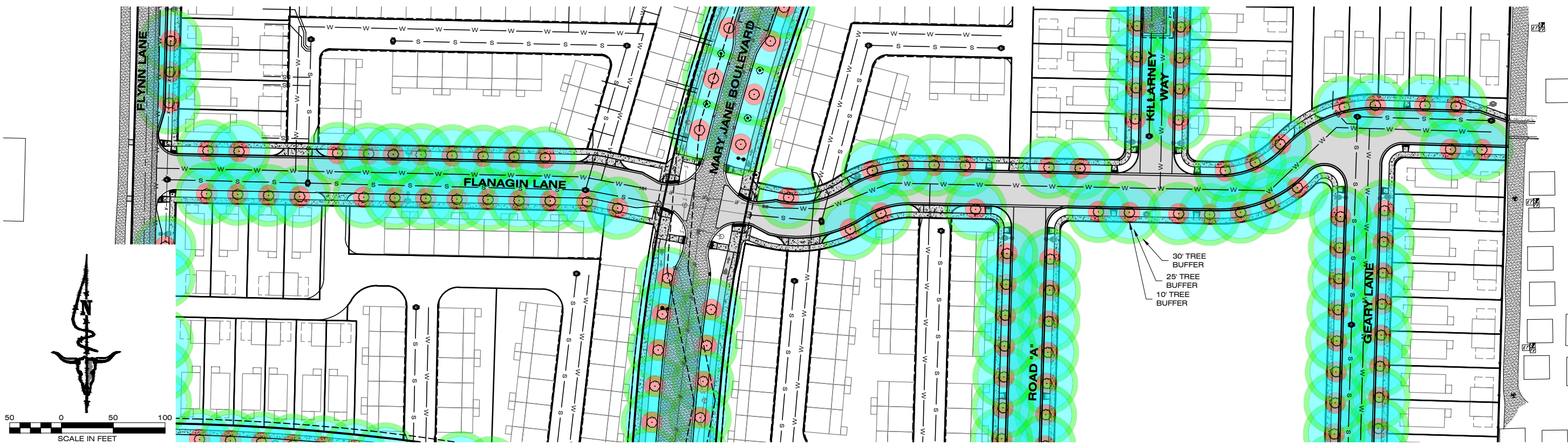
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 GRADING, DRAINAGE, AND ROAD PLANS
 PARK LANDSCAPING PLAN

PROJECT NO.
 22000700.01

SHEET:
 9 OF 20

STAGE 2

DWS LOCATION: G:\2022\22000700_01\DESIGN\CONV\SP\PLANS\ROAD\22000700.DWG PLOT DATE: 01/20/23 9:57 AM



DATE: _____

REVISIONS: _____

DESIGNED: *XX*

DRAFTED: *DO*

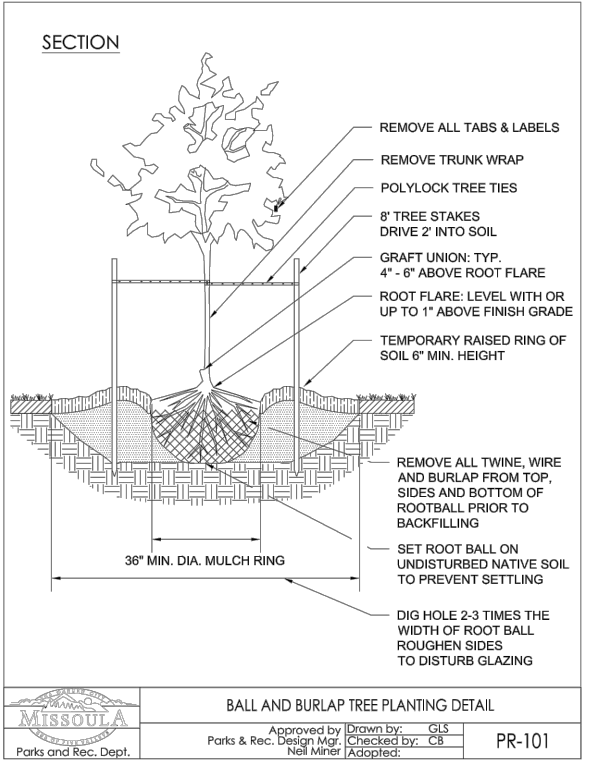
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DATE: *APR, 2023*

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18, T13N., R19W., P.M.M.
 MISSOULA COUNTY

PREPARED FOR: MIRAMONTE HOMES

CLASS II TREE CLEARANCE REQUIREMENTS	
LOCATION	MINIMUM CLEARANCE
ADJACENT TO SIDEWALK OR CURB	3' FROM CURB FACE OR SIDEWALK
ADJACENT TO ANY BUILDING OR STRUCTURE	10' FROM BUILDING OR STRUCTURE
ADJACENT TO METER BOXES AND PAD TRANSFORMERS	10' FROM METER VAULT BOX OR TRANSFORMER PAD
RESIDENTIAL DRIVEWAYS	10' FROM RESIDENTIAL DRIVEWAY
ALLEYWAYS	10' FROM ALLEYWAY
FIRE HYDRANTS AND UTILITY POLES	10' FROM A HYDRANT OR UTILITY POLE
SANITARY SEWER LATERAL	10' FROM SANITARY SEWER LATERALS
STREET LIGHTS	20' FROM STREET LIGHTS
TRAFFIC CONTROL SIGNS	25' IN FRONT OF TRAFFIC CONTROL SIGNS
CORNER SIGHT TRIANGLE	30' FROM INTERSECTION RETURN
DRAINAGE SUMP	10' FROM SUMP



NOTES:

- Plant material must meet the minimum acceptable standard set by the American Association of Nurserymen's American Standard of Nursery Stock; ANSI Z60.1. Broken, damaged, diseased, or substandard stock are prohibited from being planted in the public right-of-way and will be rejected.
- Only class 1 (small growing) trees are permitted to be planted under or within fifteen (15') of overhead utility lines.
- Prune only broken or damaged branches. Do not apply fertilizer at time of planting.
- The root flare is the point where the top most structural root emerges from the trunk. The depth of the root ball shall be measured from the root flare to the bottom of the root ball. Handle B&B plants carefully when transferring to planting hole. Lift or carry by holding the root ball, not the trunk.
- Remove any excess soil from the top of the root ball to expose the root flare. Place tree in planting hole with root flare level with or up to 1" above finish grade.
- Remove all wire baskets and rope from root ball. Be careful to keep the root ball intact.
- Remove all burlap from the root ball. Be careful to keep root ball intact.
- Straighten, cut and remove any circling roots.
- Backfill planting hole 2/3 full with existing soil, settle with water, continue to fill with soil, water again. Water thoroughly after installation to eliminate air pockets.
- Construct a temporary raised ring of soil at edge of root ball to contain water. Remove or breach before winter.
- Construct mulch ring with a minimum 36" diameter to a depth of 2" - 4"; leave 3" bare ground between mulch and tree trunk.
- Set stakes parallel to prevailing wind and outside of root ball. Ties must be 1" wide minimum, flexible bell-like strapping. Do not use rope or wire. Do not over-tighten around tree. Ties should be tight enough to support the tree while allowing it to sway. Remove stakes and ties within one year after installation.
- Trees benefit when irrigated separately from turf. Water new trees during summer months to a depth of 12" - 18" once per week (about 5 gallons of water per caliper inch) for the first 3 growing seasons. During periods of drought, new trees may need more frequent watering.

BALL AND BURLAP TREE PLANTING NOTES

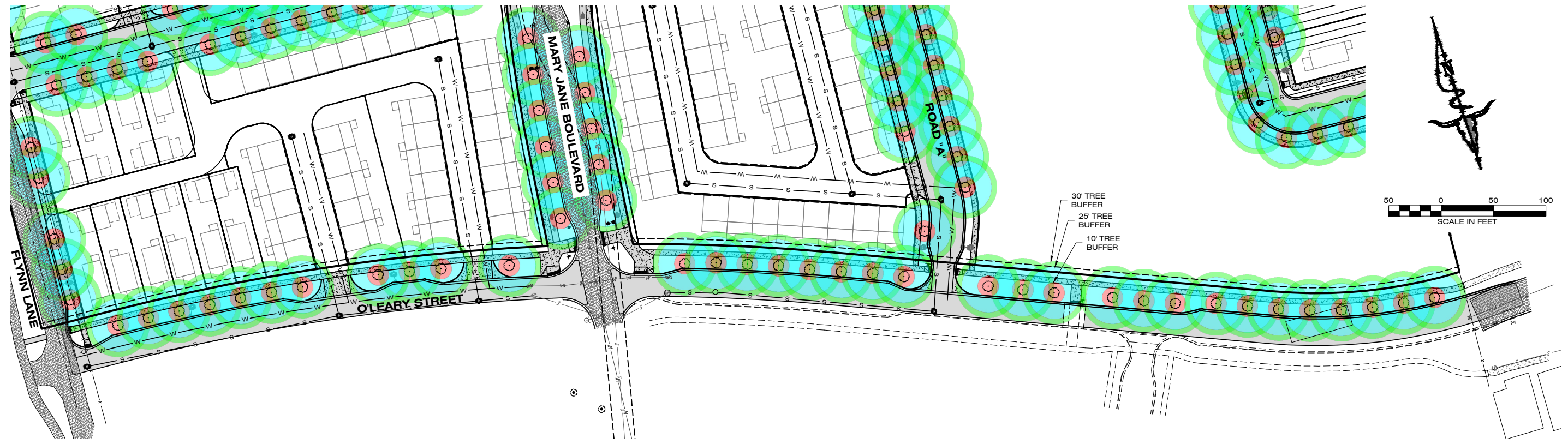
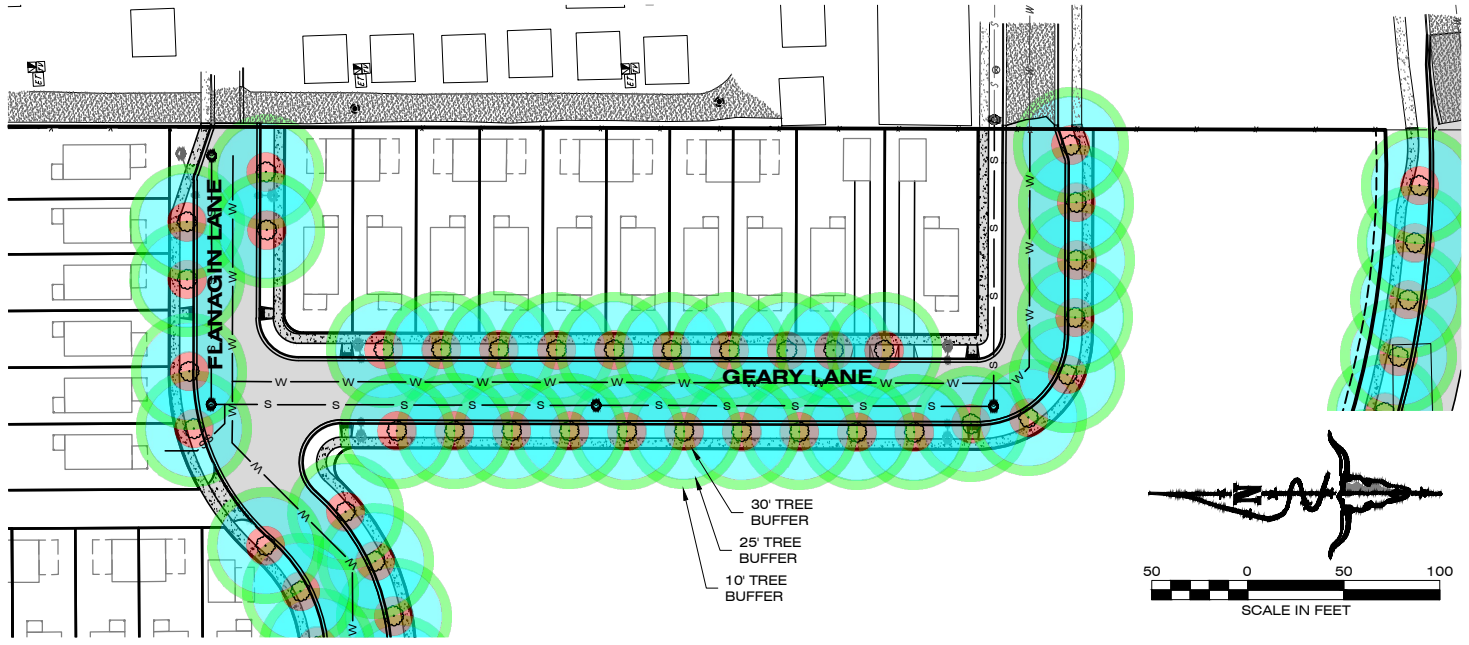
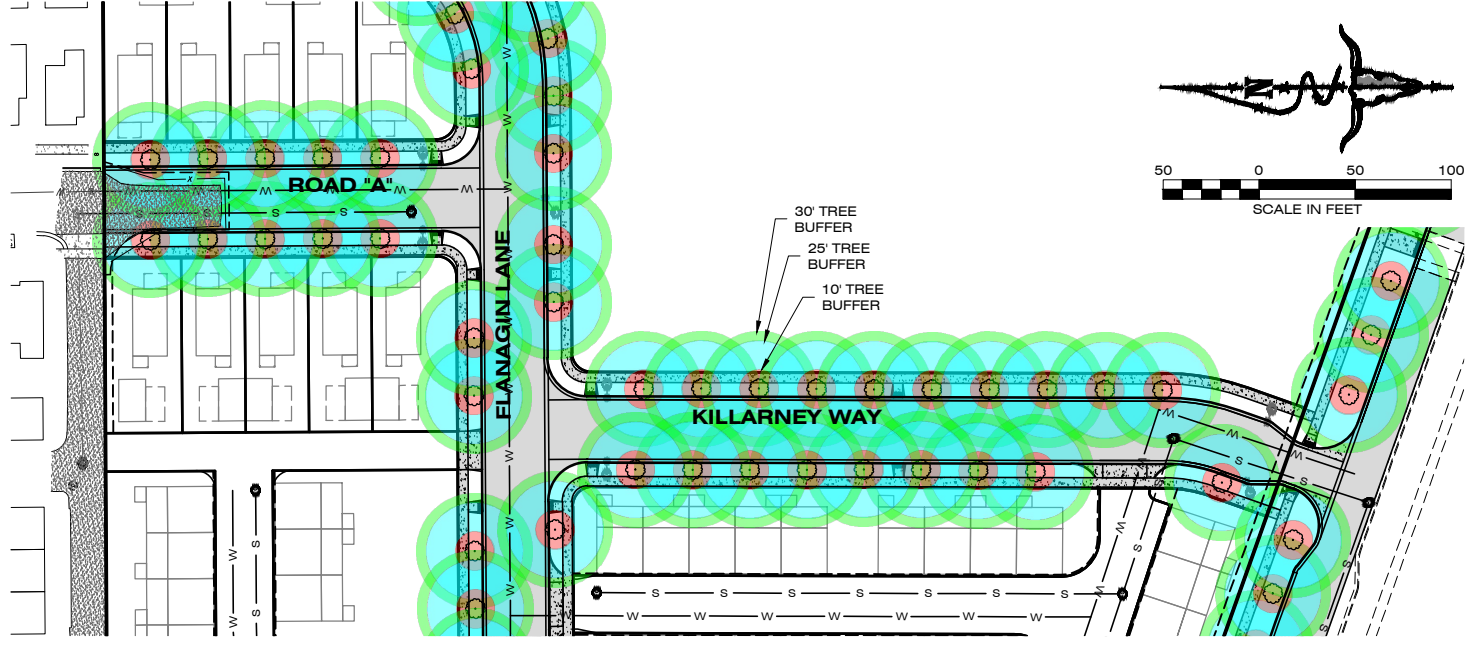
Approved by: _____ Drawn by: GLS
 Parks & Rec. Design Mgr. Checked by: CB
 Neil Miner Adopted: _____

PR-101

- GENERAL NOTES:**
- LOCATE UTILITIES BEFORE PLANTING TREES. NOTIFY MONTANA UTILITY NOTIFICATION CENTER (PHONE #811) PRIOR TO ANY EXCAVATION.
 - TREES SHALL BE CENTERED BETWEEN BACK OF CURB AND FACE OF SIDEWALK.
 - OPTIMAL TREE SPACING MAY BE MODIFIED TO ACCOMMODATE FUTURE DRIVEWAYS AND EXACT LOCATION OF UTILITIES.
 - STREET TREES SHALL BE PLANTED WITHIN SIX (6) MONTHS OF COMPLETION OR OCCUPANCY OF PRIMARY STRUCTURE ERECTED ON ANY LOT, WHICHEVER OCCURS FIRST. BUILDER OR DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF TOPSOIL AND IRRIGATION IN BOULEVARD AREA FRONTING LOTS.
 - CITY OF MISSOULA REQUIRES A PERMIT FOR INSTALLATION OF BOULEVARD TREES. SEE CITY OF MISSOULA STREET TREE ORDINANCE CITY MUNICIPAL CODE 12.32.

PLANT SCHEDULE

TREE KEY	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	COMMENTS
	25 EA	CELTIS OCCIDENTALIS X LAEVIGATA 'MAGNIFICA' MAGNIFICA HACKBERRY SPACING 30' O.C. OR AS SHOWN	2" CAL.	B&B	SINGLE-STEM
		TILIA CORDATA GREENSPIRE LITTLE DEN SPACING 30' O.C. OR AS SHOWN		B&B	FULL-BRANCHED, FULL CANOPY
		GLEDITSIA TRIACANTALIS TRUE SHADE HOPE SPACING 30' O.C. OR AS SHOWN		B&B	FULL-BRANCHED
		TILIA AMERICANA AMERICAN LINDEN SPACING 30' O.C. OR AS SHOWN	2"	B&B	FULL-BRANCHED, CENTRAL LEADER
		GINKGO BILOBA 'SARATOGA' GINKGO SARATOGA SPACING 30' O.C. OR AS SHOWN		B&B	WELL-BRANCHED
	21 EA	GYMNOCLADUS DIOICUS KENTUCKY COFFEE TREE SPACING 30' O.C. OR AS SHOWN	2" CAL.	B&B	WELL-BRANCHED



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DATE:	APR., 2023

LOCATION:
 TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18., T13N., R19W., P.M.M.
 MISSOULA COUNTY

PREPARED FOR:
 MIRAMONTE HOMES

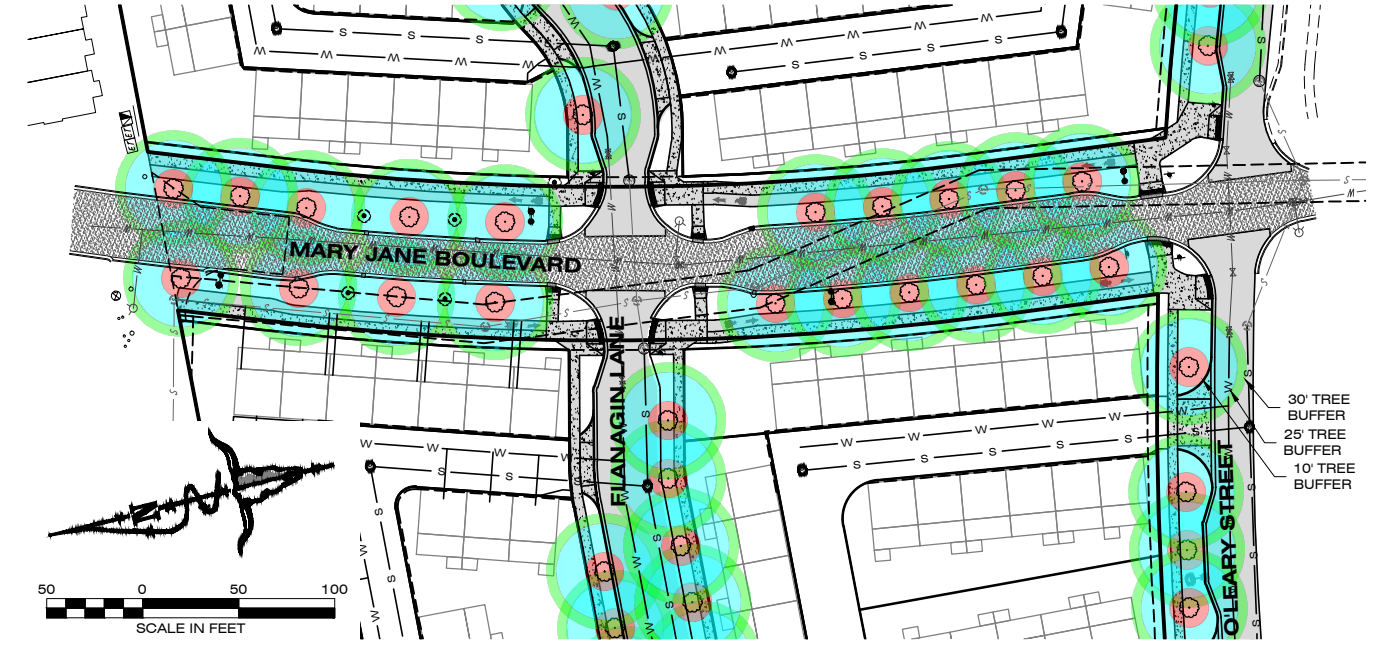
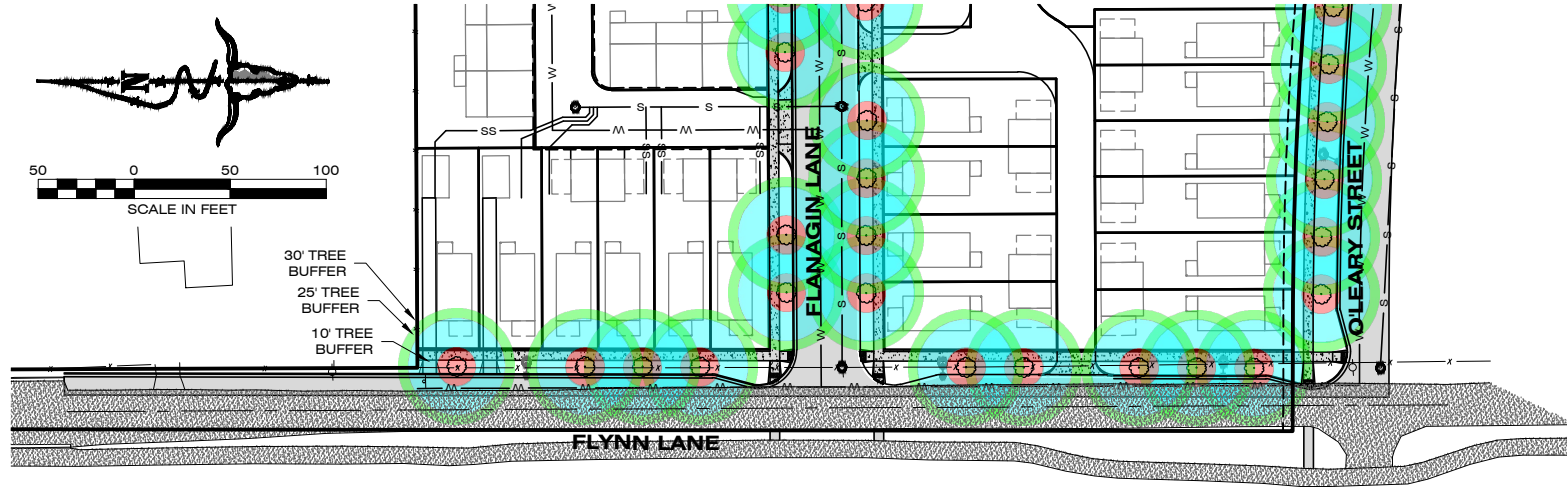
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 ON MARY JANE

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 GRADING, DRAINAGE, AND ROAD PLANS
 BOULEVARD TREE PLAN

PROJECT NO.
 22000700.01

SHEET:
 11 OF 20

STAGE 2



STAGE 2

PROJECT NO.
22000700.01

SHEET:
12 OF 20

PROJECT NAME
MISSOULA LOFT HOMES
ON MARY JANE

SHEET TITLE:
GRADING, DRAINAGE, AND ROAD PLANS
BOULEVARD TREE PLAN

LOCATION:
TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
SEC. 18, T13N., R19W., P.M.M.
MISSOULA COUNTY

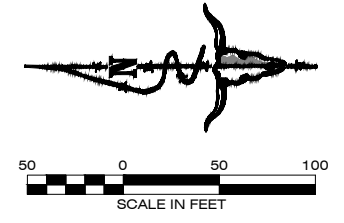
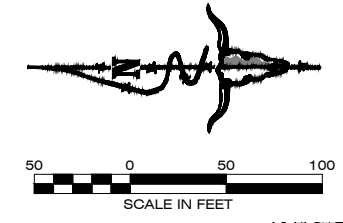
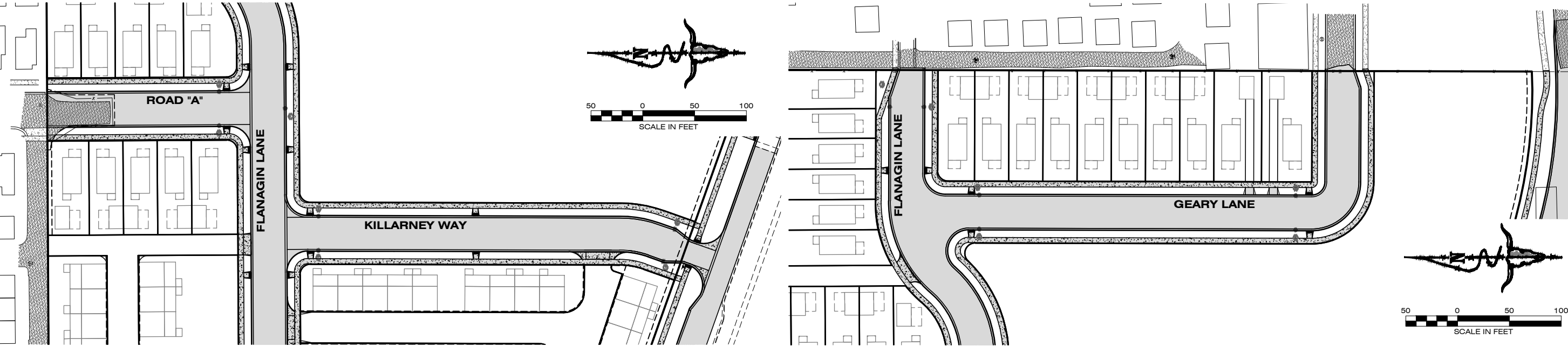
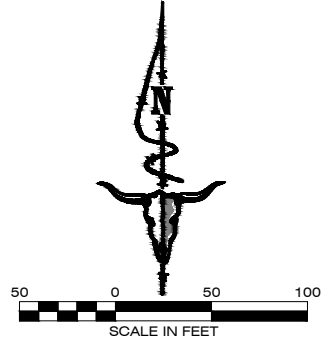
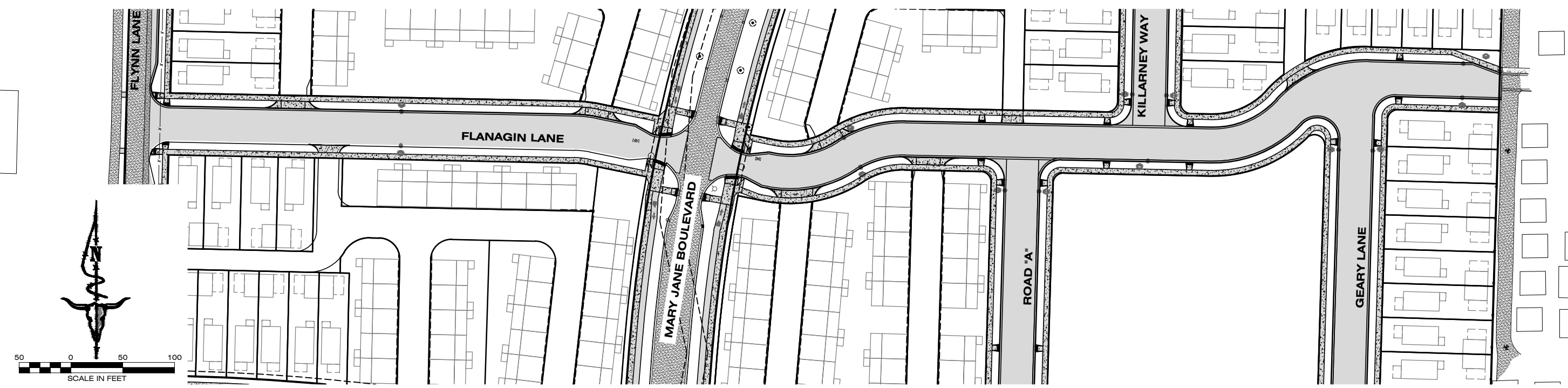
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MIRAMONTE
HOMES

REVISIONS

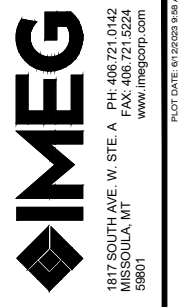
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LOCATION:
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MARY JANE BOULEVARD
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MISSOULA COUNTY

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HOMES

PROJECT NAME
MISSOULA LOFT HOMES
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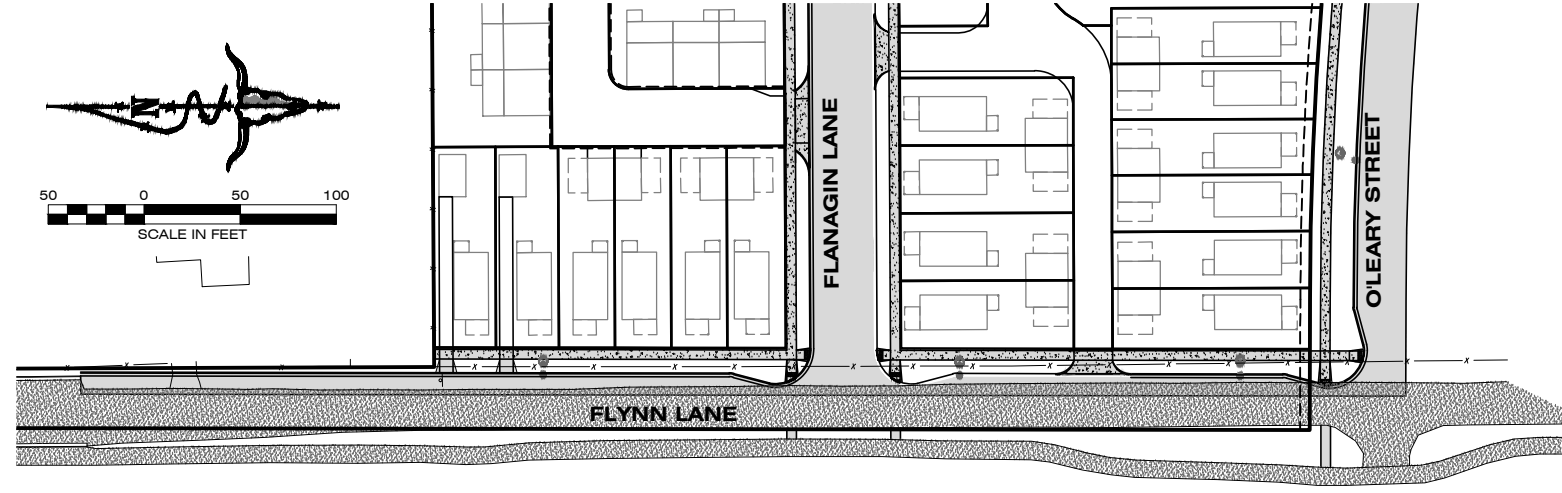
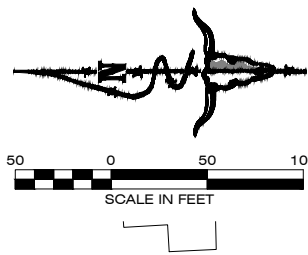
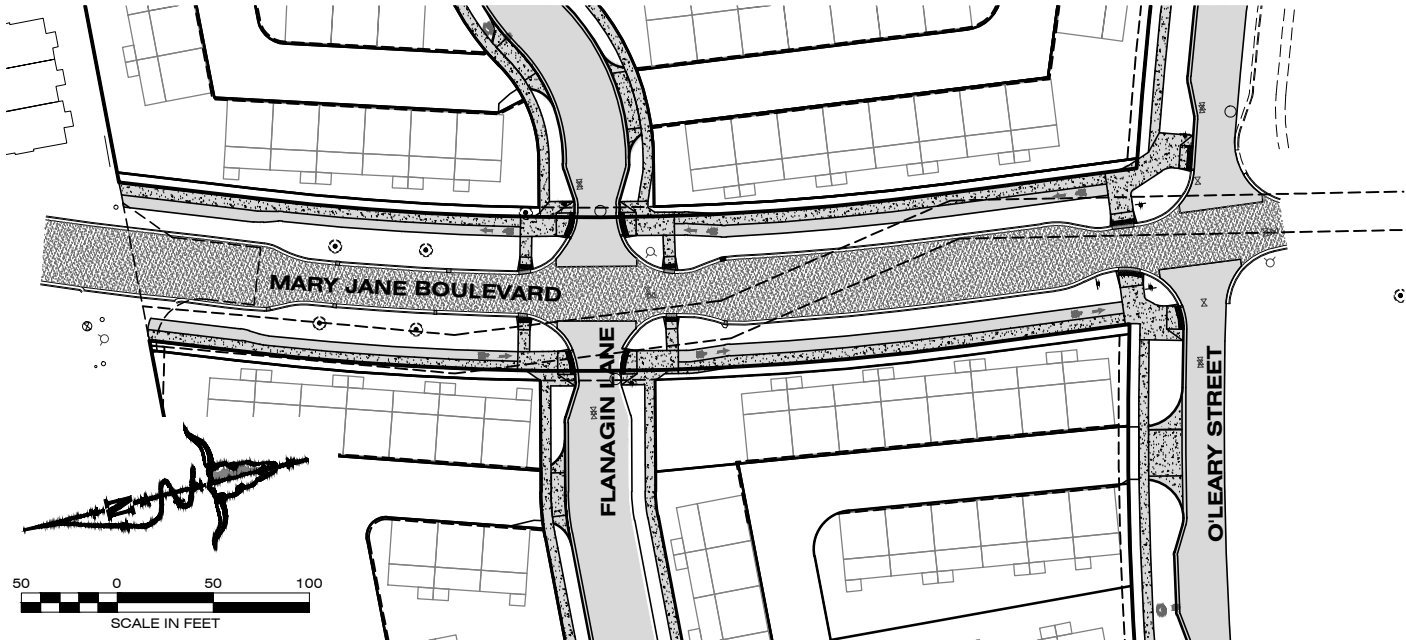
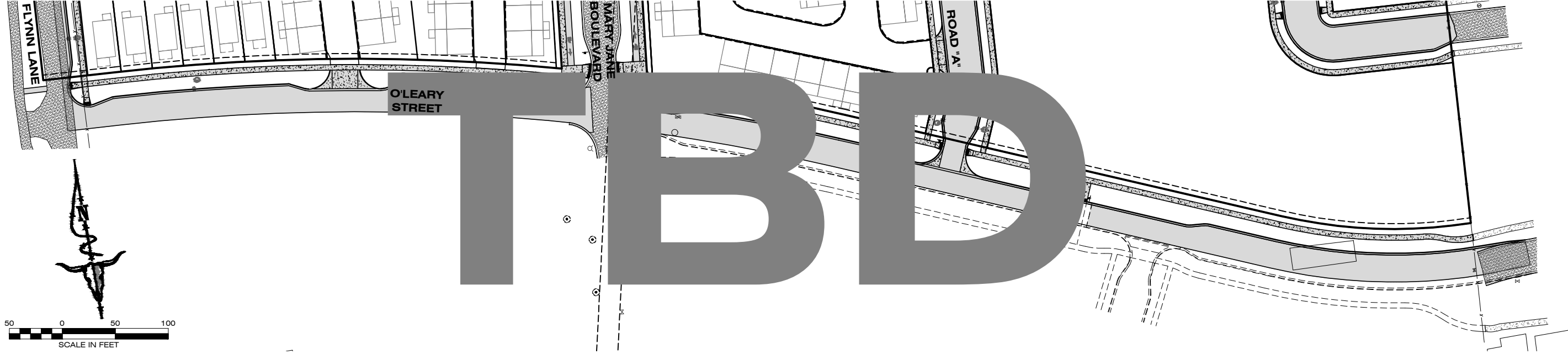
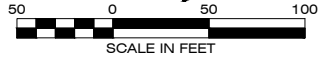
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GRADING, DRAINAGE, AND ROAD PLANS
SIGNAGE AND STRIPING PLAN

PROJECT NO.
22000700.01

SHEET:
13 OF 20

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PROJECT NO.
22000700.01

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14 OF 20

PROJECT NAME
MISSOULA LOFT HOMES
ON MARY JANE

SHEET TITLE
GRADING, DRAINAGE, AND ROAD PLANS
SIGNAGE AND STRIPING PLAN

LOCATION:
TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
SEC. 18, T13N., R19W., P.M.M.
MISSOULA COUNTY

PREPARED FOR:
MIRAMONTE
HOMES

REVISIONS

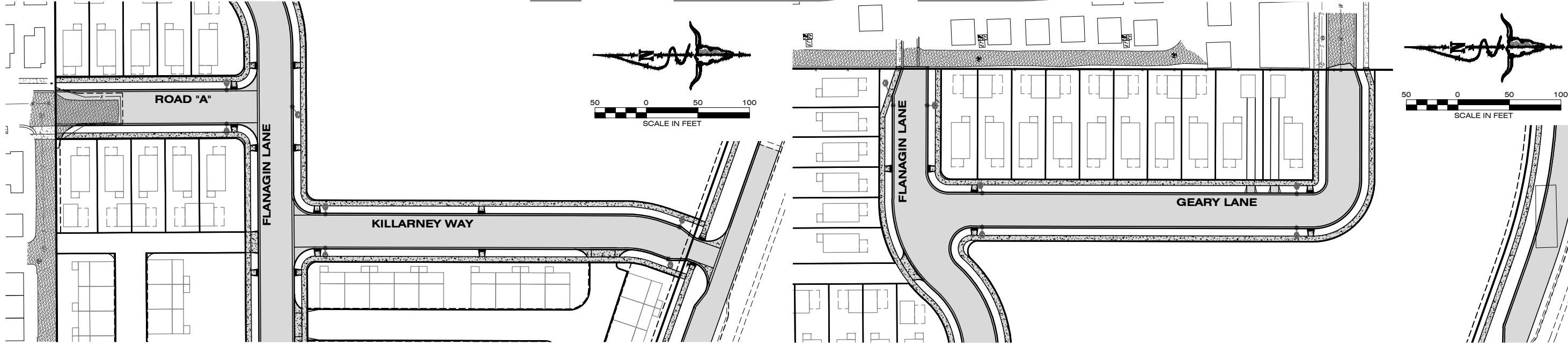
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DATE:	APR., 2023

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18, T13N., R19W., P.M.M.
 MISSOULA COUNTY

PREPARED FOR: MIRAMONTE HOMES

PROJECT NAME: MISSOULA LOFT HOMES ON MARY JANE

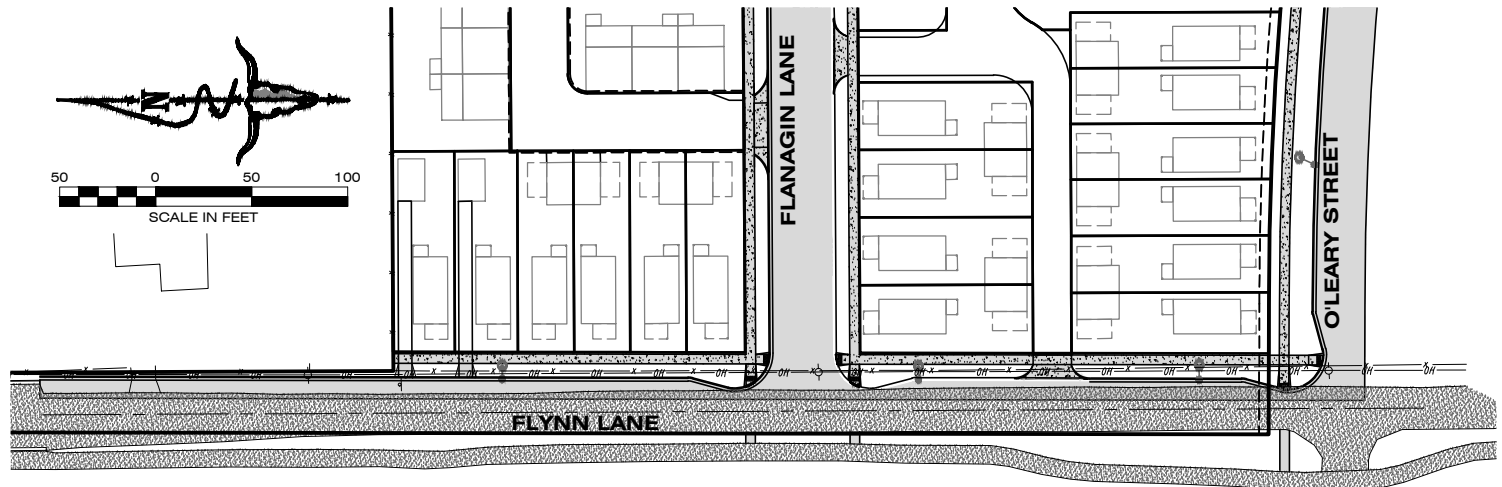
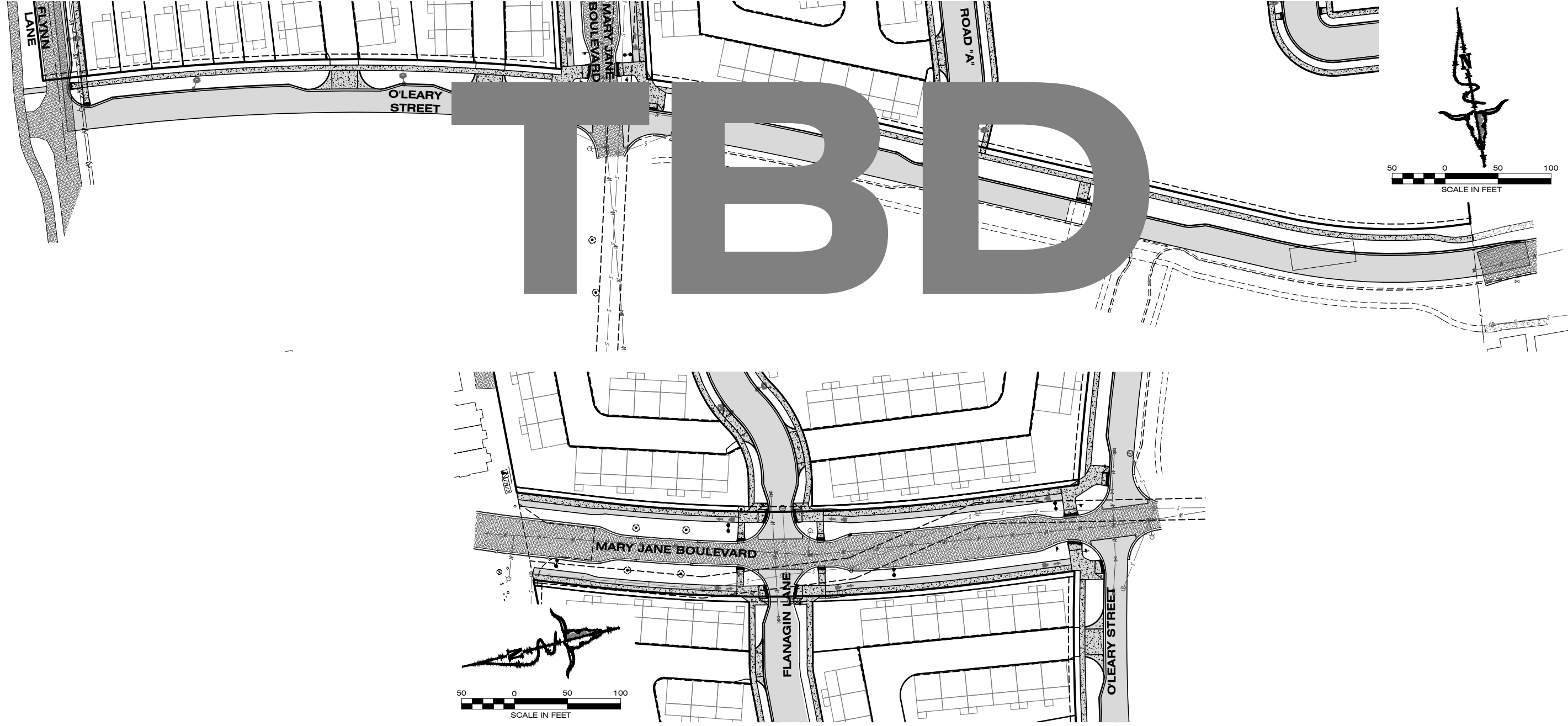
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PROJECT NO. 22000700.01

SHEET: 15 OF 20

STAGE 2

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PROJECT NO.
22000700.01

SHEET:
16 OF 20

PROJECT NAME
MISSOULA LOFT HOMES
ON MARY JANE

SHEET TITLE:
GRADING, DRAINAGE, AND ROAD PLANS
DRY UTILITY SHEET

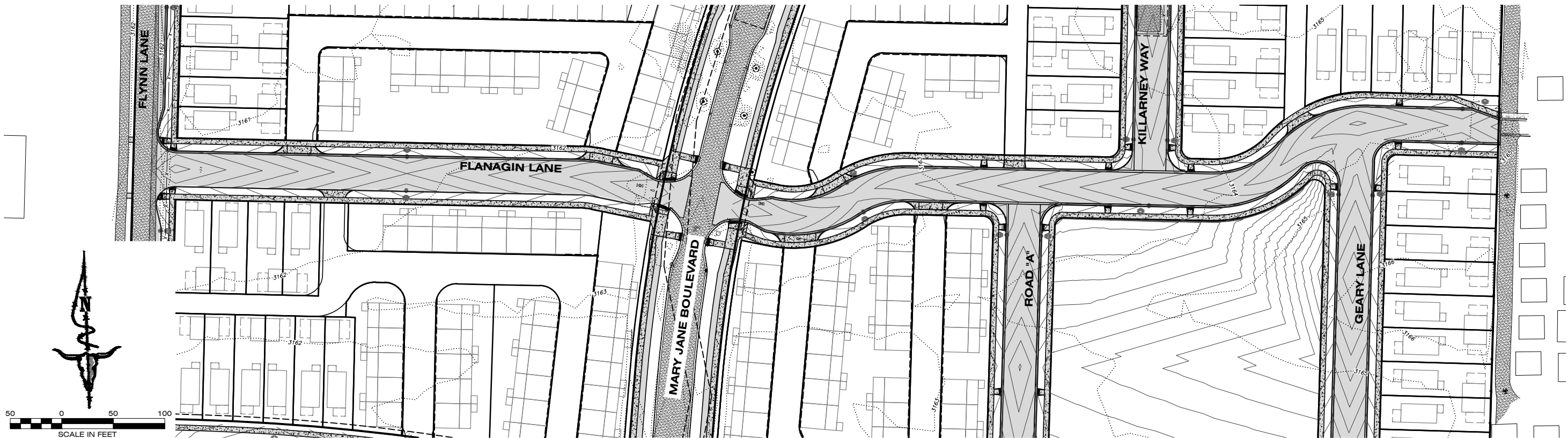
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TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
SEC. 18, T13N., R19W., P.M.M.
MISSOULA COUNTY

PREPARED FOR:
MIRAMONTE
HOMES

DESIGNED: *XX*
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DATE: *APR., 2023*

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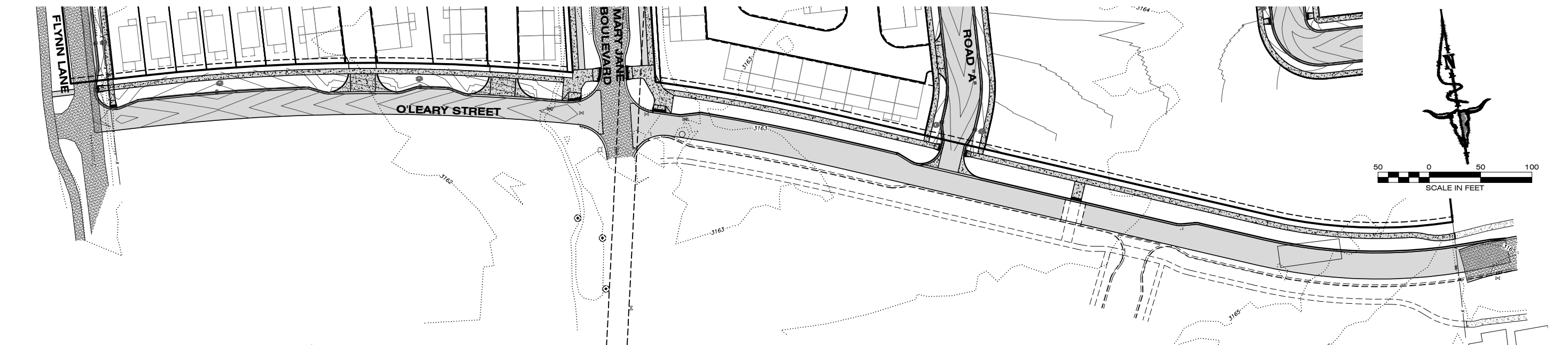
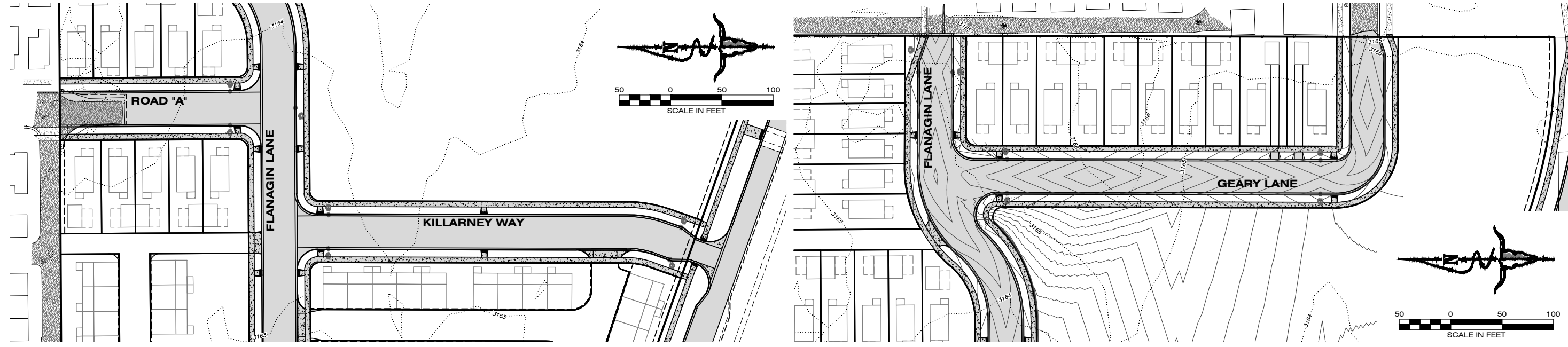


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STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

- CONTRACTOR IS TO BE FAMILIAR WITH THE REQUIREMENTS OF SECTION 402(P) OF THE FEDERAL CLEAN WATER ACT AND REGULATIONS ADOPTED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA). (AMENDMENTS TO TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 122, PUBLISHED IN THE FEDERAL REGISTER ON NOVEMBER 16, 1990 AND ON APRIL 2, 1992.) ALSO, DEQ 1200-C PERMIT FOR THE CONTROL OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR IS TO BE FAMILIAR WITH ALL REQUIREMENTS OF THE SWPPP.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION AND MONTANA DEQ FOR EROSION AND SEDIMENT CONTROL.
- THE TEMPORARY POLLUTION CONTROL SYSTEM SHALL BE INSTALLED PRIOR TO ALL OTHER CONSTRUCTION.
- ALL EQUIPMENT MAINTENANCE AND RE-FUELING SHALL BE CONDUCTED IN A SAFE MANNER AND SPILL KITS SHALL BE MAINTAINED ON-SITE TO CLEAN ANY SPILLS THAT MAY OCCUR.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES (BMP'S), SUCH AS VEGETATIVE COVER, MULCHING, PLASTIC COVERING OR APPLICATION OF GRAVEL SURFACES IN AREAS TO BE GRAVELED. NO EXPOSED AND UNWORKED SOILS SHALL REMAIN UNSTABILIZED. ONCE CONSTRUCTION ACTIVITY IS COMPLETED IN AN AREA BETWEEN THE MONTHS OF OCTOBER 1 AND APRIL 30, PERMANENT SEEDING SHALL BE INSTALLED.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER TRASH RECEPTACLES AND PORTABLE TOILETS ON-SITE AS WELL AS THE REGULAR MAINTENANCE OF THESE FACILITIES.
- ALL CLEARING LIMITS AND/OR EASEMENT SETBACKS, SENSITIVE CRITICAL AREAS AND THEIR BUFFERS, SIGNIFICANT TREES AND DRAINAGE COURSES SHALL BE CLEARLY STAKED AND MARKED AS SHOWN ON PLANS.
- PROPERTIES ADJACENT TO THE PROJECT SITE THAT ARE SUBJECT TO POTENTIAL EROSION CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION THROUGH THE USE OF SILT FENCE, HAY BALES OR OTHER BMP SELECTED BY THE CONTRACTOR.
- ALL FACILITIES INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY LAND DISTURBING ACTIVITIES TAKE PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIME PERIOD STATED IN #6 ABOVE.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ALL SLOPES SHALL BE STABILIZED WITHIN THE TIME PERIOD STATED IN #6 ABOVE.
- ALL STORM DRAINAGE INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED WITH A GRAVEL INTAKE FILTER TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. THE FILTER MUST BE INSPECTED REGULARLY AND CLEANED WHEN NECESSARY.
- THE FOLLOWING SHALL APPLY TO CONSTRUCTION OF UTILITY LINES:
 - WHERE FEASIBLE, NO MORE THAN 500' OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DEWATERING DEVICES SHALL DISCHARGE AND SHALL REMAIN ON-SITE AND IN NO WAY ENTER PUBLIC PROPERTY OR WATERWAY.
- WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED (SEE DETAIL SHEET) TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. A MINIMUM OF ONE (1) ON-SITE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
- CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT ON-SITE UNLESS A PROPERLY CONSTRUCTED CONCRETE TRUCK WASHOUT AREA IS CONSTRUCTED AND MAINTAINED.
- ALL TRUCKS USED TO HAUL EXCAVATED SOILS FROM THE SITE SHALL BE INSPECTED AND SWEEPED CLEAN OF LOOSE SOIL PRIOR TO LEAVING THE SITE.
- FUEL, LUBRICANTS AND OTHER FLUIDS REQUIRED FOR THE MAINTENANCE OF THE EQUIPMENT SHALL NOT BE STORED ON-SITE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
- ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER OR THE SITE.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED USE. ALL ON-SITE EROSION AND CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT EQUAL TO OR GREATER THAN 0.25" OF RAIN PER 24 HOUR PERIOD. AN INSPECTION REPORT FILE SHALL BE MAINTAINED BY THE CONTRACTOR AND KEPT ON-SITE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL TEMPORARY SEDIMENT PONDS/TRAPS AS SITE CONDITIONS REQUIRE. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SILT FENCING, SEDIMENT PONDS/TRAPS, DIVERSION SWALES, CHECK DAMS, SEDIMENT BARRIERS, FILTER FABRIC MULCH AND SEEDING, AS CONDITIONS REQUIRE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.
- BMP'S TO LIMIT DISTURBANCE AND VEGETATIVE BUFFER AROUND LIMITS OF DISTURBANCE WHERE PRACTICAL.
- CONTRACTOR TO PROVIDE SWPPP PACKET AND DEQ NOI CONFIRMATION LETTER TO CITY OF MISSOULA AND ACQUIRE CITY OF MISSOULA SWPPP PERMIT PRIOR TO ANY EARTH DISTURBING ACTIVITIES.
- SWPPP INSPECTION RECORDS, NOT, AND NOT CONFIRMATION LETTER SHALL BE PROVIDED TO THE CITY OF MISSOULA AFTER THE PROJECT HAS REACHED FINAL STABILIZATION TO CLOSE OUT CITY PERMIT.
- PUBLIC SIGNAGE IS REQUIRED PER SECTION 1.2.3 OF GENERAL PERMIT.

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IMEG
 1817 SOUTH AVE. W. STE. A PH: 406.721.0142
 MISSOULA, MT FAX: 406.721.5224
 www.imegcorp.com 59801

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DATE:	APR., 2023

LOCATION:
 TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 SEC. 18, T13N., R19W., P.M.M.
 MISSOULA COUNTY
 MISSOULA, MONTANA

PREPARED FOR:
 MIRAMONTE
 HOMES

PROJECT NAME
 MISSOULA LOFT HOMES
 ON MARY JANE

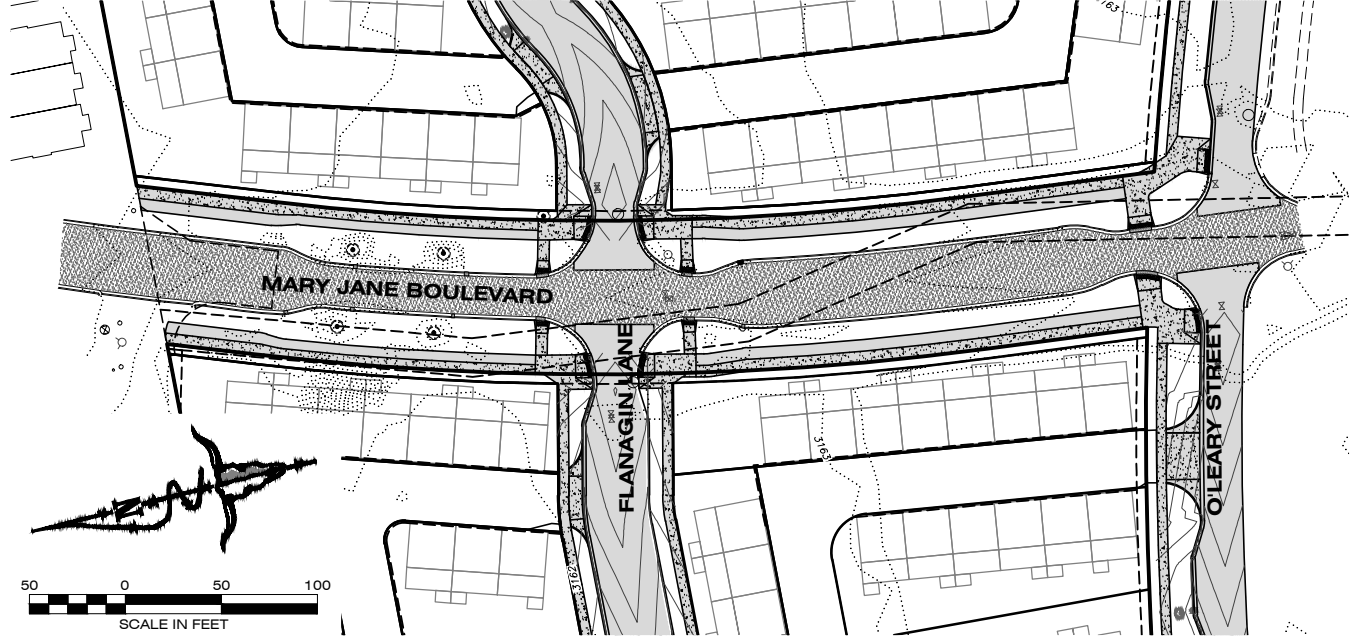
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PROJECT NO.
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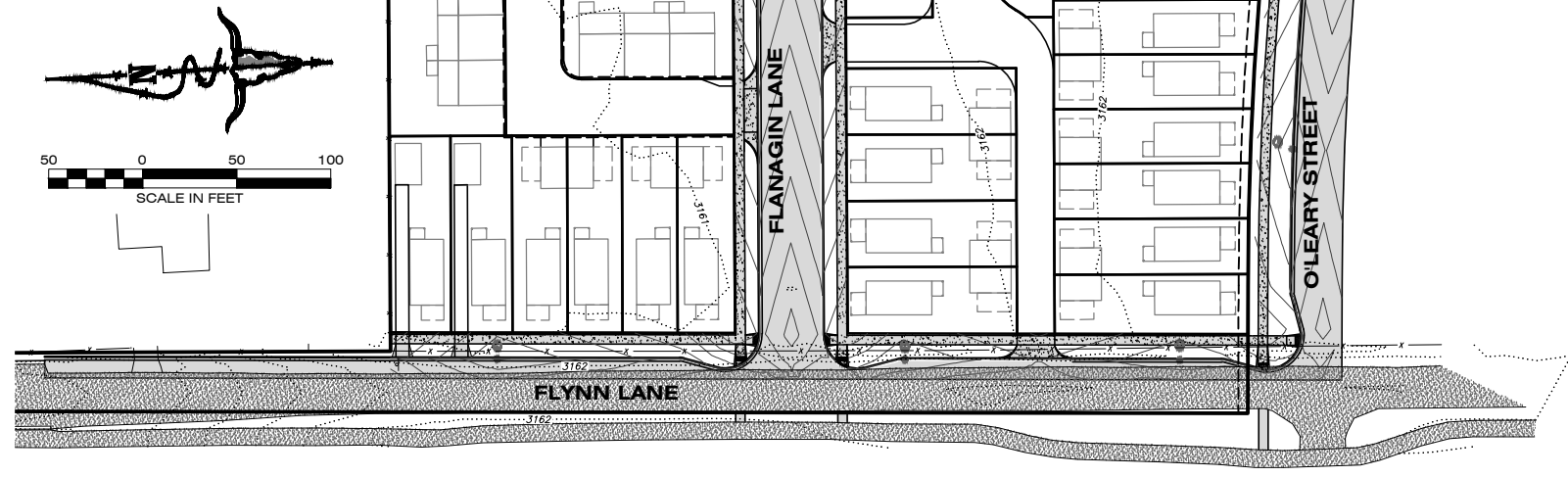
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PROJECT NO.
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19 OF 20

PROJECT NAME
MISSOULA LOFT HOMES
ON MARY JANE

SHEET TITLE:
GRADING, DRAINAGE, AND ROAD PLANS
SWPP PLAN

LOCATION:
TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
SEC. 18, T13N., R19W., P.M.M.
MISSOULA COUNTY

PREPARED FOR:
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HOMES

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PROJECT NO.
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PROJECT NAME
MISSOULA LOFT HOMES
ON MARY JANE

LOCATION:
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MARY JANE BOULEVARD
SEC. 18, T13N., R19W., P.M.M.
MISSOULA COUNTY

SHEET:
20 OF 20

SHEET TITLE:
GRADING, DRAINAGE, AND ROAD PLANS
ROAD CROSS SECTIONS

PREPARED FOR:
MIRAMONTE
HOMES

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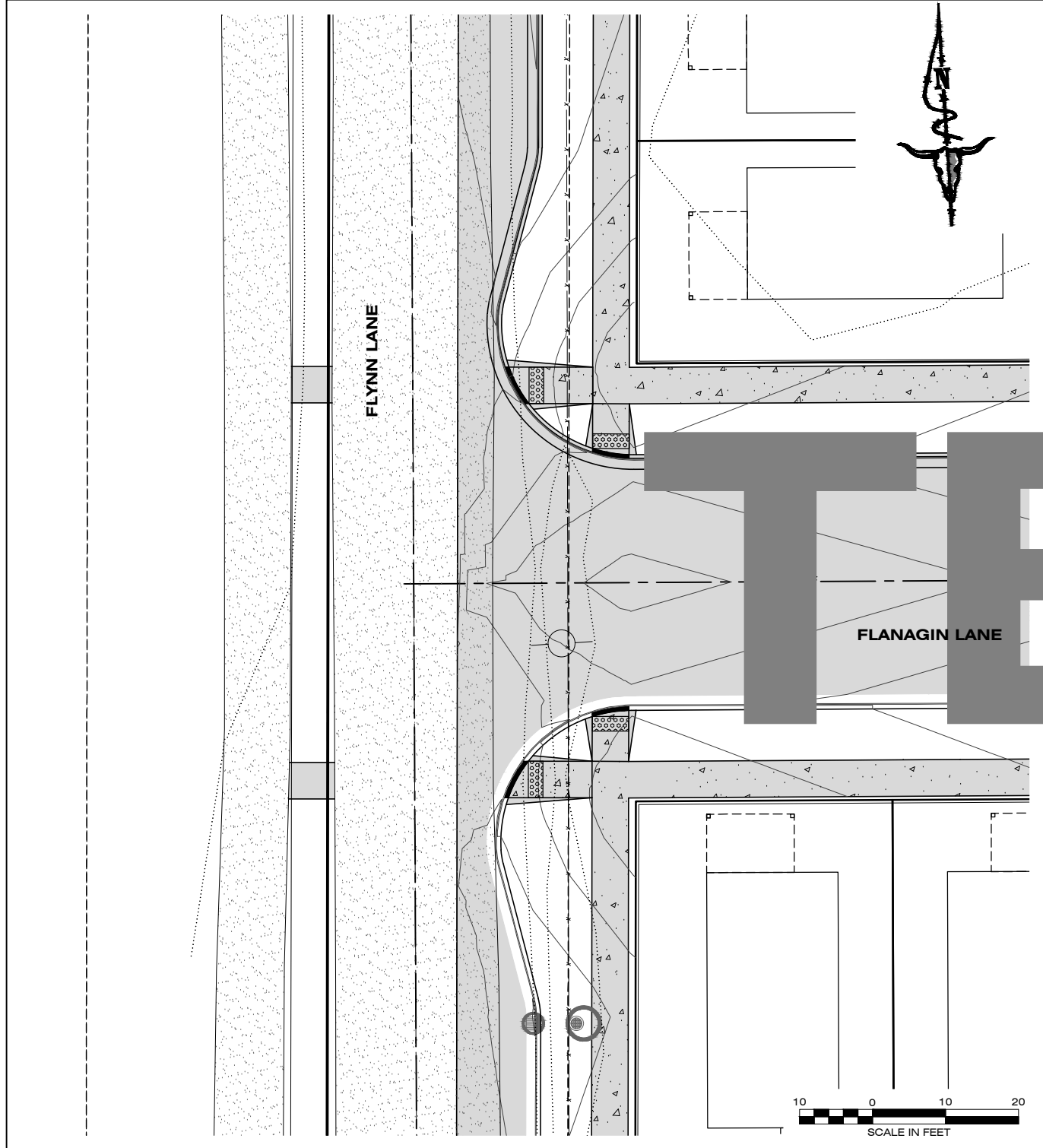
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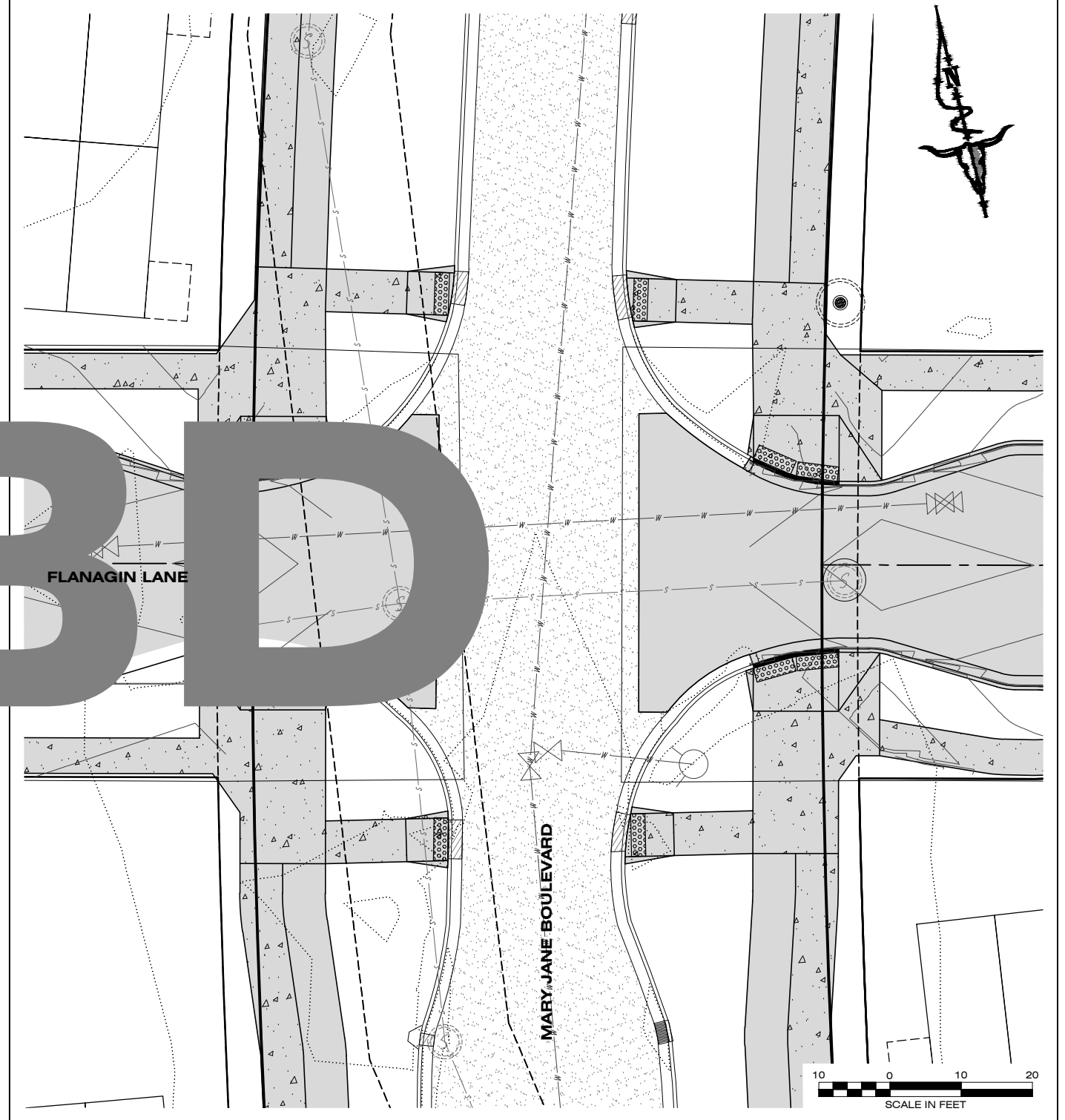
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MISSOULA, MT 59801
PH: 406.721.0142
FAX: 406.721.5224
www.imegcorp.com



A FLYNN AND FLANAGIN INTERSECTION DETAIL
SCALE AS NOTED



B FLANAGIN AND MARY JANE INTERSECTION DETAIL
SCALE AS NOTED

NOTE:
GRADES IN ADA LANDINGS REPRESENT
MAXIMUM SLOPE IN ANY DIRECTION

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DESIGNED:	XX
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CHECKED:	XX
DATE:	APR., 2023

LOCATION:
TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
S. 18, T13N., R19W., P.M.M.
MISSOULA COUNTY

PREPARED FOR:
MIRAMONTE HOMES

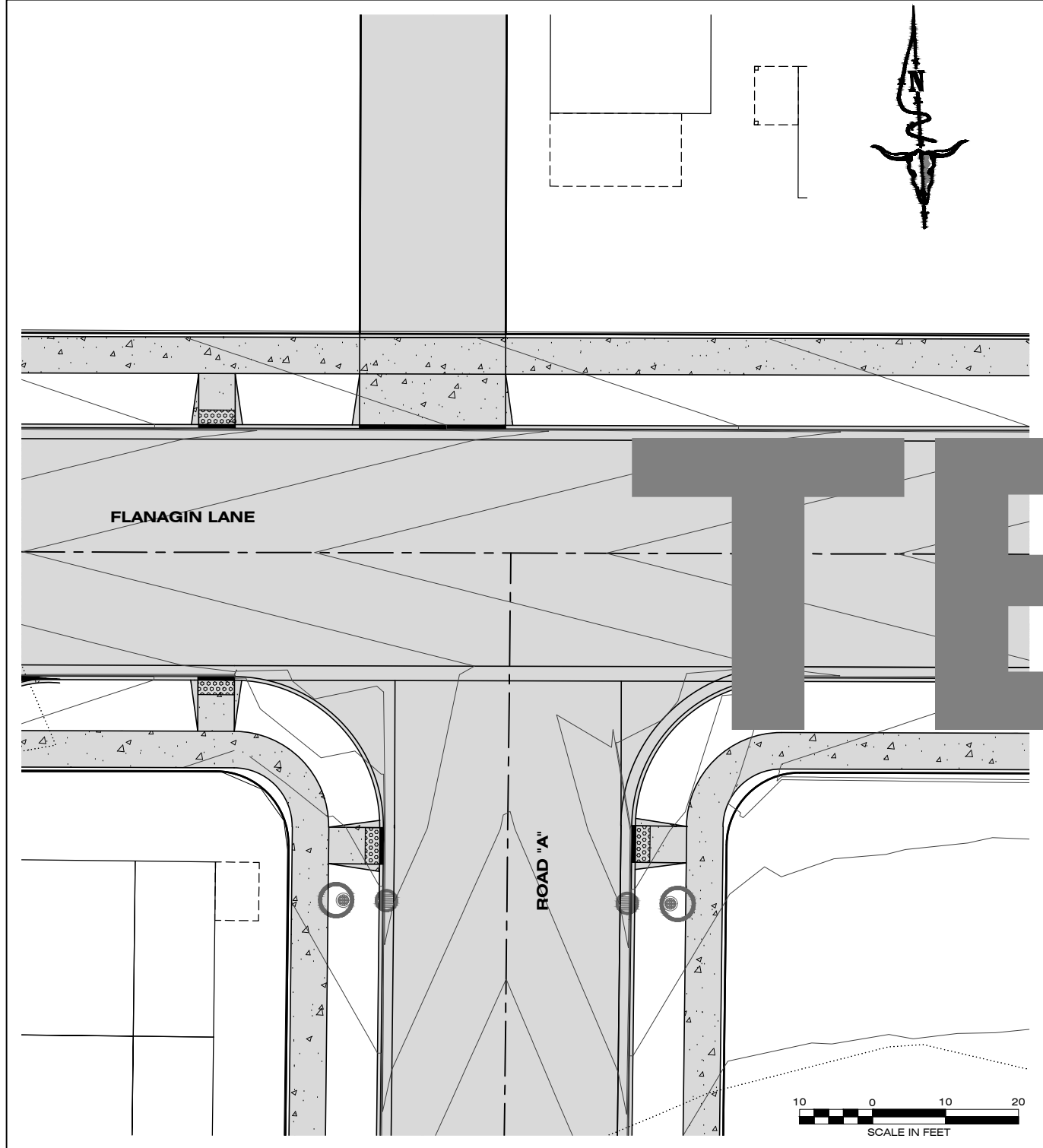
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ON MARY JANE

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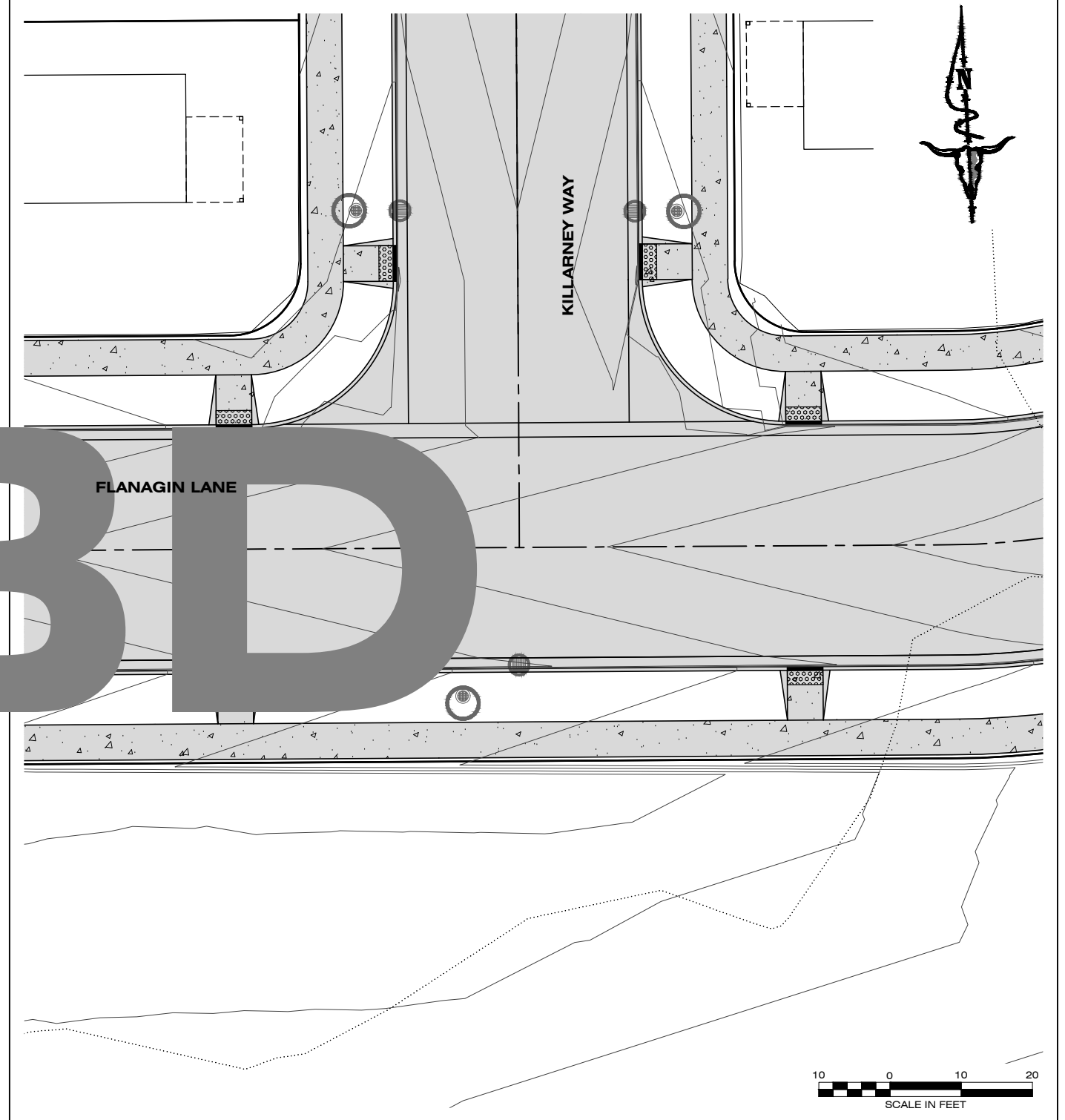
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D1 OF D9

STAGE 2



A FLANAGIN AND ROAD "A" INTERSECTION DETAIL
SCALE AS NOTED



B FLANAGIN AND KILLARNEY INTERSECTION DETAIL
SCALE AS NOTED

NOTE:
GRADES IN ADA LANDINGS REPRESENT
MAXIMUM SLOPE IN ANY DIRECTION

REVISIONS	DATE

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CHECKED: *XX*
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TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
S. 18., T13N., R19W., P.M.M.
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MISSOULA LOFT HOMES
ON MARY JANE

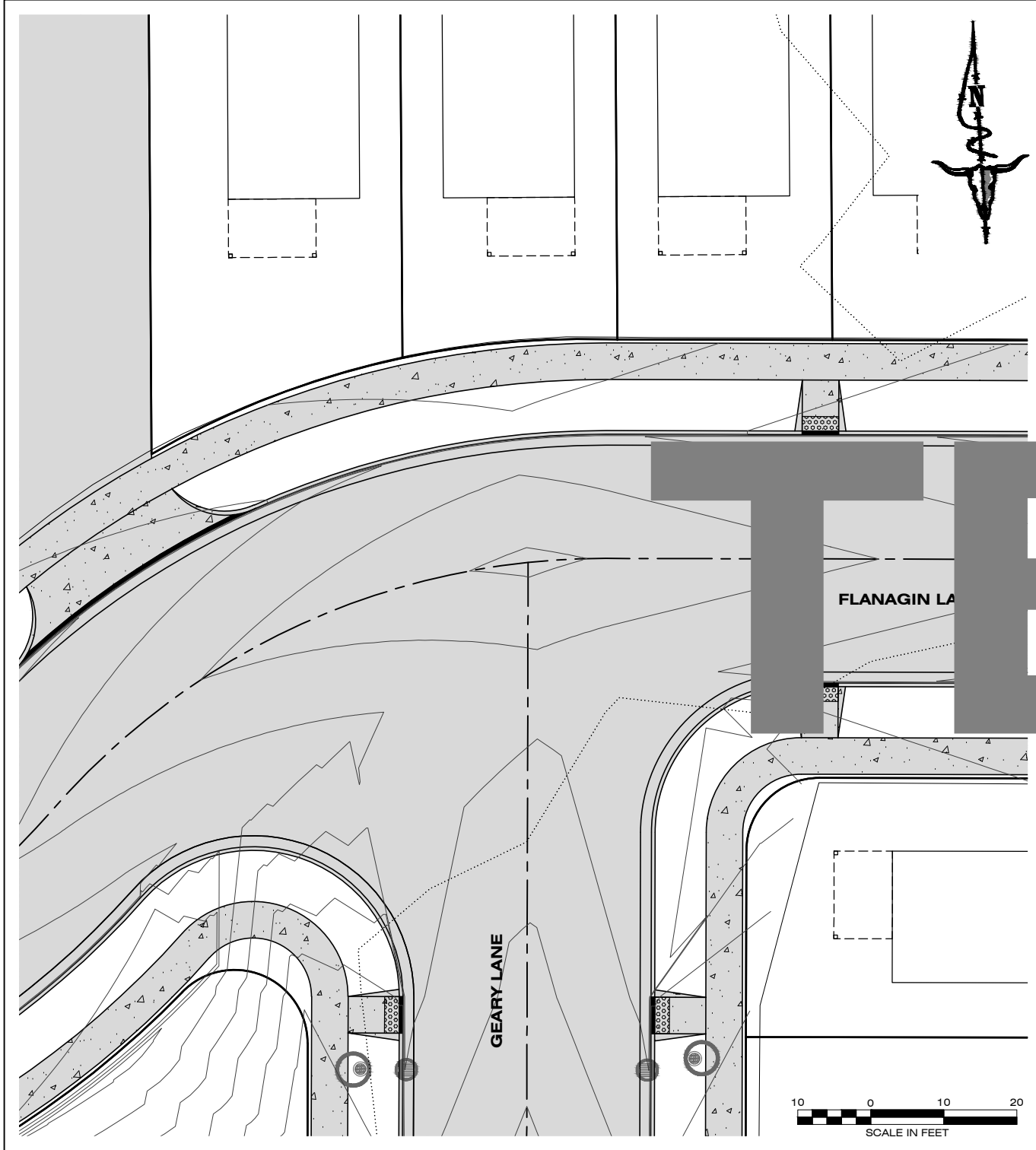
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GRADING, DRAINAGE, AND ROAD PLANS
DETAIL SHEET

PROJECT NO.
22000700.01

SHEET:
D2 OF D9

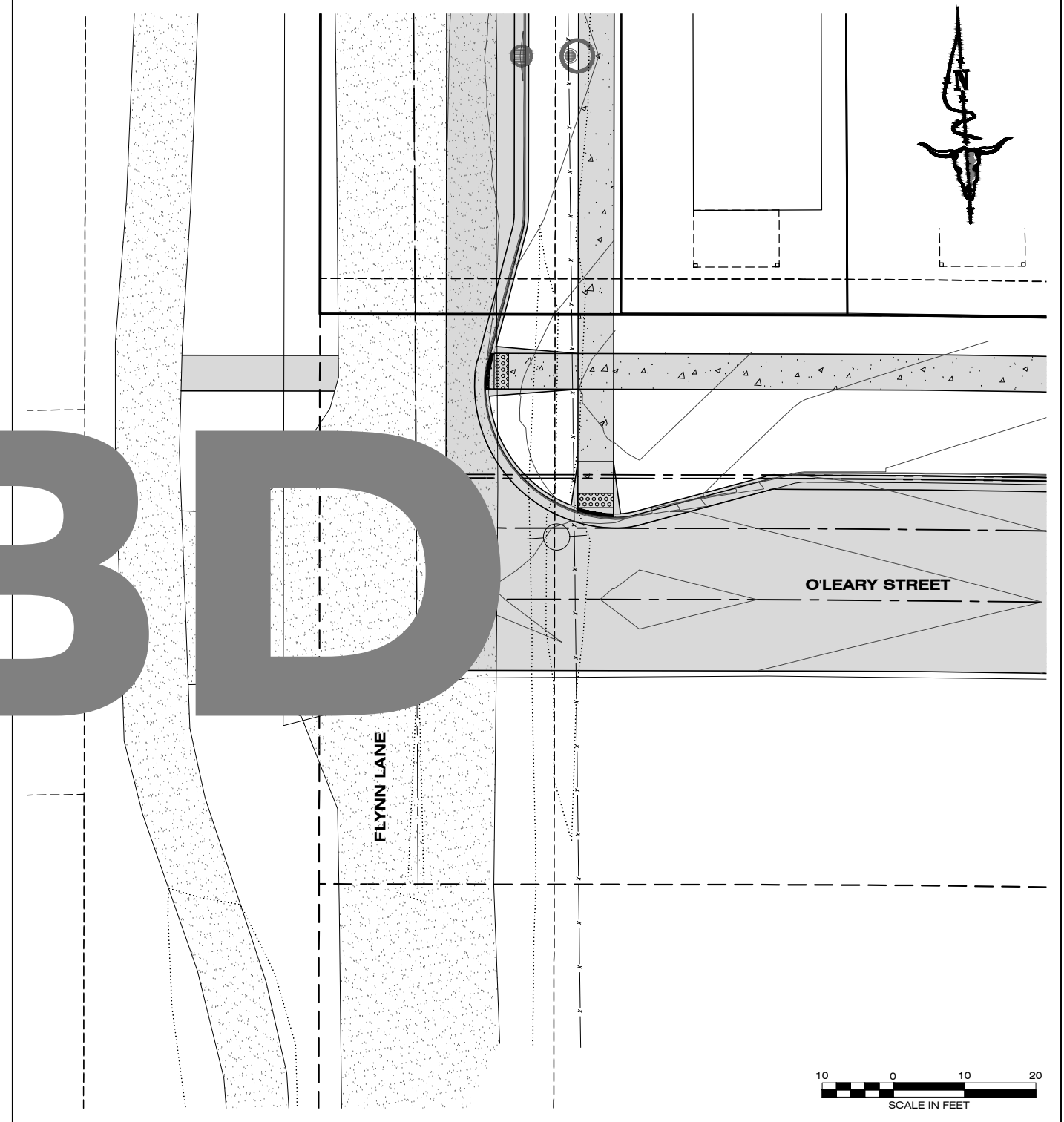
STAGE 2

D:\MS\LOCATION\GIS\22000700.01\DESIGN\CONV\22000700.DWG 22000700.DETAILED.DWG



A FLANAGIN AND GEARY INTERSECTION DETAIL

SCALE AS NOTED



B FLYNN AND O'LEARY INTERSECTION DETAIL

SCALE AS NOTED

NOTE:
GRADES IN ADA LANDINGS REPRESENT
MAXIMUM SLOPE IN ANY DIRECTION

DATE

REVISIONS

DESIGNED: *XX*
DRAFTED: *DO*
CHECKED: *XX*
DATE: *APR, 2023*

LOCATION:
TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
S. 18, T13N., R19W., P.M.M.
MISSOULA COUNTY

PREPARED FOR:
MIRAMONTE
HOMES

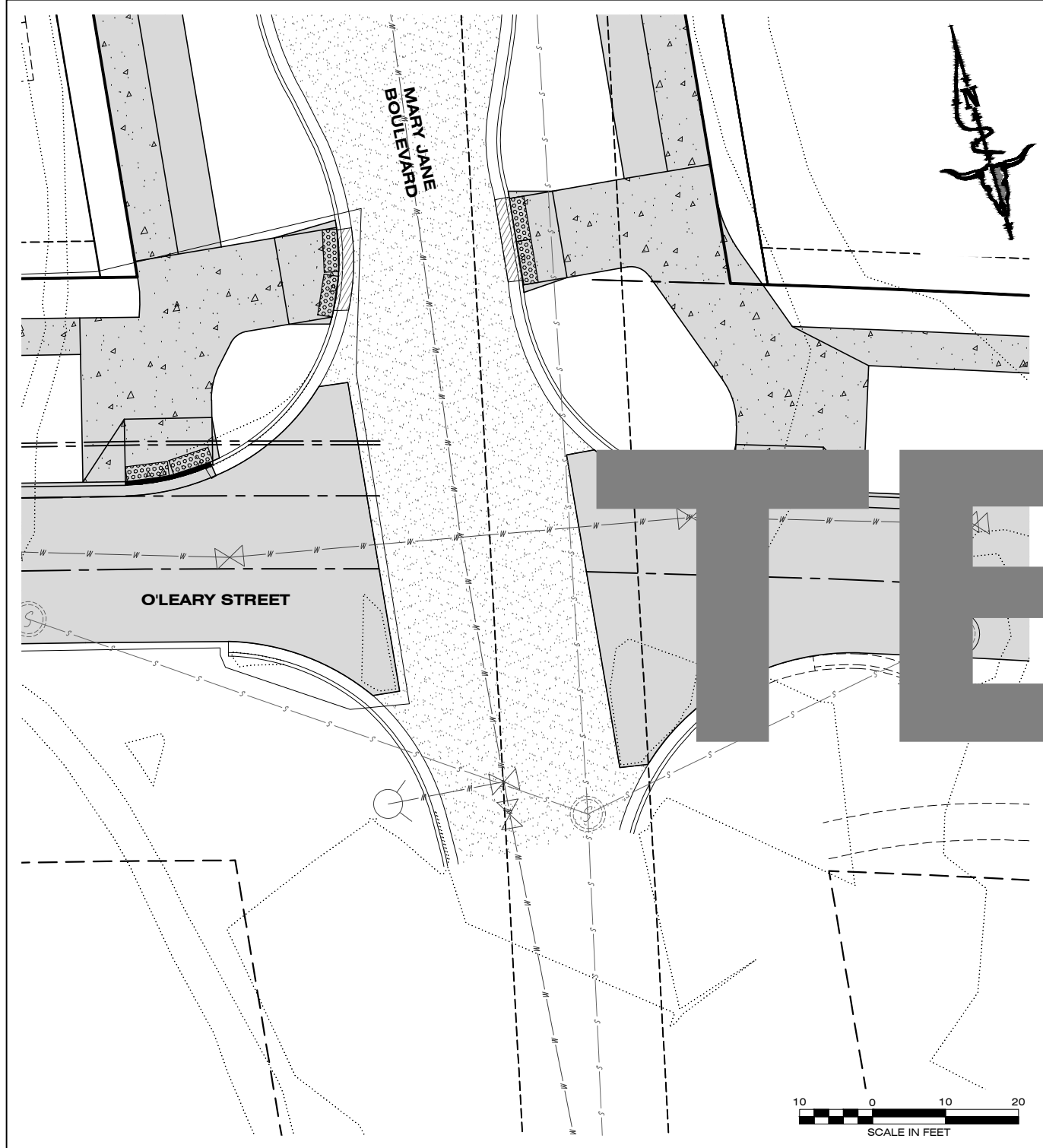
PROJECT NAME
MISSOULA LOFT HOMES
ON MARY JANE

SHEET TITLE:
GRADING, DRAINAGE, AND ROAD PLANS
DETAIL SHEET

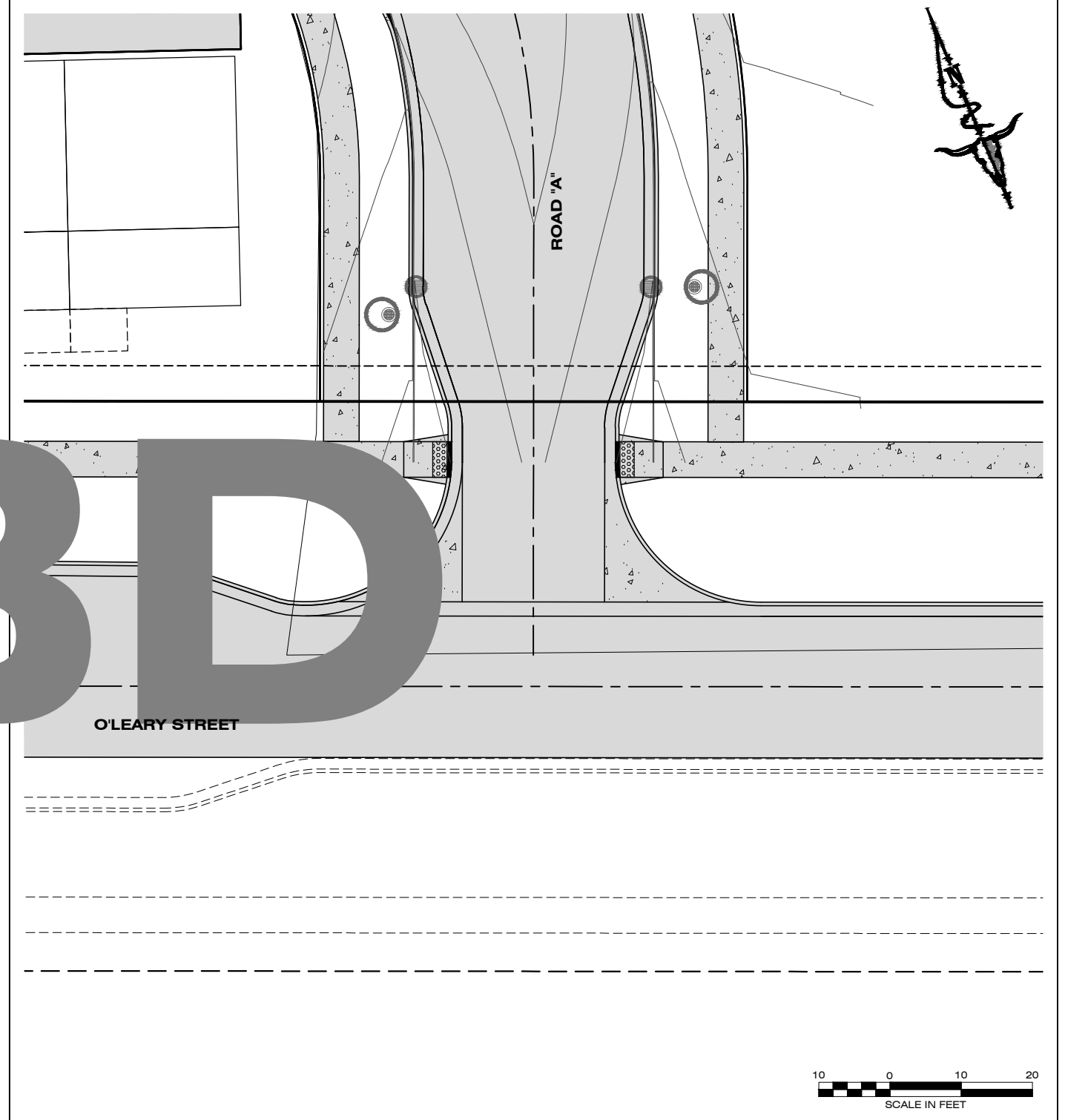
PROJECT NO.
22000700.01

SHEET:
D3 OF D9

STAGE 2



A O'LEARY AND MARY JANE INTERSECTION DETAIL
SCALE AS NOTED



B O'LEARY AND ROAD "A" INTERSECTION DETAIL
SCALE AS NOTED

NOTE:
GRADES IN ADA LANDINGS REPRESENT
MAXIMUM SLOPE IN ANY DIRECTION

REVISIONS	DATE

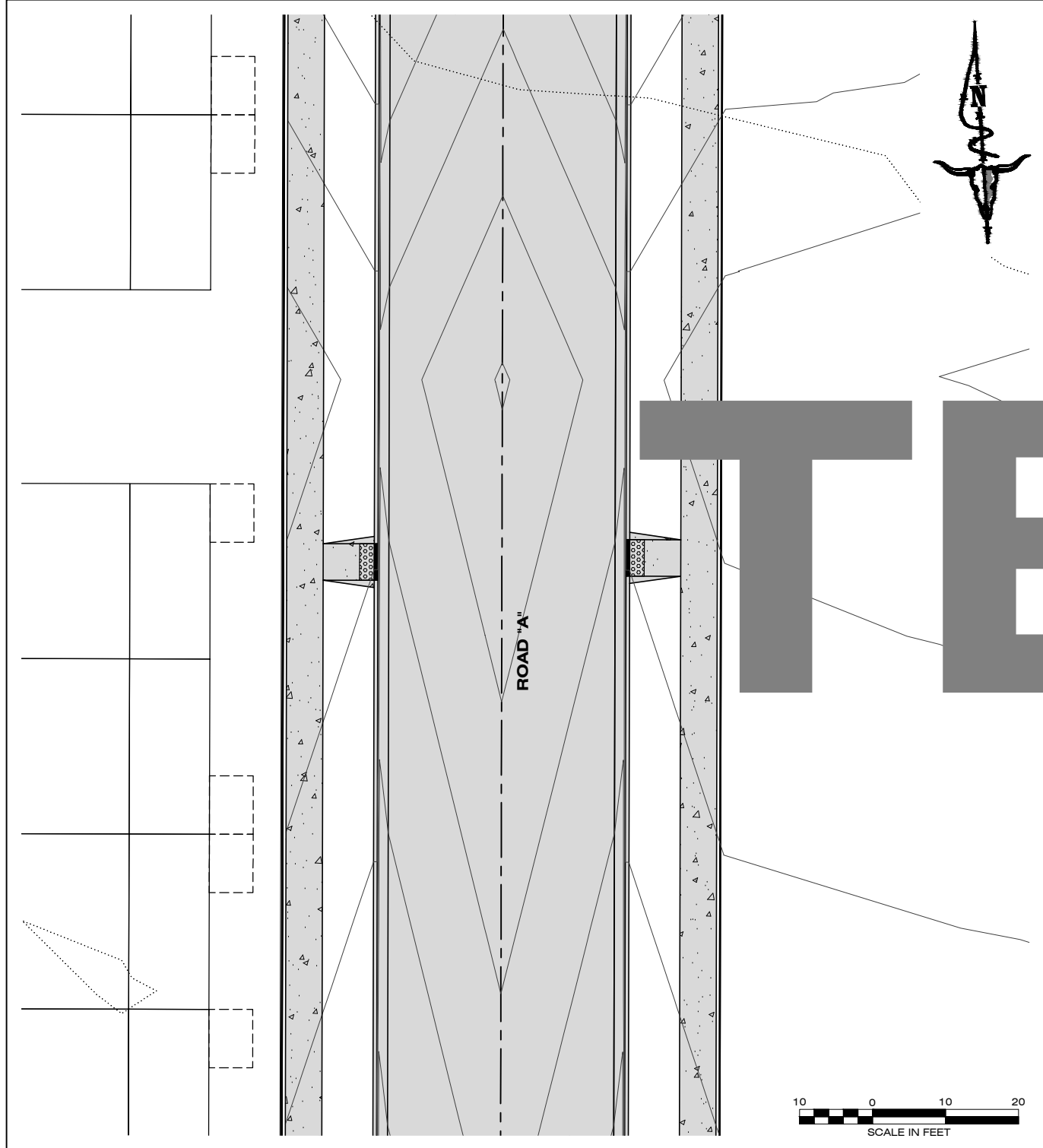
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DRAFTED: *DO*
CHECKED: *XX*
DATE: *APR, 2023*

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
S. 18., T13N., R19W., P.M.M.
MISSOULA COUNTY
PREPARED FOR: MIRAMONTE HOMES

PROJECT NAME: MISSOULA LOFT HOMES
ON MARY JANE
SHEET TITLE: GRADING, DRAINAGE, AND ROAD PLANS
DETAIL SHEET

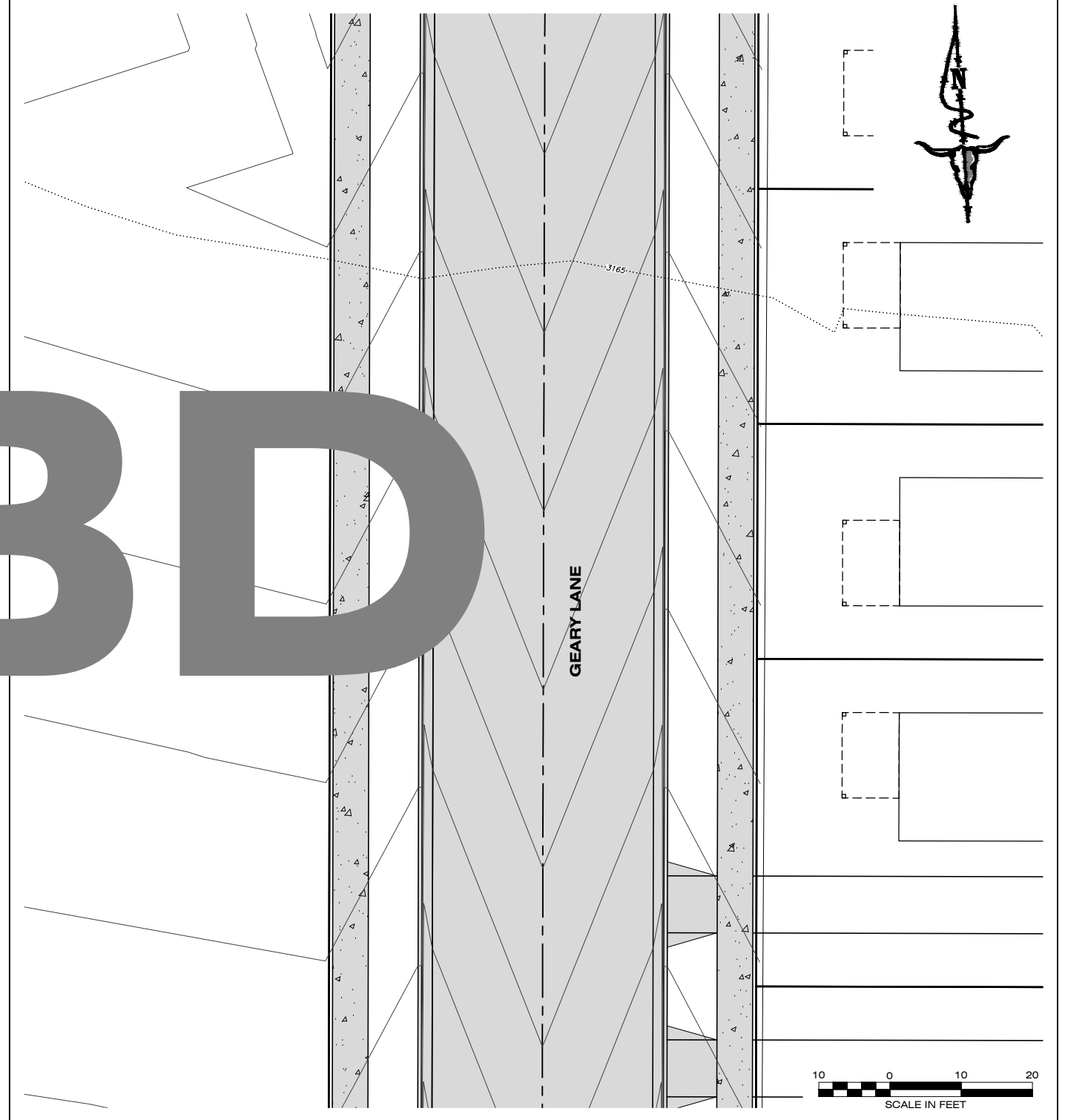
PROJECT NO. 22000700.01
SHEET: D4 OF D9

STAGE 2



A ROAD "A" MIDBLOCK INTERSECTION DETAIL

SCALE AS NOTED



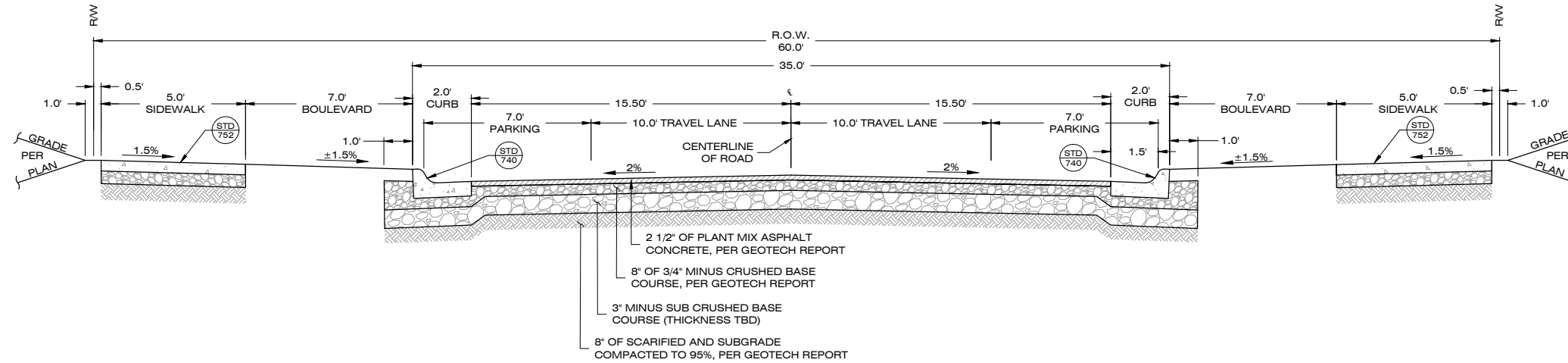
B GEARY MIDBLOCK INTERSECTION DETAIL

SCALE AS NOTED

NOTE:
GRADES IN ADA LANDINGS REPRESENT
MAXIMUM SLOPE IN ANY DIRECTION

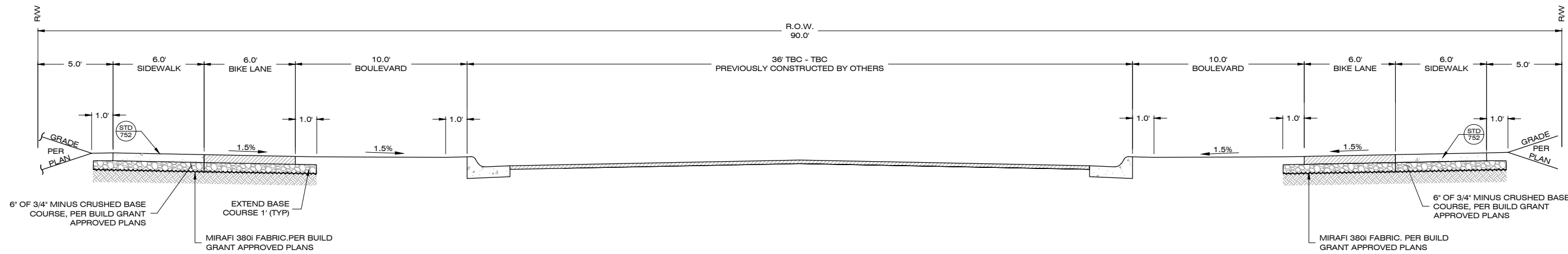
	1817 SOUTH AVE. W. STE. A MISSOULA, MT 59801 PH: 406.721.0142 FAX: 406.721.5224 www.imegcorp.com
	DATE: _____ REVISIONS: _____ DESIGNED: <i>XX</i> DRAFTED: <i>DO</i> CHECKED: <i>XX</i> DATE: <i>APR, 2023</i>
LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817 MARY JANE BOULEVARD S. 18, T13N., R19W., P.M.M. MISSOULA COUNTY	PREPARED FOR: MIRAMONTE HOMES
PROJECT NAME: MISSOULA LOFT HOMES ON MARY JANE	SHEET TITLE: GRADING, DRAINAGE, AND ROAD PLANS DETAIL SHEET
PROJECT NO. 22000700.01	SHEET: D5 OF D9
STAGE 2	

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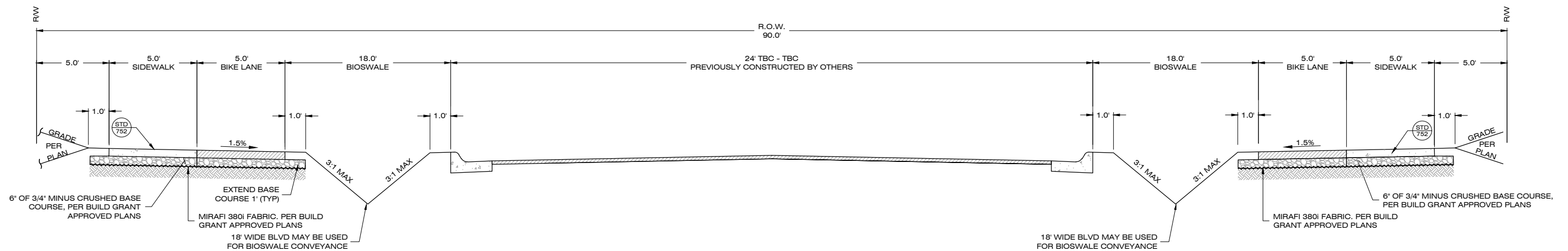
A TYPICAL 35' ROAD CROSS SECTION (60' R/W)(FLANAGIN LANE, KILLARNY WAY, GEARY LANE, ROAD "A")

NOT TO SCALE



B TYPICAL ROAD CROSS SECTION (MARY JANE BOULEVARD -WITH PARKING)

NOT TO SCALE



C TYPICAL ROAD CROSS SECTION (MARY JANE BOULEVARD - NO PARKING)

NOT TO SCALE

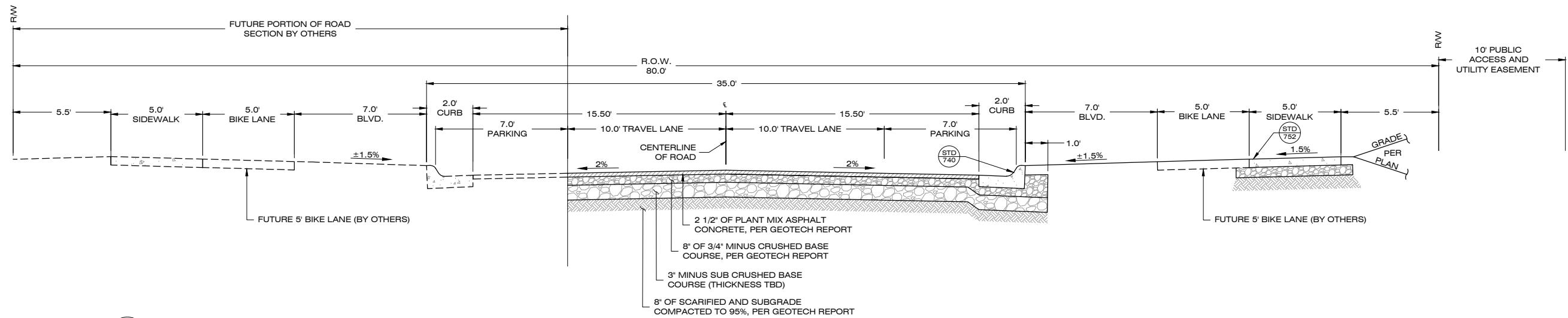
DATE	
REVISIONS	

DESIGNED: *XX*
 DRAFTED: *DO*
 CHECKED: *XX*
 DATE: *APR, 2023*

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 S. 18., T13N., R19W., P.M.M.
 MISSOULA COUNTY
 PREPARED FOR: MIRAMONTE HOMES

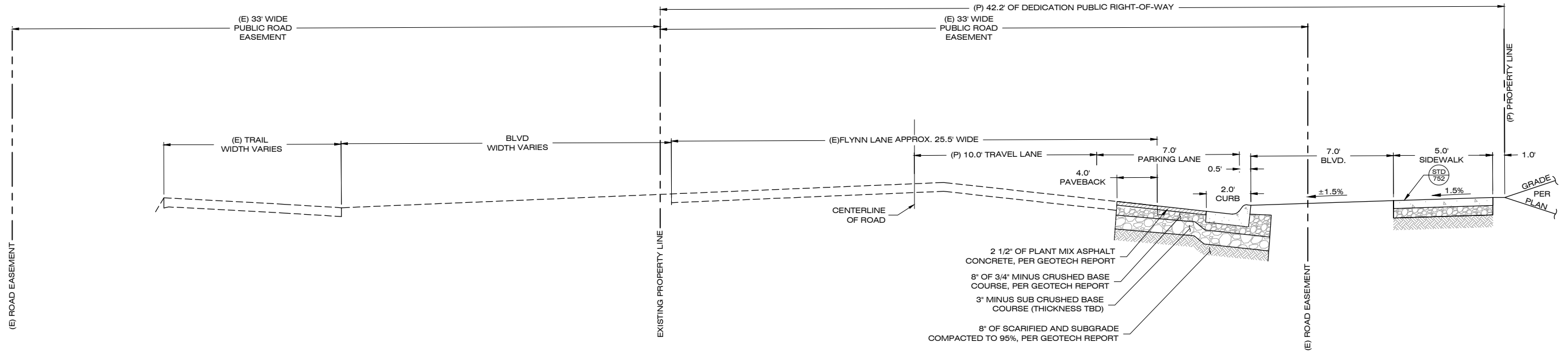
PROJECT NAME: MISSOULA LOFT HOMES ON MARY JANE
 SHEET TITLE: GRADING, DRAINAGE, AND ROAD PLANS
 PROJECT NO.: 22000700.01
 SHEET: D6 OF D9

STAGE 2



A O'LEARY TYPICAL 35' ROAD CROSS SECTION

NOT TO SCALE



B TYPICAL 35' ROAD CROSS SECTION (FLYNN)

NOT TO SCALE

DATE	
REVISIONS	

DESIGNED: *XX*
 DRAFTED: *DO*
 CHECKED: *XX*
 DATE: *APR, 2023*

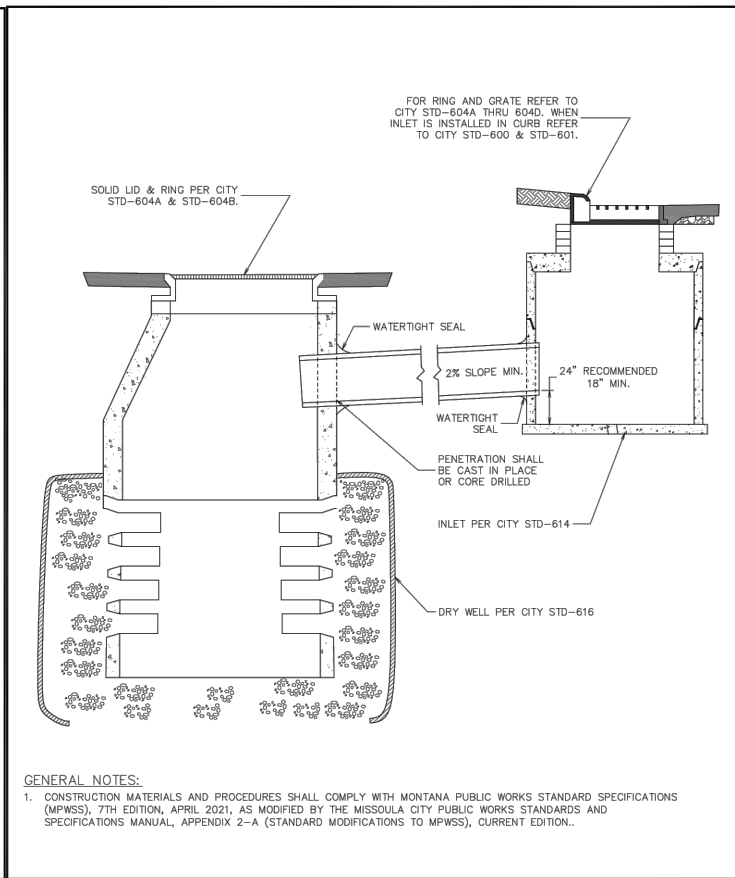
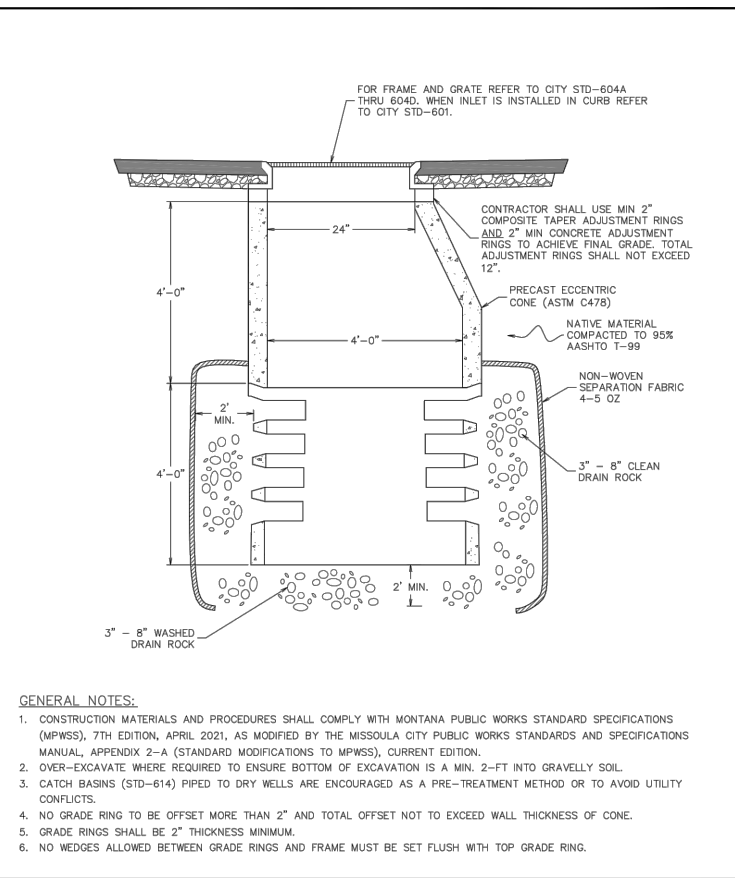
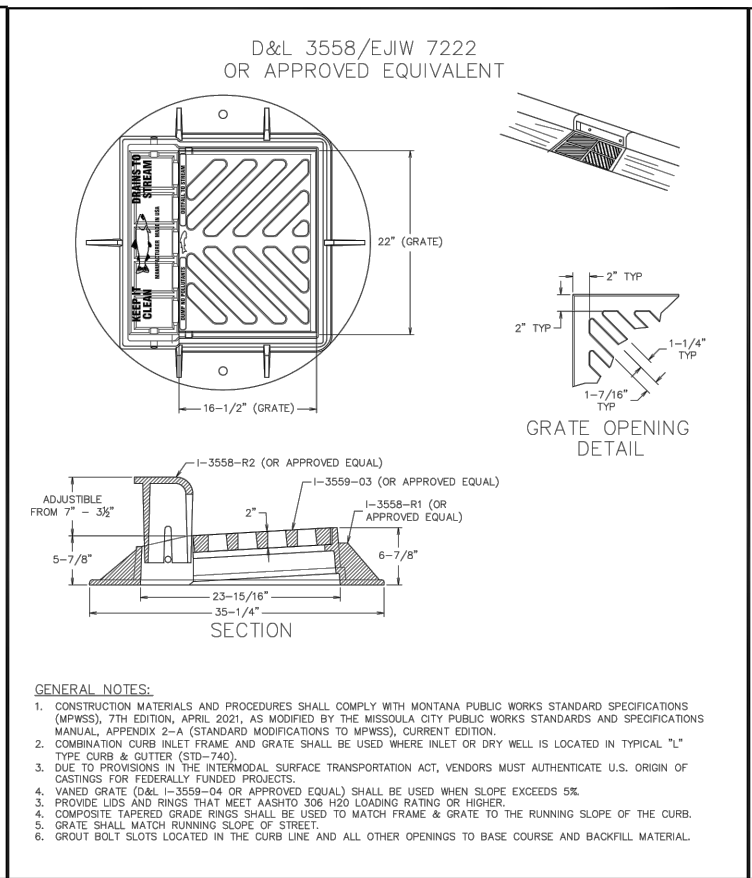
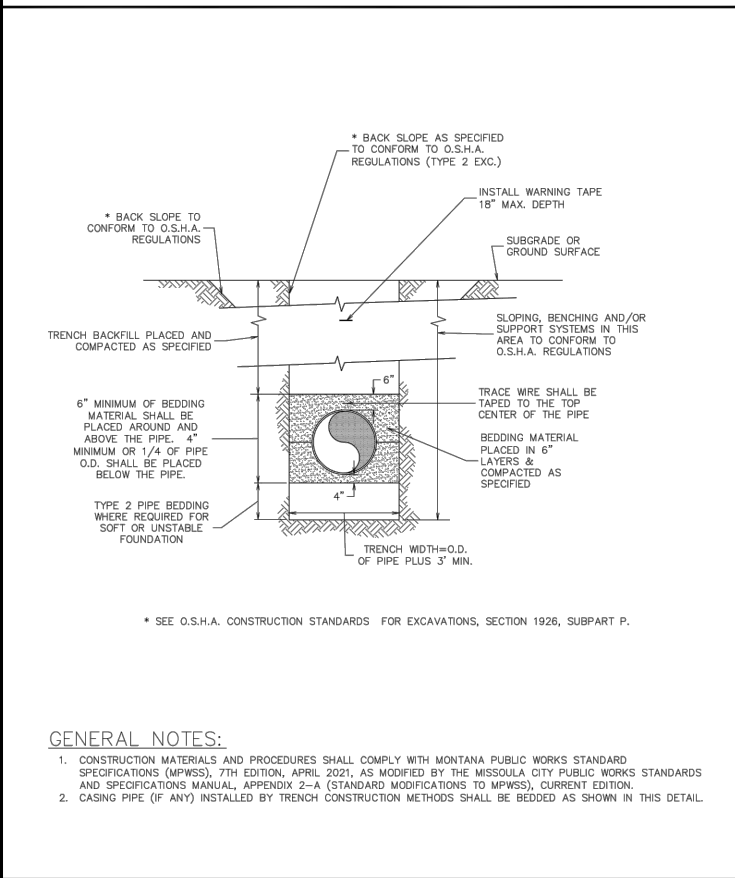
LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817
 MARY JANE BOULEVARD
 S. 18., T13N., R19W., P.M.M.
 MISSOULA COUNTY
 PREPARED FOR: MIRAMONTE HOMES

PROJECT NAME: MISSOULA LOFT HOMES ON MARY JANE
 SHEET TITLE: GRADING, DRAINAGE, AND ROAD PLANS CURRENT SHEET NAME

PROJECT NO. 22000700.01
 SHEET: D7 OF D9

STAGE 2

DWG LOCATION: G:\2022\22000700.01\DESIGN\CONV\DWG\PLANS\ROAD\RD-2200700_01TAL1.DWG PLOT DATE: 6/15/2023 12:28 PM

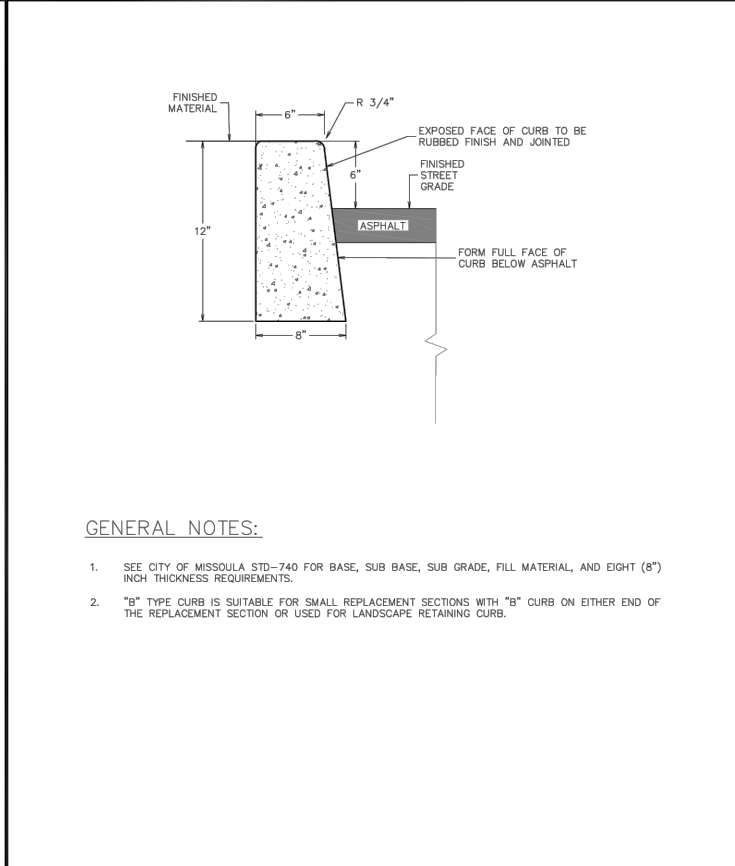
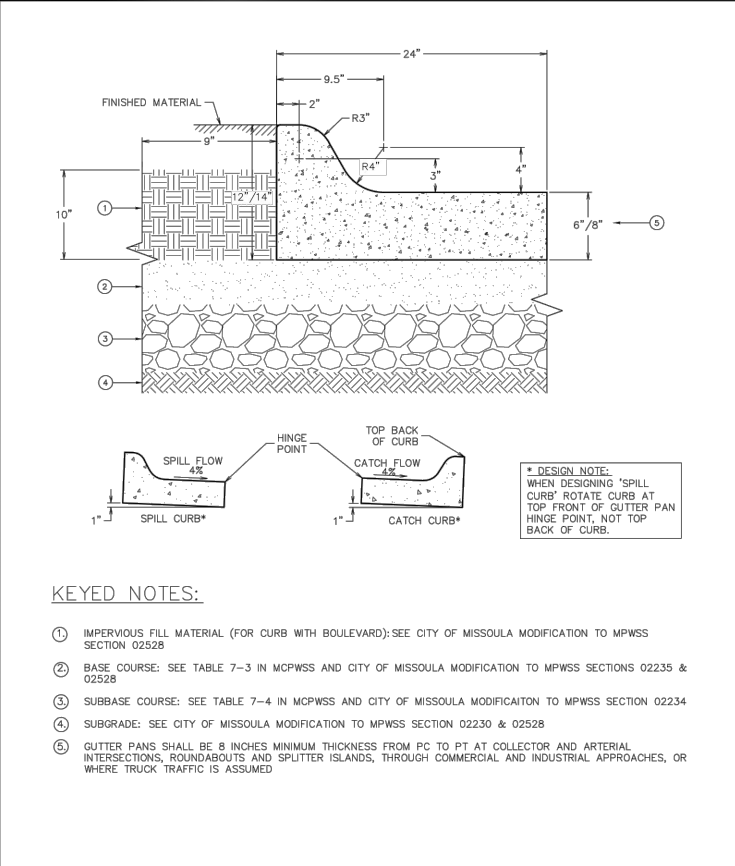
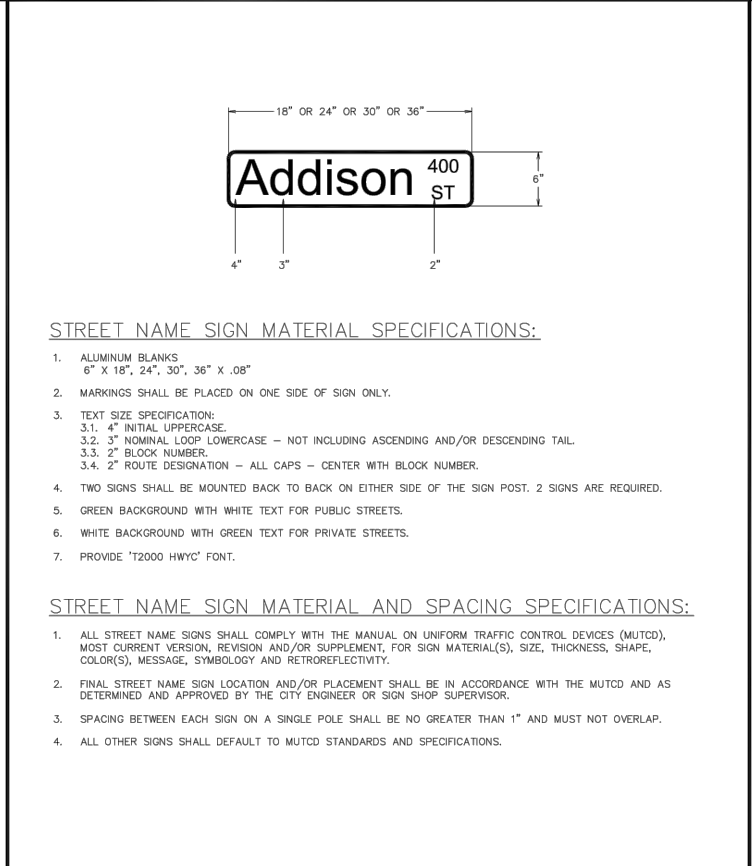
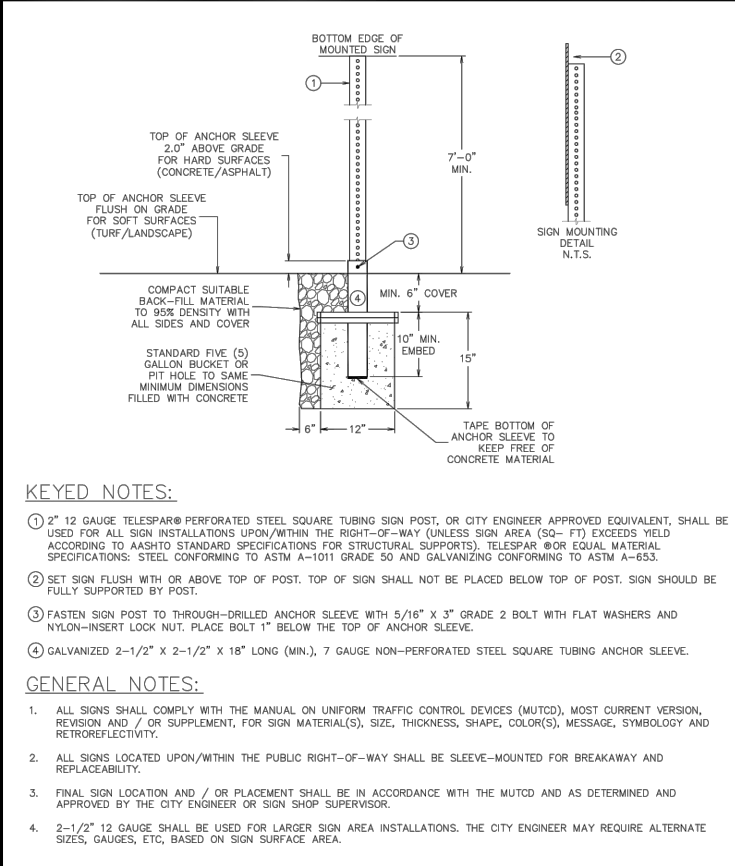


Engineering Division	Typical Utility Trench Detail	Approved By Utilities Engineer Logan McInnis, PE	Adopted: 09/28/2020 Revised: 01/01/2023	STD - 401

Engineering Division	24" COMBINATION CURB INLET FRAME & GRATE	Approved By Utility Engineer Andy Schultz, PE	Adopted: 09/28/2020 Revised: 01/01/2023	STD - 601

Engineering Division	Standard 8' Precast Dry Well	Approved By Utility Engineer Andy Schultz, PE	Adopted: 09/28/2020 Revised: 01/01/2023	STD - 616

Engineering Division	Standard Remote Dry Well	Approved By Utility Engineer Andy Schultz, PE	Adopted: 11/15/2021 Revised: 01/01/2023	STD - 617



Engineering Division	Typical Boulevard Sign Base Public Right-of-Way	Approved By City Engineer Kevin J. Slovrap	Adopted: 01/27/1999 Revised: 01/01/2023	STD - 720

Engineering Division	Typical Street Name Sign Standard	Approved By City Engineer Kevin J. Slovrap	Adopted: 03/15/2006 Revised: 01/01/2023	STD - 721

Engineering Division	Typical "L" Type Curb/Gutter Section	Approved By City Engineer Kevin J. Slovrap	Adopted: 01/30/1980 Revised: 01/01/2023	STD - 740

Engineering Division	Typical "B" Type Curb Section	Approved By City Engineer Kevin J. Slovrap	Adopted: 04/09/1973 Revised: 01/01/2023	STD - 743

IMEG
1817 SOUTH AVE. W. STE. A MISSOULA, MT 59801
PH: 406.721.0142
FAX: 406.721.5224
www.imegcorp.com

DATE: _____

REVISIONS: _____

DESIGNED: *XX*

DRAFTED: *DO*

CHECKED: *XX*

DATE: *APR, 2023*

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6917 MARY JANE BOULEVARD S. 18", T13N., R19W., P.M.M. MISSOULA COUNTY

PROJECT NAME: MISSOULA LOFT HOMES ON MARY JANE

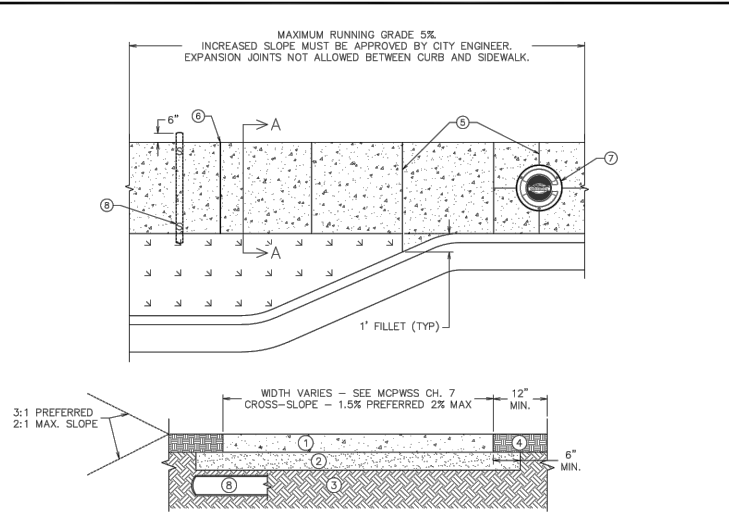
SHEET TITLE: GRADING, DRAINAGE, AND ROAD PLANS DETAIL SHEET

PROJECT NO.: 22000700.01

SHEET: D8 OF D9

STAGE 2

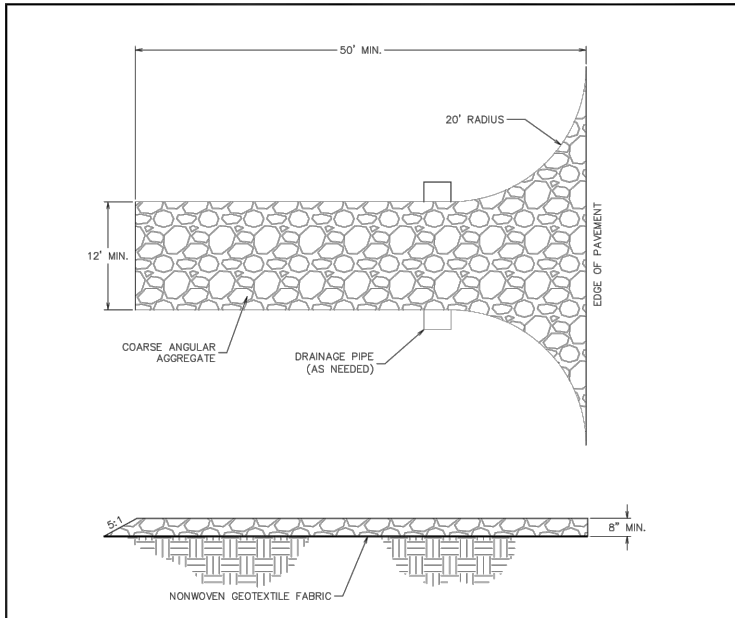
PLANT DATE: 04/03/2023 12:28 PM



- KEYED NOTES:**
- SEE MCPWSS CH. 7 FOR SIDEWALK WIDTH & THICKNESS REQUIREMENTS
 - BASE COURSE. SEE CITY OF MISSOULA MODIFICATIONS TO MPWSS SECTIONS 02235 AND 02529
 - SUBGRADE. SEE CITY OF MISSOULA MODIFICATION TO MPWSS SECTION 02230
 - SHOULDER. SEE CITY OF MISSOULA MODIFICATION TO MPWSS SECTION 02529
 - CONTRACTION JOINTS. SEE CITY OF MISSOULA MODIFICATION TO MPWSS SECTION 02529
 - EXPANSION JOINTS. SEE CITY OF MISSOULA MODIFICATION TO MPWSS SECTION 02529
 - ISOLATION JOINTS. FOR USE AROUND OBJECTS WITHIN OR PROTRUDING FROM SIDEWALK (E.G. AROUND MANHOLES LIDS, VALVE BOXES, UTILITY POLES, HYDRANTS, POLE BASES, ETC.)
 - SLEEVE. TYP 4" SCH 40 PVC. MUST BE BELOW BASE AND IN SUBGRADE. EXTEND 6" BEYOND EDGE OF SIDEWALK. STAMP "S" IN THE FINISH SURFACE DIRECTLY ABOVE THE SLEEVE AT BOTH EDGES OF SIDEWALK.

Typical Sidewalk Section

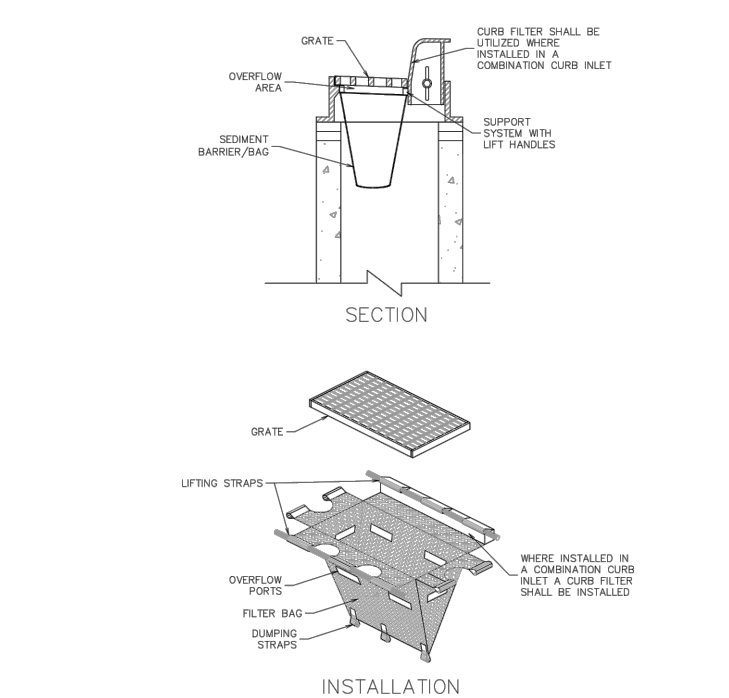
Engineering Division *A SD* Approved By City Engineer Kevin J. Slovarp Adopted: 02/29/1996 Revised: 01/01/2023 **STD - 752**



- GENERAL NOTES:**
- A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE LOCATED AT POINTS OF VEHICULAR EGRESS ON A CONSTRUCTION SITE TO LIMIT THE AMOUNT OF SEDIMENT TRANSPORTED ONTO PUBLIC ROADS BY VEHICLES.
 - REMOVE AND REPLACE AGGREGATE WHEN VOIDS BECOME FILLED.
 - SWEEP AND REMOVE SEDIMENT TRACKED ONTO PAVED SURFACES.
 - PROPERLY GRADE INGRESS/EGRESS POINTS TO PREVENT RUNOFF FROM LEAVING THE SITE.
 - CONSIDER THE USE OF RUMBLE PADS, FODs, OR CATTLE GUARDS IN COMBINATION WITH THE GRAVEL CONSTRUCTION ENTRANCE TO IMPROVE EFFECTIVENESS

Temporary Gravel Construction Entrance

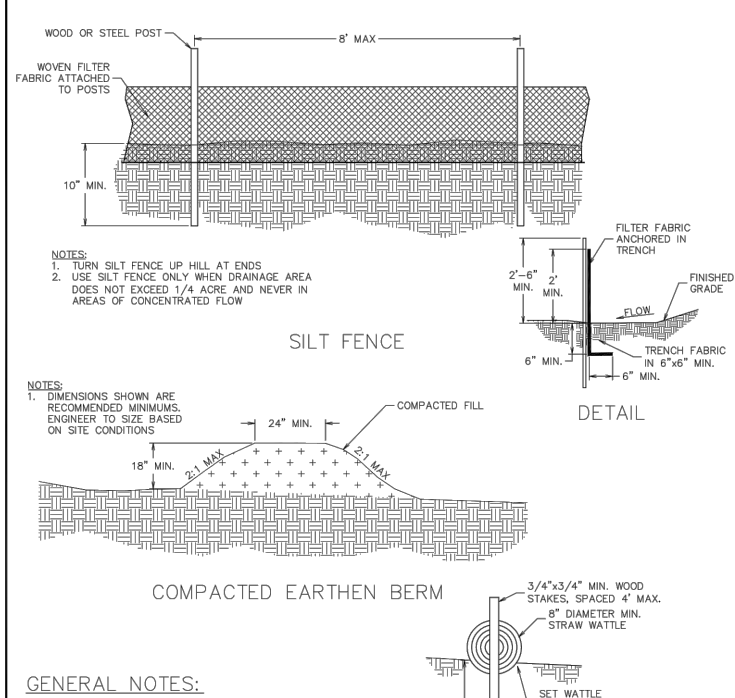
Engineering Division *A SD* Approved By Utility Engineer Andy Schultz, PE Revised: 09/28/2020 **STD - 650**



- GENERAL NOTES:**
- INLET PROTECTION SHALL BE USED AS A "LAST RESORT" BMP. CARE SHALL BE TAKEN TO MINIMIZE SEDIMENT LADEN STORMWATER FROM REACHING INLETS/DRY WELLS.
 - INLET PROTECTION SHALL BE INSPECTED REGULARLY AND AFTER STORM EVENTS. IF UNIT IS MORE THAN 1/3 FULL OF ACCUMULATED SEDIMENT, THE UNIT MUST BE EMPTIED.
 - ALL TEMPORARY BMP'S TO BE REMOVED AT FINAL STABILIZATION.

Inlet Protection

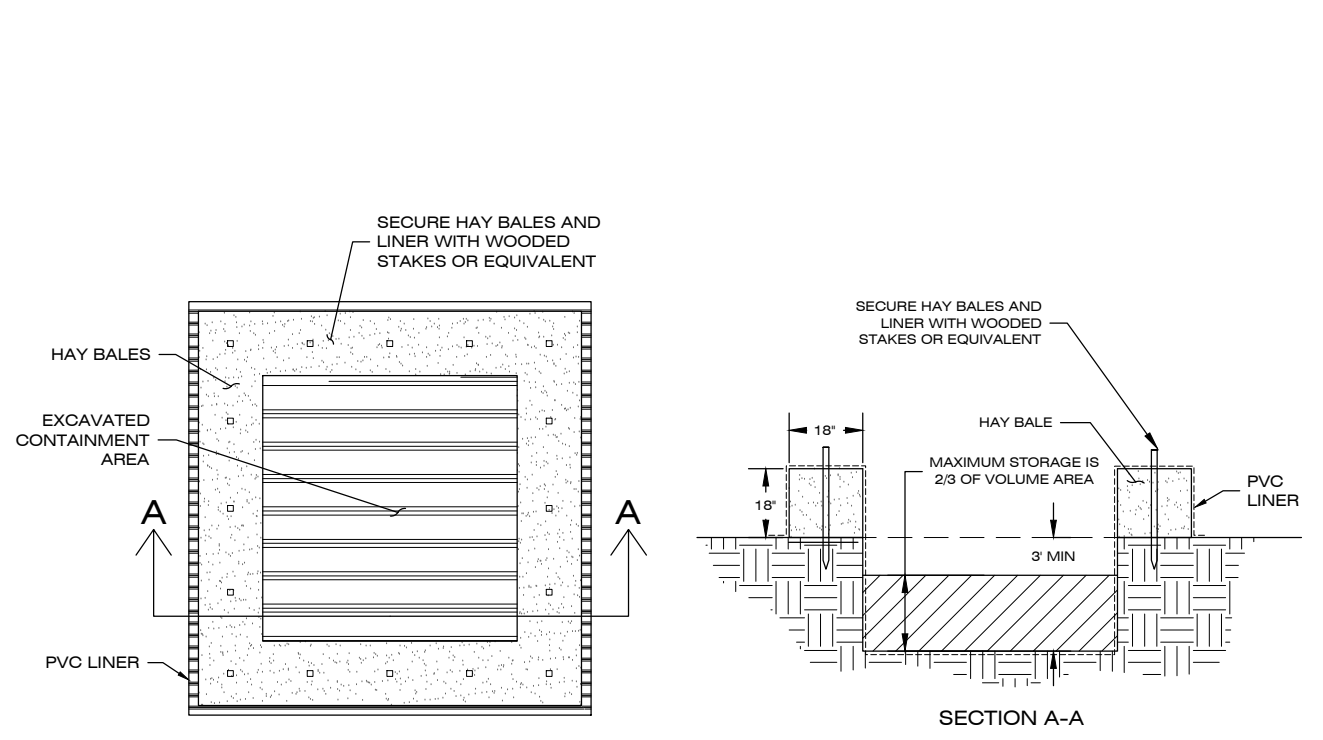
Engineering Division *A SD* Approved By Utility Engineer Andy Schultz, PE Revised: 09/28/2020 **STD - 651**



- GENERAL NOTES:**
- PRESERVING EXISTING VEGETATION SHALL BE USED AS THE PRIMARY PERIMETER CONTROL.
 - PERIMETER CONTROL BMP'S SHALL BE INSTALLED BEFORE ANY EARTH REMOVAL OR EXCAVATION TAKES PLACE.
 - INSTALL PERIMETER CONTROL BMP'S PARALLEL TO CONTOUR LINES.
 - FOLLOW MANUFACTURER'S INSTRUCTIONS TO OVERLAP THE SILT FENCE AND WATTLES AT JUNCTIONS.
 - ALL TEMPORARY BMP'S TO BE REMOVED AT FINAL STABILIZATION.

Perimeter Control

Engineering Division *A SD* Approved By Utility Engineer Andy Schultz, PE Revised: 09/28/2020 **STD - 652**



CONCRETE WASHOUT AREA DETAIL

NOT TO SCALE

CONCRETE WASHOUT AREA DETAIL

Engineering Division *A SD* Approved By Utility Engineer Andy Schultz, PE Revised: 09/28/2020 **STD - 652**

DATE	
REVISIONS	

DESIGNED: *XX*
DRAFTED: *DO*
CHECKED: *XX*
DATE: *APR, 2023*

LOCATION: TRACT 5 AND TRACT 2 OF C.O.S. 6817
MARY JANE BOULEVARD
S. 18., T13N., R19W., P.M.M.
MISSOULA COUNTY

PREPARED FOR: **MIRAMONTE HOMES**

PROJECT NAME: **MISSOULA LOFT HOMES ON MARY JANE**

SHEET TITLE: **GRADING, DRAINAGE, AND ROAD PLANS DETAIL SHEET**

PROJECT NO. 22000700.01
SHEET: D9 OF D9

STAGE 2